



BOARD OF ADJUSTMENT MEETING NOTICE

Date: November 26th, 2025

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, December 10th, 2025 at 6:00 pm.**

This meeting will be held in-person at: **Development Services Department, 700 NW 19th Avenue, Fort Lauderdale, Florida 33311** to determine whether the following application should be granted.

To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-25110005
OWNER:	STANGE, KURT PETER
AGENT:	ROB ORCUTT
ADDRESS:	934 WAVERLY ROAD, FORT LAUDERDALE, FL 33312
LEGAL DESCRIPTION:	LOT 8 ½, BLOCK 100, "WAVERLY PLACE", ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE (S) 19, OF THE PUBLIC RECORDS OF MIAMI- DADE COUNTY, FLORIDA (SEE SURVEY)
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	2
REQUESTING:	<u>Sec 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A)</u>

- Requesting a variance to build a new Single- Family Residence with a south rear yard setback of 1.7 feet from the property line abutting the waterway whereas the code requires a minimum of 25 feet. A total variance request of 23.3 feet.
- Requesting a variance to build a structure at a west side yard setback of 1.7 feet whereas the code requires a minimum of 5 feet, per plan. A total variance request of 3.3 feet.

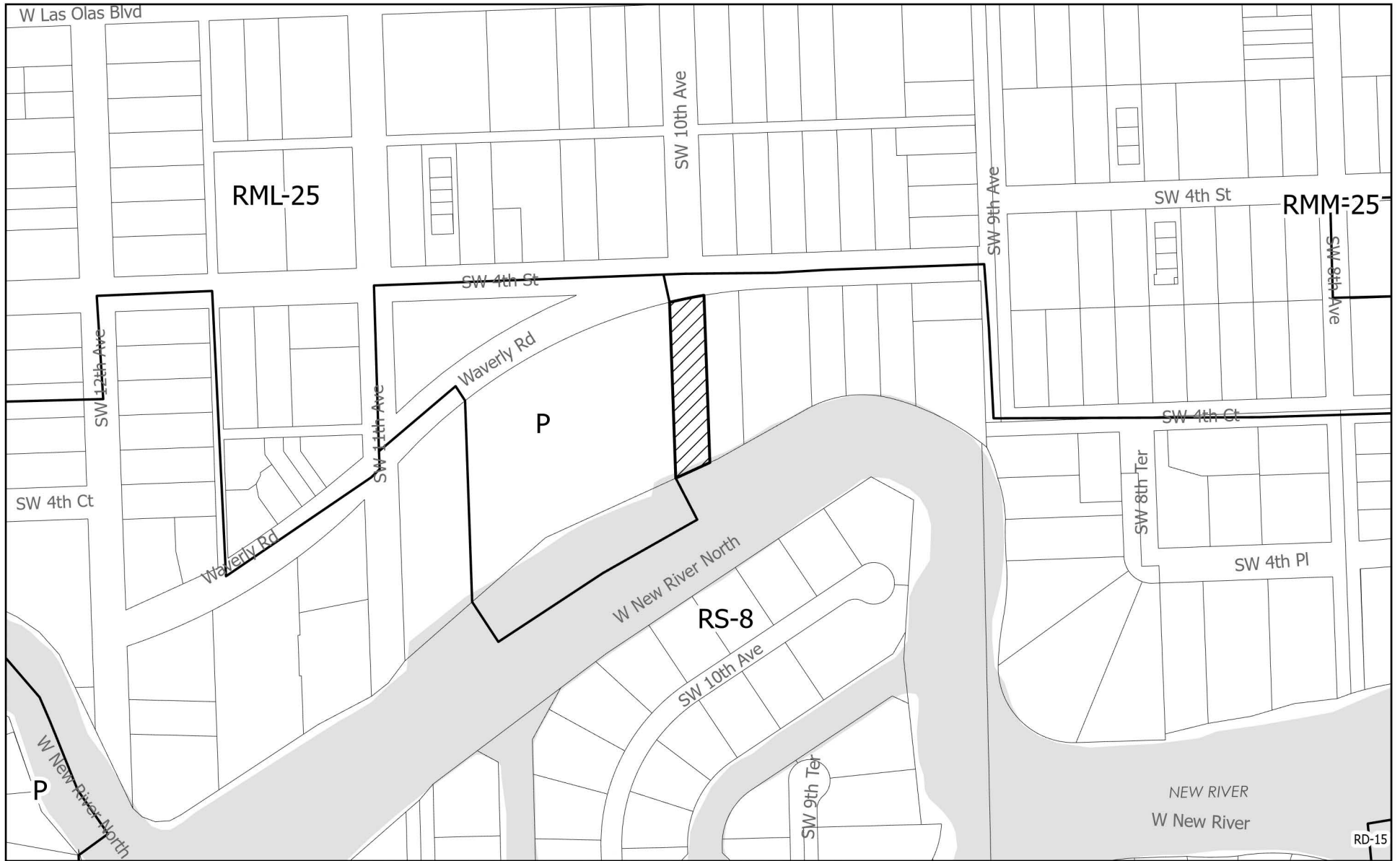
To watch and listen to the Board of Adjustment Meeting:
www.fortlauderdale.gov/fltv , www.youtube.com/cityoffortlauderdale
Cable Television - Comcast Channel 78 and AT&T U-verse Channel 99

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR



Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-25110005

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet

Graphic Scale

PLN-BOA-25110005

Sec 47-5.31- Table of dimensional requirements for the RS-8 district. (Note A)

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height. 25 ft. when abutting a waterway Special side yard setbacks 7.5 ft.: Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J. Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16. Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O;	For a building with a height no greater than 12 ft.- 5 ft. For a building with a height greater than 12 ft. - 7.5 ft. That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height 25 ft. when abutting a waterway Special side yard setbacks as provided in RS-8

	Block P; Block Q; Block R; Block S; Block T. Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda- Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12; Blocks J, K, L & M.					
Minimum rear yard	15 ft. 25 ft. when abutting a waterway Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1			25 ft. 25 ft. when abutting a waterway Special rear yard setbacks as provided in RS-8		
Minimum distance between buildings	None			None		
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	
	≤7,500 sf	50%	0.75	40%	0.55	
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55	
	>12,000 sf	40%	0.60	30%	0.50	

Record

Menu **Refine Search** **New** **GIS** **Create a Set** **Reports** **Help** My Filters --Select-- Module **Planning**

Showing 1-29 of 29

<input type="checkbox"/>	<u>Record, Permit, or Account #</u>	<u>Record Description</u>	<u>Application Name</u>	<u>Record Type</u>	<u>Balance</u>	<u>Planner Name</u>	<u>Street #</u>	<u>Dir</u>	<u>Street Name</u>	<u>Type</u>	<u>Unit # (start)</u>	<u>Str</u>
<input type="checkbox"/>	PLN-BOA-25110005	934 Waverly BOA Submittal	934 Waverly BOA Submittal	Z- Board of Adjustment (BOA)	0		934		WAVERLY	RD		Op
<input type="checkbox"/>	UDP-HP25019	Demolition of a One-Story Single-Family Residence...	Certificate of Appropriatene...	HP- Historic Preservation - Certificate of Appropriateness	0	Vasilya Allakh...	934		WAVERLY	RD		Apj
<input type="checkbox"/>	BLD-GEN-25070656	removal of existing docks in current footprint, O...	Boatlift-Dock-Seawall-Pile P...	Structural Permit	530		934		WAVERLY	RD		Aw
<input type="checkbox"/>	UDP-HP25011	Demolition of Existing One-Story Contributing Str...	Certificate of Appropriatene...	HP- Historic Preservation - Certificate of Appropriateness	0	Trisha Logan	934		WAVERLY	RD		Wil
<input type="checkbox"/>	UDP-HP24032	Elevation of the Existing Structure Approximately...	Certificate of Appropriatene...	HP- Historic Preservation - Certificate of Appropriateness	0	Trisha Logan	934		WAVERLY	RD		Apj
<input type="checkbox"/>	BLD-RDEM-19110004	DEMO OF GARAGE 800 SF NOC		Residential Demolition Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	ELE-RES-19110017	ELECTRICAL FOR DEMO BLD-RDEM-19110004		Electrical Residential Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PL-H19026	H4 -	BRIAN TIERNEY DEMOLITION OF...	HP- Historic Preservation Demolition	0		934		WAVERLY	RD		Iss
<input type="checkbox"/>	PM-19072854	NEW FEEDS AND SUBPANEL TO REPOWER EXISTING POOL ~...	NEW FEEDS AND SUBPANEL TO RE...	Electrical Residential Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	CE16090249	SAILBOAT BEND - BULK TRASH PILE WAS FOUND ON THE,...	RONDEAU,ALBERT E & TIERNEY,B...	Bulk Trash Case	0		934		WAVERLY	RD		Clc
<input type="checkbox"/>	VIO-CE16090249_1	SAILBOAT BEND - BULK TRASH PILE WAS FOUND ON THE	RONDEAU,ALBERT E & TIERNEY,B...	Bulk Trash Case	0		934		WAVERLY	RD		Clc
<input type="checkbox"/>	CE16090012	VACATION RENTAL, DOCK HOUSE RENTED BEHIND HOUSE O...	RONDEAU,ALBERT E & TIERNEY,B...	Code Case	0		934		WAVERLY	RD		Clc
<input type="checkbox"/>	VIO-CE16090012_1	VACATION RENTAL, DOCK HOUSE RENTED BEHIND HOUSE ON	RONDEAU,ALBERT E & TIERNEY,B...	Violation-CODE Hearing	0		934		WAVERLY	RD		Clc
<input type="checkbox"/>	CE15090019	SAILBOAT BEND- BULK TRASH PILE WAS FOUND OUT ON, ...	RONDEAU,ALBERT E & TIERNEY,B...	Bulk Trash Case	0		934		WAVERLY	RD		Clc
<input type="checkbox"/>	VIO-CE15090019_1	SAILBOAT BEND- BULK TRASH PILE WAS FOUND OUT ON	RONDEAU,ALBERT E & TIERNEY,B...	Bulk Trash Case	0		934		WAVERLY	RD		Clc
<input type="checkbox"/>	PM-13111601	INSTALL NEW 24 DC GATE OPENER W KEYPAD ENTRY	INSTALL NEW 24 DC GATE OPENE...	Electrical Residential Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-13092214	INSTALL 48 LF BOARD ON BOARD WOOD FENCE W/ONE 16 ...	INSTALL 48 LF BOARD ON BOARD...	Fence Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-07121483	SEPTIC TO SEWER	SEPTIC TO SEWER	Plumbing Sewer Cap Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	AB-0065275		TIERNEY BRIAN/RONDEAU ALBERT	Resident/Business Alarm Registration	0		934		WAVERLY	RD		Act
<input type="checkbox"/>	PM-04100549	AFTER FACT REPLACED WINDOWS AND DOORS	AFTER FACT REPLACED WINDOWS ...	Window and Door Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-04080551	30 DAY TEMP	30 DAY TEMP	Electrical Temporary Pole	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-04031638	BURG ALARM 1PANEL 17DEVICES INTERCOM & PREWIRE	BURG ALARM 1PANEL 17DEVICES ...	Electrical Burglar Alarm	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-04030838	ELECTRIC FOR INTERIOR ALTER BP#03102125	ELECTRIC FOR INTERIOR ALTER ...	Electrical Residential Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-04030562	REMOVE 5' X 26' DOCK & INSTALL 10' X 30' DOCK	REMOVE 5' X 26' DOCK & INSTA...	Boatlift-Dock-Seawall-Pile Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-04020182	INSTALL AC & DUCTWORK 2.5 TON	INSTALL AC & DUCTWORK 2.5 TON	Mechanical HVAC New Install Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-04020066	PLUMBING FOR REMODEL	PLUMBING FOR REMODEL	Plumbing Fixture Replacement Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-03110938	REROOF SHINGLE ROOF 1220SQ FT ~RENEW 11-30-4	REROOF SHINGLE ROOF 1220SQ FT	Re-Roof Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-03102125	INTER ALTER 1 STORY 1 BED 1 BATH SFR 980SF	INTER ALTER 1 STORY 1 BED 1 ...	Residential Alteration Permit	0		934		WAVERLY	RD		Co
<input type="checkbox"/>	PM-03082261	UPGRADE TO CODE FOUND-STRAPS-FLR FRAMING 960SF SFR	UPGRADE TO CODE FOUND-STRAPS...	Phase Permit	0		934		WAVERLY	RD		Co



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: December 10, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25110005

Sec 47-5.31 - Table of dimensional requirements for the RS-8 district. (Note A).

- Requesting a variance to build a new Single- Family Residence with a south rear yard setback of 1.7 feet from the property line abutting the waterway whereas the code requires a minimum of 25 feet. A total variance request of 23.3 feet.
- Requesting a variance to build a structure at a west side yard setback of 1.7 feet whereas the code requires a minimum of 5 feet, per plan. A total variance request of 3.3 feet.

Sec 47-19.2.B - Architectural features in residential districts.

- Requesting a variance to allow a roof eave to encroach into the required side yard 1.2 feet where the code allows no more than 0.561 feet, 1/3(one third) the width of the requested side yard of 1.7 feet, a total variance request of 0.639 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale
To view more information about this item, please visit:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov

Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet


INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	N/A
Date of complete submittal	N/A

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Kurt Peter Stange
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	930 Tequesta Street, Fort Lauderdale FL 33312
E-mail Address	kurt@miamichristmaslights.com
Phone Number	(305) 908-8000
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **PROPERTY OWNER**, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	Rob Orcutt
Applicant / Agent's Signature	
Address, City, State, Zip	1071 NE 45th Street, Oakland Park, FL 33334
E-mail Address	rob@orcuttore.com
Phone Number	(954) 271-2178
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Include ANY Related code case/permit #	
Existing / New	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
Project Address	Address: 934 Waverly Rd, Fort Lauderdale FL 33312
Legal Description	See Survey
Tax ID Folio Numbers <i>(For all parcels in development)</i>	5042 09 09 0071
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	Request a setback exception to re-build in the footprint of an existing non-conforming historic structure.
Applicable ULDR Sections <i>(Include all code sections)</i>	Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district Sec. 47-19.2.B - Architectural features in residential districts (Eaves)

Current Land Use Designation	Low-Medium
Current Zoning Designation	RS-8: Residential Single Family/ Low Medium Density
Current Use of Property	Single Family Residence
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25'-0" (NORTH)	25'-0" minimum
Side	5'-0" (EAST)	5'-0" minimum
Side	5'-0" (WEST)	1.7' (EXISTING to MAINTAIN)
Rear	25'-0" (SOUTH - ADJ. TO WATERWAY)	1.7' (EXISTING to MAINTAIN)

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Refer to attached narrative.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Refer to attached document

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Refer to attached document

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Refer to attached document

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

Refer to attached document

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

Refer to attached document

AFFIDAVIT: I, Rob Orcutt the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 17 day of November, 2025

(SEAL)



(Signature)

NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE. The applicant will need to meet with staff PRIOR to submitting the BOA application submittal via Lauderbuild. *Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.**

- has
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- 1 - **Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: 2025.11.03
 - 2 - **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. **Page 4** of the BOA application is due AFTER sign(s) are posted.
 - 3 - **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
 - 4 - **Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
 - 5 - **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
 - 6 - **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
 - 7 - **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
 - 8 - **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
 - 9 - **Elevations**- If applicable (Elevations may be required by staff upon application submittal).
 - 10 - n/a **Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
 - 11 - **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
 - 12 - **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19TH Avenue, Fort Lauderdale, Florida 33311**
 - 12a - x
 - 12b - x
 - 12c - later date

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".

Criteria for Variance – ULDR Section 47-24.12.4

Provided below is a point-by-point analysis of the ULDR criteria applicable to the Project:

SEC. 47-24.12.4. Criteria—Variance. A variance from the terms of the ULDR shall be granted only upon demonstrating a unique hardship attributable to the land by proving by a preponderance of the evidence all of the following criteria:

a. That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

RESPONSE: Due to the level of structural deterioration uncovered subsequent to the project's approval, the amount of reconstruction required exceeds criteria for the Historic Preservation Board's authority to approve the same setback waiver as previously granted for the project.

b. That the circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and

RESPONSE: Although the Historic Sail Boat Bend Neighborhood includes homes with varying waterway setbacks, per current BCPA available aerial views, no known property (historic or non) has the contributing historical character that this property lends, due to its unique presence in proximity to the New River.

c. That the literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

RESPONSE: The historic character of the building's position along the river cannot be preserved/ reconstructed if relief from current ULDR setbacks is not permitted.

d. That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

RESPONSE: The existing structure was constructed prior to the City's first ULDR. Efforts to preserve (with modification) were approved by attaining a Certificate of Appropriateness and setback waiver from the Historic Preservation Board. Severe structural Termite damage was uncovered during a subsequent engineering analysis, and now requires reconstruction - a project outside of the authority of the Historic Preservation Board's ability to grant the same setback waiver as previously approved.

e. That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: The setback reductions requested are the same footprint and extents as the existing structure to be reconstructed on. All other ULDR requirements shall be followed.

Submitted,



Rob Orcutt, AIA
AR97390



Property Address	934 WAVERLY ROAD, FORT LAUDERDALE FL 33312	ID #	5042 09 09 0071
Property Owner	STANGE, KURT PETER	Millage	0312
Mailing Address	930 TEQUESTA ST FORT LAUDERDALE FL 33312	Use	01-01
Abbr Legal Description	WAVERLY PLACE 2-19 D LOT 8 1/2 BLK 100		
This property is a designated historic resource or is located within a historic district. Please contact Fort Lauderdale for more information at 954-828-7101 or tlogan@fortlauderdale.gov .			

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

* 2026 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2026	\$334,940	\$578,610	\$913,550	\$913,550	
2025	\$334,940	\$578,560	\$913,500	\$913,500	\$17,629.54
2024	\$334,940	\$358,960	\$693,900	\$687,530	\$13,444.96

2026 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$913,550	\$913,550	\$913,550	\$913,550
Portability	0	0	0	0
Assessed/SOH	\$913,550	\$913,550	\$913,550	\$913,550
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$913,550	\$913,550	\$913,550	\$913,550

Sales History			
Date	Type	Price	Book/Page or CIN
1/31/2024	WD-Q	\$1,050,000	119370358
5/6/2021	WD-Q	\$645,000	117251492
5/16/2005	WD	\$869,000	39680 / 580
4/10/2003	WD	\$456,000	34950 / 532

Land Calculations		
Price	Factor	Type
\$27.00	12,405	SF
Adj. Bldg. S.F. (Card, Sketch)		1017
Units/Beds/Baths		1/1/1
Eff./Act. Year Built: 1938/1937		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



AGENT AUTHORIZATION FORM

I Kurt Peter Stange ("Owner") as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
property located at 934 Waverly Road, Fort Lauderdale, FL 33312 ("Property"), do hereby authorize
[Print Property Address]

Rob Orcutt ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]

of a variance/special exception application to the City of Fort Lauderdale and appear at any and all scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding all issues related to my pending variance/special exception application. I understand and agree that, as the Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception application, all required hearing appearances related to my variance/special exception application, and any request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and agree, the City will mail or deliver all notices relating to my pending variance/special exception application to my property address, as listed on my variance/special exception application. I further understand and agree, the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized Agent's failure to comply with any terms or conditions outlined in my variance/special exception application, and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants, representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person, including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS: Erika Fruehling

Witness Signature
Erika Fruehling

Print Name
Nov 03 2025

Date

[Signature]


Signature - Owner/Authorized Individual
Kurt Peter Stange

Print Name - Owner/ Authorized Individual
Owner

Print Title - Authorized Individual

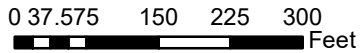
STATE OF Florida
COUNTY OF Miami Dade

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 3rd day of November, 2025, by Kurt Pe, an individual who is personally known to me or has produced Florida Driver License as identification

[NOTARY SEAL]  [Signature]

(- State of Florida)

(Commissioned)
Name of Notary Public)



MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



934 WAVERLY ROAD
DATE OF PRINT: 11/04/2025

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	ST.ZIP	ADDRESS__1	LEGAL_LINE	LEGAL_LI_1
504209000060	SOUTH FLORIDA WATER MANAGEMENT	DISTRICT	PO BOX 24680	WEST PALM BEACH	FL 33416	WEST PALM BEACH	9-50-42	THAT PORTION OF NORTH FORK OF
504209090010	WIRTH-BROFF,APHRODETHI		409 SW 9 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 1 LESS N 55,2 LESS N 55
504209090020	BROFF,APHRODETHI W		409 LAUDERDALE TRL	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 1 N 55,2 N 55 BLK 100
504209090030	SACCO,MATTHEW	SACCO,GEORGE F & HELENE D	1219 TEQUESTA ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 3 BLK 100
504209090040	ROYDHOUSE,PAUL E & LINDA M		912 SW 4 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 4 & RIPARIAN RIGHTS BLK 100
504209090050	CARPE DIEM TR	PALAMARA,RONALD TRSTEE	918 SW 4 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 5 BLK 100
504209090060	PALAMARA,RONALD		922 TEQUESTA ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 6,7 BLK 100
504209090070	STANGE,KURT PETER	NIMROOZI,ANGELA	930 TEQUESTA ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 8 BLK 100
504209090071	STANGE,KURT PETER		930 TEQUESTA ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 8 1/2 BLK 100
504209090080	CITY OF FORT LAUDERDALE		528 NW 2 ST	FORT LAUDERDALE	FL 33311	FORT LAUDERDALE	FL33311	LOT 1 TO 6 BLK 101
504209090090	KYNER,DAVID B	BRAY,RICHARD A	416 PALM AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 7,8 BLK 101
504209090530	CARVALHO,ALBERTO & MARIA BORGIA		3623 S PARKER ST	SAN PEDRO	CA90731	SAN PEDRO	CA90731	LOT 5 LESS E 15 OF N 40 BLK 106
504209090550	MOOS,JEFFREY S	MOOS,PATTI L	605 SW 12 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 9 BLK 106
504209090551	MOOS,JEFFREY S & PATTI L		605 SW 12 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 7 BLK 106
504209090552	MOOS,JEFFREY S & PATTI L		605 SW 12 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 11 BLK 106
504209090560	MOOS,JEFFREY S	MOOS,PATTI L	605 SW 12 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 10 BLK 106
504209090570	MOOS,JEFFREY S & PATTI L		605 SW 12 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 12 BLK 106
504209090580	LAND TR #939	BANTA,CATHERINE M TRSTEE	PO BOX 24943	FORT LAUDERDALE	FL 33307	FORT LAUDERDALE	FL33307	LOT 13 BLK 106
504209090590	LAS OLAS VILLAS LLC		4581 WESTON RD #330	WESTON	FL 33331	WESTON	FL33331	LOT 14 BLK 106
504209090600	LAND TR #943	LEFKA,BARBARA A TRSTEE	4061 NE 26 AVE	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308	LOT 15 BLK 106
504209090610	LAS OLAS VILLAS LLC		4581 WESTON RD #330	WESTON	FL 33331	WESTON	FL33331	LOT 16 BLK 106
504209090620	AKML INVESTMENT LLC		16047 COLLINS AVE UNIT 2302	SUNNY ISLES BEACH	FL 33160	SUNNY ISLES BEACH	FL33160	LOTS 1 & 3 BLK 107
504209090630	VISCONTI,FRANCISCO		1009 TEQUESTA ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 5 BLK 107
504209090640	ERLICH INVESTMENTS OF SO FL LLC		1495 MYRTLE OAK TER	HOLLYWOOD	FL 33021	HOLLYWOOD	FL33021	LOT 2 BLK 107
504209090650	SMITH,DAJUAN	HARRISON,ISAIH	1004 W LAS OLAS BLVD #3	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 4 BLK 107
504209090660	MACDONALD,JOHN		1008 W LAS OLAS BLVD	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 6 BLK 107
504209090670	VIGIL,PAUL		3201 HUNTINGTON	WESTON	FL 33332	WESTON	FL33332	A POR OF LOT 9 BLK 107 DESC AS:
504209090671	VIGIL,PAUL		3201 HUNTINGTON	WESTON	FL 33332	WESTON	FL33332	LOT 7 & A POR OF LOT 9 BLK 107
504209090680	LAUDERDALE PARK LLLP		2640 NE 34 ST	FORT LAUDERDALE	FL 33306	FORT LAUDERDALE	FL33306	LOT 8,10 BLK 107
504209090690	FILMAN,MARK		1023 SW 4 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 11 BLK 107
504209090712	CITY OF FORT LAUDERDALE	% CITY OF FORT LAUDERDALE	528 NW 2 ST	FORT LAUDERDALE	FL 33311	FORT LAUDERDALE	FL33311	UNNUMBERED BLK S OF BLK 107 & I
504209092530	PUBLIC LAND		101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301	ROADS & ALLEYS R/W PER SAID
504209300110	KURTZ,MARIA MARTINA	KURTZ,MARK	525 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 11
504209300120	BEALL,JEFFREY S		3033 N PEARY ST	ARLINGTON	VA 22207	ARLINGTON	VA22207	LOT 12
504209300130	NORDYKE,STEVEN B	HOLTZMAN,JENNIFER	517 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 13
504209300140	VAN ROSMALEN,TOINE & INGE		513 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 14
504209300150	SANDERS,KERRY L &	SANDERS,DEBORAH SHARP	509 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 15
504209300160	MASON,GORDON	MAST,KRISTIN	505 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 16
504209300170	CASA SONADA 501 CORP		501 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 17
504209300180	WILSON,LINDA C	LINDA C WILSON TR	504 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 18,19
504209300200	WEBER,EDWARD G		512 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 20
504209300210	BRINSON,FRANK A &	MCCAFFERTY,AUDRA I	516 SW 10 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312	LOT 21
504209300340	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301	54-27 B

November 7, 2025

Via Lauderbuild

Board of Adjustment

City of Fort Lauderdale

1 East Broward Blvd. Suite 444

Fort Lauderdale, Florida 33301

RE: 934 Waverly Road, Fort Lauderdale, FL 33312 (Single-Family Residence)

SUBJECT: Variance Request

Dear Sir/ Madam of the Board:

On behalf of Kurt Stange, owner of the Single Family Residence at 934 Waverly Road, Fort Lauderdale, Florida 33312, Folio No. 504209090071, referred to as the "Property", we respectfully submit the following narrative, with attached drawings and documentation, requesting a Variance for relief from two yard/ setbacks as required by the ULDR for the RS-8 Zoning District, in effort to reconstruct within structure's existing non-conforming footprint to maintain its Historical presence along the North Fork of the New River in the Sailboat Bend Neighborhood.



According to Broward County Property Appraiser (“BCPA”) records, the residence was built in 1937 and is considered a historic resource as it is located within the boundaries of the Sailboat Bend Historic District. It is the only structure located on the property that fronts the New River’s North Fork, and is located to the far Southwest corner, as identified below.

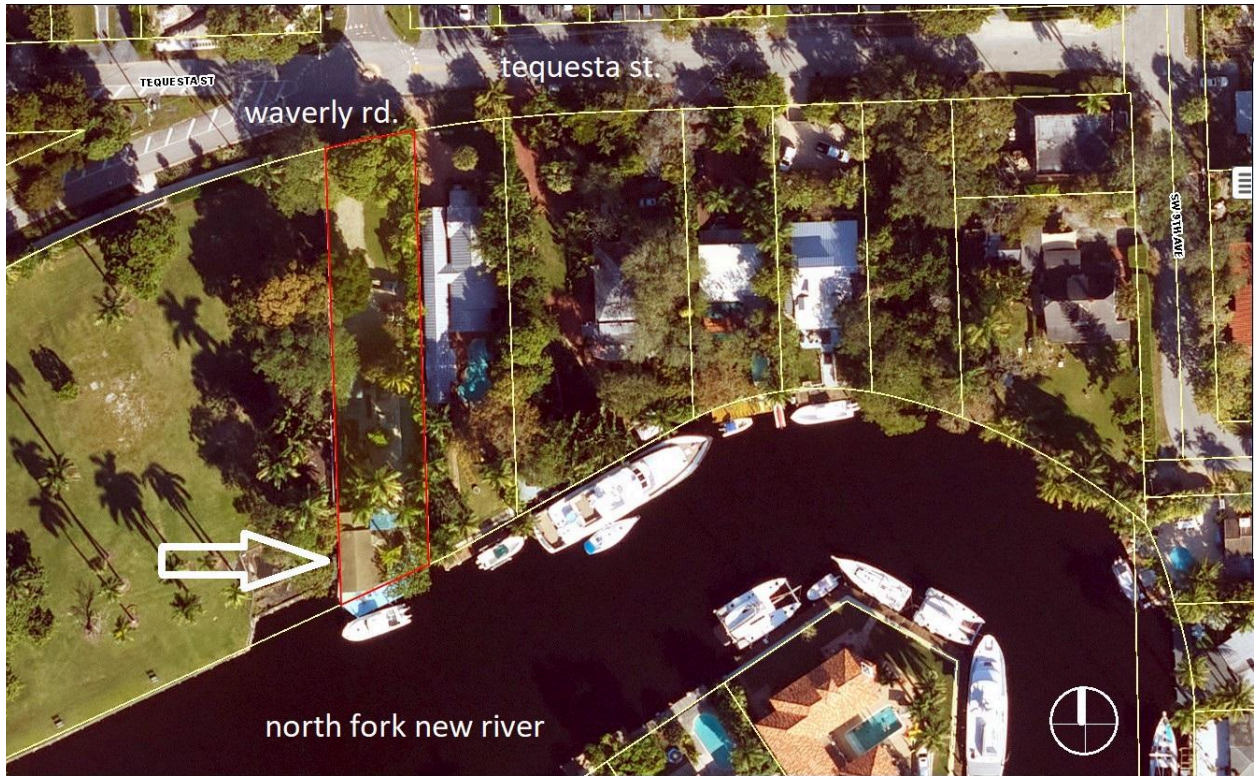


EXHIBIT 1 – Structure Location

Structure Designation and Type of Construction

The subject Structure is a one-story single-family home constructed with hand-framed wood roof rafters, wood stud walls, and a wood-framed floor supported on a piling system composed of steel, concrete, and wood materials; and is designated ‘Contributing’ to the Sailboat Bend Historic District (Site Number: 195).

Community Fondness

The owner purchased the property due to the residence’s uniquely situated presence along the River. This structure has been a recognizable landmark for boaters and sailors steering the North Fork of the New River for nearly 90 years. In hearings, the Department recently described the subject structure as *“situated along a curve of the New River, [having] a picturesque presence reminiscent of a traditional boathouse. This waterfront setting makes it a visual focal point of the neighborhood and a frequent subject of postcard-like views.”*

Neighbors have spoken, with one person describing that structure is part of his family's view and "really enjoys the view," and "that the property should be preserved as much as possible", (ref. UDP-HP25019 Staff Report; 2025.10.06 - Historic Preservation Board Hearing Transcript - minute 1:09h)

The East-adjacent neighboring residence is the same owner of the subject property, and is in favor of the project.

The West-adjacent neighboring parcel is an open park space, owned by the City of Fort Lauderdale.

Project Background

COA - Historic Preservation Board. The subject structure was approved by the Historic Preservation Board to be preserved / lifted / added to; ref. UDP-HP24037 - Certificate of Authorization and Resolution #24-15, attached. The HPB approval includes a setback waiver, as required to maintain the existing building's Historical position/ setting along the New River.

Structural Analysis. Subsequent to the HPB approval of the Project, during a structural analysis to determine bracing and construction sequencing requirements for lifting the structure, extensive and severe deterioration of the wood structural system was uncovered. Through verification and analysis (report attached), the structural engineer deemed the residence as unsafe for lifting/ relocating.

COA - Amendment. Upon the Structural Engineer's finding, the property owner submitted a request to Amend the Certificate of Authorization to Replicate the structure in lieu of preserving/ modifying. The Amendment request was rejected by the Department, citing the HPB's inability to authorize setback waivers for Reconstruction requests, Sec. 47-24.11.H.

Board of Adjustment - Variance Request

Due to the level of structural deterioration, the amount of reconstruction required exceeds criteria for the Historic Preservation Board's authority to approve the same setback waiver as previously granted for the project. This Request to the Board of Adjustment includes Rear and West Side Yard Setbacks, only to the footprint extents of the Existing Building.

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district.

Minimum side yard (West) - Required = 5 ft. - up to 22 ft. in height.

Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.

Minimum side yard - Requested = 1.7 ft. (match existing non-conforming footprint extents)

Minimum rear yard (South) - Required = 25 ft. when abutting a waterway.

Minimum rear yard - Requested = 1.7 ft. (match existing non-conforming footprint extents)

Sec. 47-19.2.B - Architectural features in residential districts.

Architectural features (**Eaves**) are permitted to extend into a yard area a maximum distance of three (3) feet from the face of the building, or one-third (1/3) of the required yard, whichever is less. - **Required = (1.7 ft. x 1/3) = 0.56 ft. (maximum)**

Minimum side yard (West) - Requested = 1.2 ft.

Minimum rear yard (South) - Requested = 1.7 ft.

Criteria for Variance – ULDR Section 47-24.12.4

Provided below is a point-by-point analysis of the ULDR criteria applicable to the Project:

SEC. 47-24.12.4. Criteria—Variance. A variance from the terms of the ULDR shall be granted only upon demonstrating a unique hardship attributable to the land by proving by a preponderance of the evidence all of the following criteria:

a. That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

RESPONSE: Due to the level of structural deterioration uncovered subsequent to the project's approval, the amount of reconstruction required exceeds criteria for the Historic Preservation Board's authority to approve the same setback waiver as previously granted for the project.

b. That the circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and

RESPONSE: Although the Historic Sail Boat Bend Neighborhood includes homes with varying waterway setbacks, per current BCPA available aerial views, no known property (historic or non) has the contributing historical character that this property lends, due to its unique presence in proximity to the New River.

c. That the literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

RESPONSE: The historic character of the building's position along the river cannot be preserved/ reconstructed if relief from current ULDR setbacks is not permitted.

d. That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

RESPONSE: The existing structure was constructed prior to the City's first ULDR. Efforts to preserve (with modification) were approved by attaining a Certificate of Appropriateness and setback waiver from the Historic Preservation Board. Severe structural Termite damage was uncovered during a subsequent engineering

analysis, and now requires reconstruction - a project outside of the authority of the Historic Preservation Board's ability to grant the same setback waiver as previously approved.

e. That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: The setback reductions requested are the same footprint and extents as the existing structure to be reconstructed on. All other ULDR requirements shall be followed.

We respectfully request that the Board of Adjustment **approve this Variance for reduced setback** for the residence at 934 Waverly Road. Please contact me at rob@orcuttore.com or (954) 271-2718 if you require any additional information.

Submitted,



Rob Orcutt, AIA
AR97390

LEGAL DESCRIPTION

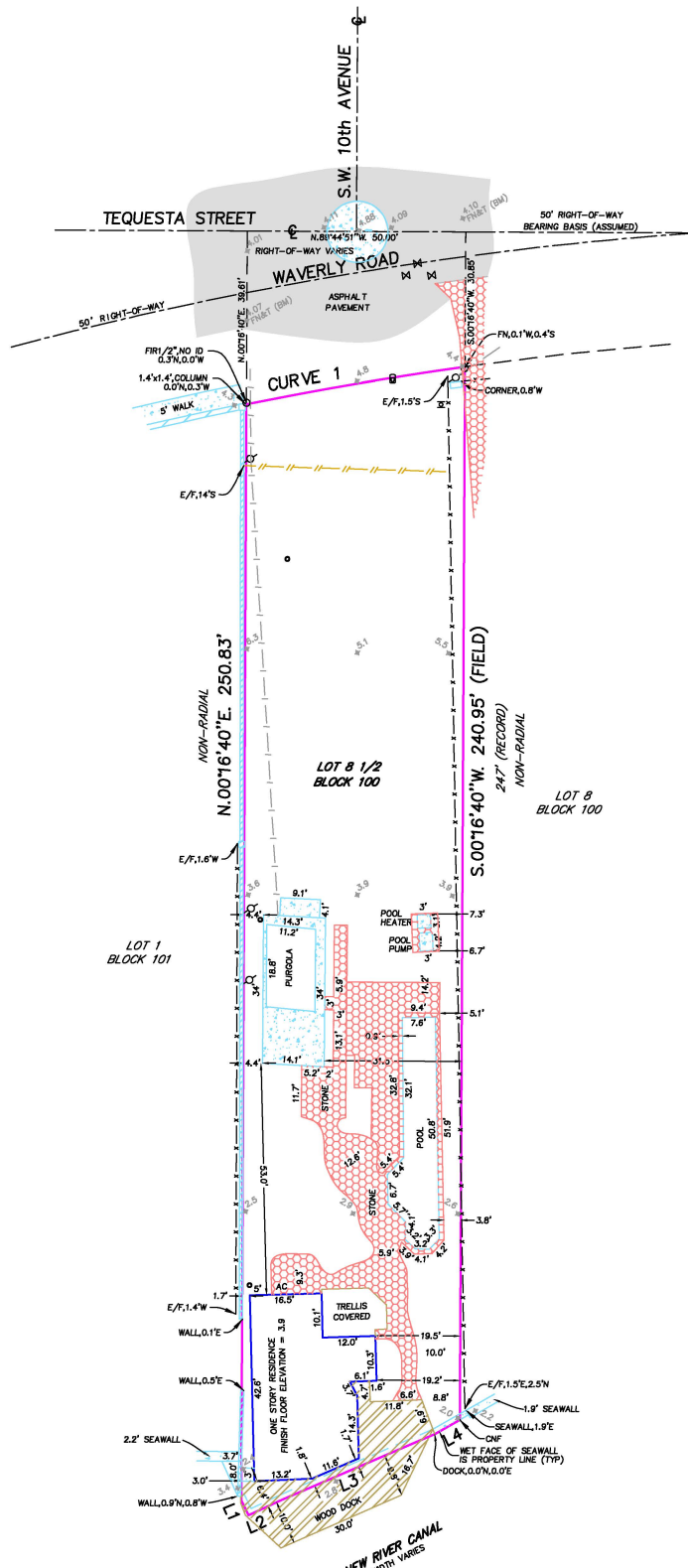
LOT 8 1/2, BLOCK 100, "WAVERLY PLACE", ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE(S) 19, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

CERTIFIED TO:
STANGE, KURT PETER

PROPERTY ADDRESS
934 WAVERLY ROAD
FORT LAUDERDALE, FL 33312

BOUNDARY SURVEY
INVOICE #27632U3
SURVEY DATE 09/02/25

FLOOD ZONE AE6
MAP DATE 07/31/24
MAP NUMBER 125105 0557J



LEGEND

	GUY ANCHOR
	WATER METER
	FIRE HYDRANT
	CLEAN OUT
	SCALABLE BOX
	MANHOLE
	ELECTRIC SERVICE WELL
	POOL EQUIPMENT WATER VALVE
	POWER/LIGHT POLE
	SPRINKLER SYSTEM
	CONTROL VALVE
	CONCRETE/CHAM
	ASPHALT PAVEMENT
	BRICK/TILE PAVERS
	WOOD DECK/DOCK
	PROPERTY LINE
	CENTERLINE
	CONCRETE WALL
	METAL FENCE
	WOOD/PVC FENCE
	OVERHEAD WIRES
	0.00 / 0.00 ELEVATION

ABBREVIATIONS

AC	AIR CONDITIONER
AE	ANCHOR EASEMENT
BC	BUILDING CORNER
BM	BENCHMARK
BW	BACK OF WALK
C	CALCULATED
CNF	CORNER NOT FOUND
DE	ORANGE EASEMENT
E/F	END/FENCE
EP	EDGE OF PAVEMENT
EW	EDGE OF WATER
F/C	FENCE/CORNER
FF	FINISH FLOOR
F/L	FENCE LINE
FI	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN	FOUND NAIL
FN&D	FOUND NAIL & DISC
FN&T	FOUND NAIL & TAB
FL	FLORIDA POWER & LIGHT
GAR	GARAGE
GEN	GENERATOR
INSTR	INSTRUMENT
OP	OPEN RECORD
ORB	OFFICIAL RECORD BOOK
M	MEASURED
NTS	NOT TO SCALE
PB	PLAT BOOK
PC	POINT OF CURVATURE
PGB	POINT OF BEGINNING
PCC	POINT OF COMMENCEMENT
PR	PERMANENT REFERENCE MONUMENT
PRC	POINT OF REVERSE CURVE
PRM	PERMANENT REFERENCE MONUMENT
PT	POINT OF TANGENCY
R	RECORD
RA	RADIAL
RW	RIGHT-OF-WAY
SN&D	SET NAIL & DISC 5495
SP	SCREENED PORCH
SP&C	SET 1/2" PIN & CAP 5495
UE	UTILITY EASEMENT

SURVEYOR'S NOTES

1. BASIS OF BEARINGS ASSUMED UNLESS OTHERWISE INDICATED ON SKETCH.
2. LEGAL DESCRIPTION PROVIDED BY CLIENT OR PROPERTY APPRAISER VERIFIED.
3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR EASEMENTS, RIGHT-OF-WAYS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
4. UNDERGROUND OR INTERIOR PORTIONS OF FOOTINGS, FOUNDATIONS, WALLS OR OTHER NON-VISIBLE IMPROVEMENTS WERE NOT LOCATED.
5. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 UNLESS OTHERWISE INDICATED ON SKETCH.
6. FLOOR ELEVATION OBTAINED FROM MAIN ENTRY WAY OF STRUCTURE UNLESS OTHERWISE INDICATED ON SKETCH.
7. FENCE TIES ARE TO THE CENTER-LINE OF FENCE. WALL TIES ARE TO THE FACE OF WALL.
8. IN SOME INSTANCES GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE CONTROL. THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
9. THE DIMENSIONS AND DIRECTIONS SHOWN HEREON ARE IN SUBSTANTIAL AGREEMENT WITH RECORD VALUES UNLESS OTHERWISE NOTED.
10. PARTY WALLS ARE CENTERED ON PROPERTY LINE AND ARE 0.7' WIDE UNLESS OTHERWISE NOTED.
11. EXISTING CORNERS FOUND OFFSETS WITNESS PROPERTY CORNERS
12. OBSTRUCTED CORNERS ARE WITNESSED BY IMPROVEMENTS.
13. NO ATTEMPT WAS MADE TO LOCATE WRITTEN OR UNWRITTEN EASEMENTS OR RIGHTS-OF-WAY, OTHER THAN THOSE SHOWN HEREON.

LINE TABLE
(RUNS ALONG WETFACE OF WALL)

NUMBER	DIRECTION	DISTANCE
L1	S.26°39'20"E	3.86'
L2	N.64°24'16"E	6.35'
L3	N.68°44'46"E	38.11'
L4	N.80°26'13"E	6.64'

CURVE TABLE

NUMBER	DELTA	CHORD DIRECTION	RADIUS	ARC	LC
CURVE 1	03°34'56"	N.80°18'56"E	812.00	50.77	50.77

Scale 1" = 20'

Digitally signed by Paul J. Stewart
Date: 2025.09.04 09:56:45-0400

ATLANTIC COAST SURVEYING

PAUL J. STEWART
PROFESSIONAL LAND SURVEYOR
FLORIDA CERTIFICATION NO. 52481
ATLANTIC COAST SURVEYING, INC.
13798 NW 4th Street, Suite 306
Surfside, FL 33335
P: 954.687.2100 E: info@acswb.net

934 WAVERLY RESIDENCE

934 WAVERLY RD



CITY OF FORT LAUDERDALE - ZONING DIVISION
 BOARD OF ADJUSTMENT (BOA)
 SUBMITTAL DRAWINGS

DRAWING INDEX

SHEET	SHEET CONTENT	ISSUED SET FOR BOA
A000	COVER SHEET, INDEX OF DRAWINGS	○
A010	COLOR PHOTOGRAPHS OF THE PROPERTY	○
A020	3D RENDERERS OF THE PROPOSED BUILD OUT	○
A100	SITE PLAN	○
A201	EXISTING FLOOR PLAN - L01	○
A202	PROPOSED FLOOR PLANS - L01 & L02	○
A301	EXISTING ELEVATIONS - NORTH AND SOUTH	○
A302	EXISTING ELEVATIONS - EAST AND WEST	○
A303	PROPOSED ELEVATIONS - NORTH AND SOUTH	○
A304	PROPOSED ELEVATIONS - EAST AND WEST	○
A305	PROPOSED WINDOWS, DOORS, SIDING AND METAL ROOFING	○
	SURVEY PLAN	○



ORCUTT ROSE ARCHITECTS
 1071 NE 45TH STREET
 OAKLAND PARK, FL 33334
 954-271-2718 ORCUTTROSE.COM
 FL QUALIFICATION A R 97390



CERTIFICATION:
 PROJECT INFORMATION:
ADDITION AND RENOVATION FOR:
 934 WAVERLY RESIDENCE
 934 WAVERLY RD,
 FORT LAUDERDALE,
 FL 33312

DRAWING BY:
 RO

ISSUE:
 HISTORIC PRESERVATION BOARD
 SUBMITTAL

ISSUE DATE:
 10/14/2024

ISSUE REVISIONS:

No.	DATE/ DESCRIPTION

PROJECT NUMBER:
 240008

SHEET NUMBER:
A000

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PHOTO #1: EXISTING NORTH VIEW



PHOTO #2: EXISTING EAST VIEW



PHOTO #3: EXISTING SOUTH VIEW



PHOTO #4: EXISTING

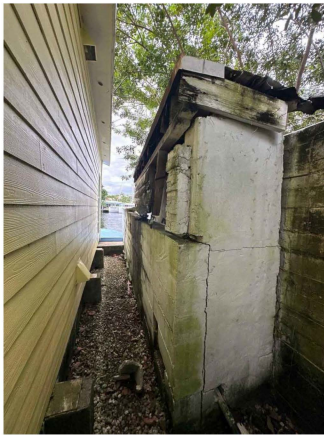


PHOTO #5: EXISTING

**ORCUTT
ROSE**

ARCHITECTS
1071 NE 45TH STREET
OAKLAND PARK, FL 33334
954-271-2718 ORCUTTROSE.COM
FL QUALIFICATION A R 97390



ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:

ADDITION AND RENOVATION FOR:

**934 WAVERLY
RESIDENCE**

**934 WAVERLY RD,
FORT LAUDERDALE,
FL 33312**

DRAWING NAME:

**EXISTING
PROPERTY
PHOTOGRAPHS**

DRAWING BY:

RO

ISSUE:
HISTORIC PRESERVATION BOARD
SUBMITTAL

ISSUE DATE:

10/14/2024

ISSUE REVISIONS:

No.	DATE/	DESCRIPTION

PROJECT NUMBER:

240008

SHEET NUMBER:

A010



3D VIEW – PROPOSED – NORTH

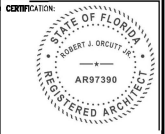


3D VIEW – PROPOSED – SOUTH

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ROSE**

ARCHITECTS
1071 NE 45TH STREET
OAKLAND PARK, FL 33334
954-271-2718 ORCUTTROSE.COM
FL QUALIFICATION A R 97390



ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:

ADDITION AND RENOVATION FOR:

934 WAVERLY
RESIDENCE

934 WAVERLY RD,
FORT LAUDERDALE,
FL 33312

DRAWING NAME:

3D VIEWS
PROPOSED

DRAWING BY:

RO

ISSUE:
HISTORIC PRESERVATION BOARD
SUBMITTAL

ISSUE DATE:
10/14/2024

ISSUE REVISIONS:

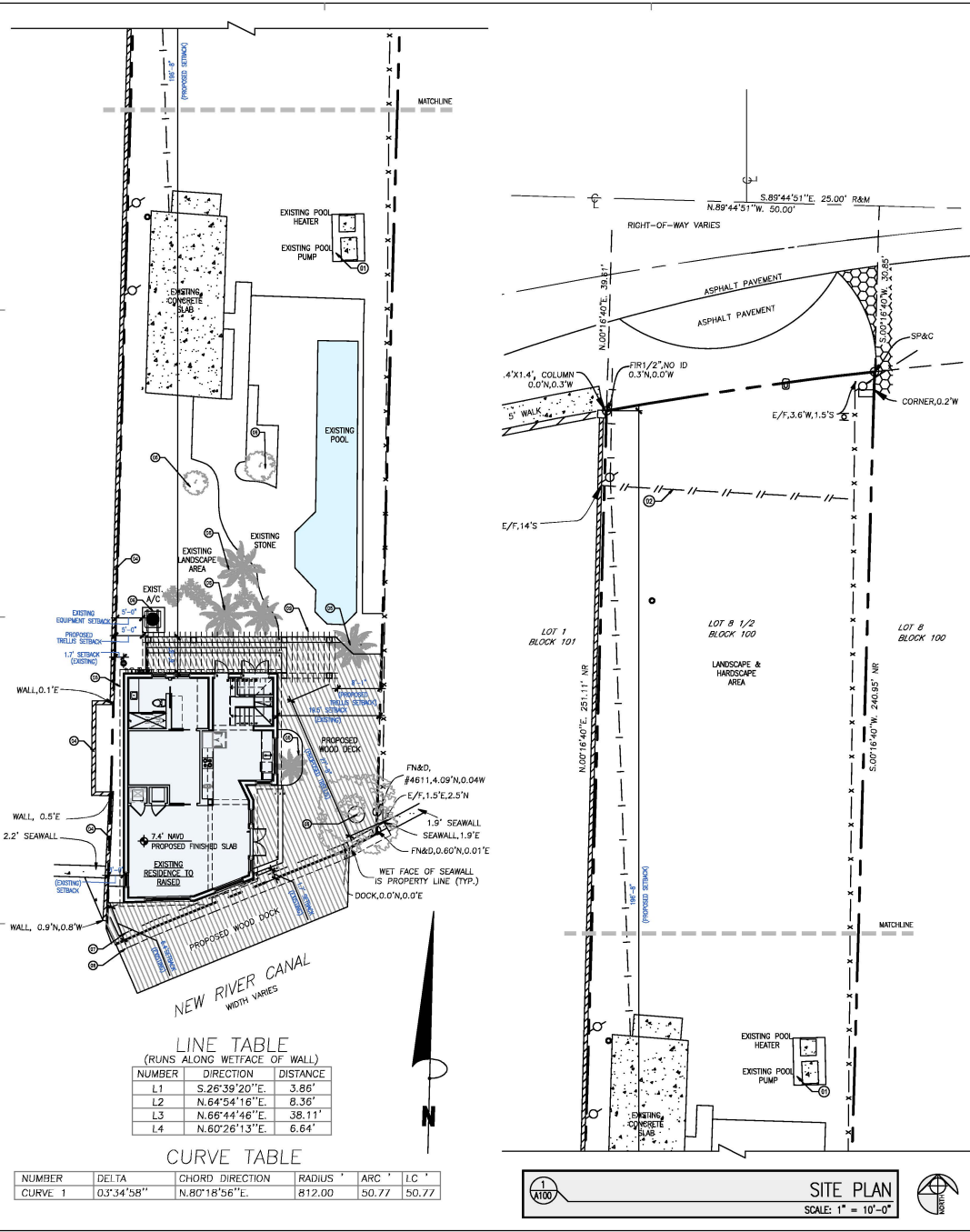
No.	DATE/	DESCRIPTION

PROJECT NUMBER:
240008

SHEET NUMBER:

A020

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FLOOD ZONE CRITERIA		
CURRENT FLOOD ZONE (B.F.E.) (FORM DATE 2024.02.23)	AE-6	MAP# 1201102657J
MINIMUM ELEVATION OF LOWEST FLOOR (ASCE 24-14)	7.0 NAVD	B.F.E. + 1'-0"
MINIMUM ELEVATION OF LOWEST FLOOR (CITY OF FORT LAUDERDALE - FLOOD PLAN MANAGER)	7.4' NAVD	B.F.E. + 1.4'
PROPOSED FINISHED FLOOR ELEVATION	7.4 NAVD	

PROPERTY INFORMATION		
PROJECT	534 WAVERLY RESIDENCE	
PROPERTY OWNER	KURT PETER STANGE	
ADDRESS	534 WAVERLY ROAD, FORT LAUDERDALE 33312	
BCPA FOLIO	504209060071	
LEGAL DESCRIPTION (PER BCPA)	WAVERLY PLACE 2-19 D LOT 8 1/2 BLK 100	
JURISDICTION	CITY OF FORT LAUDERDALE; BROWARD COUNTY	

FLOOR AREA CALCULATIONS			
	EXIST. FLOOR AREA (SQ.FT.)	ADDED FLOOR AREA (SQ.FT.)	TOTAL FLOOR AREA (SQ. FT.)
GROSS FLOOR AREA (A/C) - LEVEL 1	975	119	1,094
GROSS FLOOR AREA (A/C) - LEVEL 2		1,094	1,094
TOTAL FLOOR AREA (A/C)	975	1,213	2,188
TOTAL FLOOR AREA (GROSS)			2,188

ZONING TABULATION			
ZONING: RS-8			
USE: SINGLE-FAMILY RESIDENCE			
	REQUIRED	EXISTING	AFTER ADJUSTION
LOT AREA	8,000 SF (MIN.)	12,405 SF	NO CHANGE
LOT WIDTH	75'-0" (MIN.) (WATERWAY)	51'-0" (EXISTING NON-CONFORMING)	NO CHANGE
DENSITY	N/A	1 DU	NO CHANGE
DWELLING UNIT FLOOR AREA	1,000 SF (MIN.)	975 SF	2,188 SF
LOT COVERAGE (7,501-12,000 SF)	12,405 SF X 45% = 5,582 SF	7,862 (975 SF)	8.82% (1,094 SF)
FLOOR AREA RATIO (7,501-12,000 SF)	12,405 SF X 0.75 = 9,304 (MAX.)	0.58 (975 SF)	0.18 (2,188 SF)
STRUCTURE HEIGHT TO 00	35'-0" (MAX.)	12'-0"	22'-6"
FRONT YARD SETBACK (NORTH)	25'-0"	203'-4"	196'-8"
SIDE YARD SETBACK (WEST)	5'-0" - UP TO 22 FT. HT.	1.7' (EXISTING NON-CONFORMING)	NO CHANGE
SIDE YARD SETBACK (EAST)	5'-0" - UP TO 22 FT. HT.	18'-6"	8'-1"
REAR YARD SETBACK (SOUTH)	25'-0" (WATERWAY)	1.7' (EXISTING NON-CONFORMING)	NO CHANGE

- SITE PLAN KEYNOTES**
- (1) EXISTING PAD MOUNTED POOL EQUIPMENT, MIN. 5'-0" SETBACK FROM PROPERTY LINE.
 - (2) EXISTING OPERABLE GATE.
 - (3) EXISTING OVERHANG.
 - (4) EXISTING CONCRETE WALL.
 - (5) EXISTING TREES AND LANDSCAPING.
 - (6) EXISTING A/C PAD, MAINTAIN MIN. 5'-0" SETBACK FROM PROPERTY.
 - (7) EXISTING SEA WALL.
 - (8) PROPOSED SEA WALL REPLACEMENT.
 - (9) PROPOSED WOOD TRELLIS STRUCTURE.

PROJECT SCOPE			
<ul style="list-style-type: none"> • RAISE EXISTING ONE-STORY, SINGLE-FAMILY RESIDENCE, IN-PLACE, ENCLOSE A GROUND LEVEL ADDITION AND STAIR. • EXISTING NONCONFORMING STRUCTURE (SETBACKS) IS PROPOSED TO BE MODIFIED IN A WAY THAT DOES NOT INCREASE ITS NONCONFORMITY. • THE SUBJECT PROPERTY IS DESIGNATED CONTRIBUTING TO THE SAIGBOAT BEND HISTORIC DISTRICT (SITE NUMBER: 195), AND SEEKS HISTORIC PRESERVATION BOARD CERTIFICATE OF APPROPRIATENESS FOR A MAJOR ALTERATION PER SEC. 47-24.11(2).1, AS WELL AS A WAIVER TO MAINTAIN EXISTING NONCONFORMING SET BACKS, RELYING REQUIREMENTS OF SEC. 47-32.0(2) AND SEC. 47-32.0(3) WHICH REQUIRE 5 FOOT MINIMUM SIDEYARD SETBACKS. 			



ORCUTT ROSE ARCHITECTS
1071 NE 48TH STREET
OAKLAND PARK, FL 33334
954-271-2718 ORCUTTROSE.COM
FL QUALIFICATION A R 9 7 3 9 0

CERTIFICATION:
STATE OF FLORIDA
ROBERT J. ORCUTT, AIA
REGISTERED ARCHITECT
AR97390

ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:
ADDITION AND RENOVATION FOR:
934 WAVERLY RESIDENCE
934 WAVERLY RD, FORT LAUDERDALE, FL 33312

DRAWING NAME:
PROPOSED SITE PLAN

DRAWING BY:
RO

ISSUE:
HISTORIC PRESERVATION BOARD SUBMITTAL

ISSUE DATE:
10/14/2024

ISSUE REVISIONS:

No.	DATE	DESCRIPTION

PROJECT NUMBER:
240008

SHEET NUMBER:
A100

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CERTIFICATION:
ROBERT J. ORCUTT AR97390

PROJECT INFORMATION:
ADDENDUM AND RENOVATION FOR:
**934 WAVERLY
RESIDENCE**

934 WAVERLY RD,
FORT LAUDERDALE,
FL 33312

DRAWING NAME:
**PROPOSED
EXTERIOR
DOORS,
WINDOWS,
SIDING & ROOF**

DRAWING BY:
RO

ISSUE:
HISTORIC PRESERVATION BOARD
SUBMITTAL

ISSUE DATE:
10/14/2024

ISSUE REVISIONS:

No.	DATE/ DESCRIPTION

PROJECT NUMBER:
240008

SHEET NUMBER:
A305



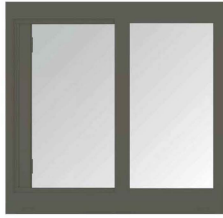
E.S. WINDOWS - BIFOLD DOOR ES-BF5010T - PRODUCT APPROVAL FL #21583



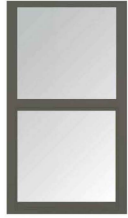
E.S. WINDOWS - DOUBLE FRENCH DOORS ES-EL300 - PRODUCT APPROVAL NOA #16-0617.03



E.S. WINDOWS - FIXED WINDOW ES-EL150 - PRODUCT APPROVAL NOA #21-0628.18



E.S. WINDOWS - ROLLER SLIDING WINDOW ES-EL200 - PRODUCT APPROVAL NOA #21-0608.03



E.S. WINDOWS - SINGLE-HUNG WINDOW ES-EL100 - PRODUCT APPROVAL NOA #21-0526.02

1
A305 PROPOSED DOORS & WINDOWS
SCALE: N.T.S.



EXISTING WOOD SIDING - PHOTO 1.



EXISTING WOOD SIDING - PHOTO 2

2
A305 EXISTING SIDING
SCALE: N.T.S.

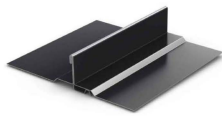


PROPOSED WOOD SIDING MATCHING EXISTING IN GREY - PHOTO 1.

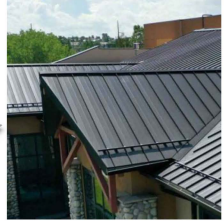


PROPOSED WOOD SIDING MATCHING EXISTING IN GREY - PHOTO 2

3
A305 PROPOSED SIDING
SCALE: N.T.S.

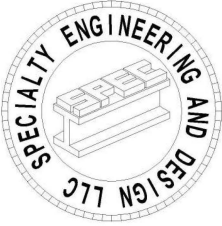


PROPOSED METAL ROOFING DETAIL - PHOTO 1
BERTRON MANUFACTURING CO. -
DOUBLE ZEE-LOCK ALUMINUM ROOF PANEL
NOA# 20-0902.06



PROPOSED METAL ROOFING SYSTEM - PHOTO 2
BERTRON MANUFACTURING CO. -
DOUBLE ZEE-LOCK ALUMINUM ROOF PANEL NOA# 20-0902.06

4
A305 PROPOSED METAL ROOFING SYSTEM
SCALE: N.T.S.



June 6, 2025

Orcutt Rose Architects
1071 NE 45th Street
Oakland Park, FL 33334

**RE: 934 WAVERLY RD, FORT LAUDERDALE, FL 33312
ASSESSMENT OF EXISTING STRUCTURE**

To Whom It May Concern,

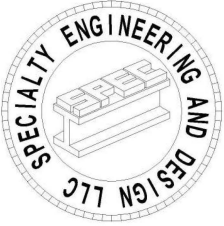
Pursuant to your request on Friday, May 30, 2025 we performed a visual assessment of the existing structure at the referenced address. In general, the structure is a 1-story single family home with hand-framed wood roof rafters, wood stud walls and wood framed floor on a steel, concrete and wood piling system. The Broward County Property Appraiser reports that the original house was built in 1937. The purpose of this report is to evaluate the existing structure's capacity to be relocated in its entirety. Our observations are as follows:

FOUNDATION AND FLOOR FRAMING

We were able to access the crawlspace through the various openings on the west side of the house. The floor is framed with 2x8 wood joists approximately 12-16 inches on center spanning east to west. The joists are supported by wood beams. The interior wood beams are supported by 4x4 wood posts. Some of the wood posts are deteriorated at grade level. The wood beams below the west exterior house wall are supported by steel piles. It appears the house was constructed in a skewed position in relation to the pile layout. The bearing of the wood beams on the piles decreases from the southwest corner to the northwest corner such that the wood beam does not have full bearing on the two northernmost piles.



Photo 1: Pile at West Exterior Wall



Page 2 of 7

June 6, 2025

934 Waverly Rd, Fort Lauderdale, FL

Several of the steel piles are corroded and show significant deterioration; the most severe condition was observed at the southwest corner. There is no visible connection between the steel piles and wood beams, which means there is no resistance against the code-prescribed lateral and uplift wind loading conditions between the house wall and foundation.



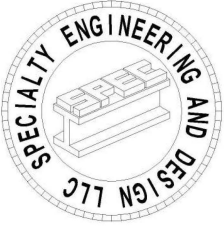
Photo 2: Pile at Southwest Corner



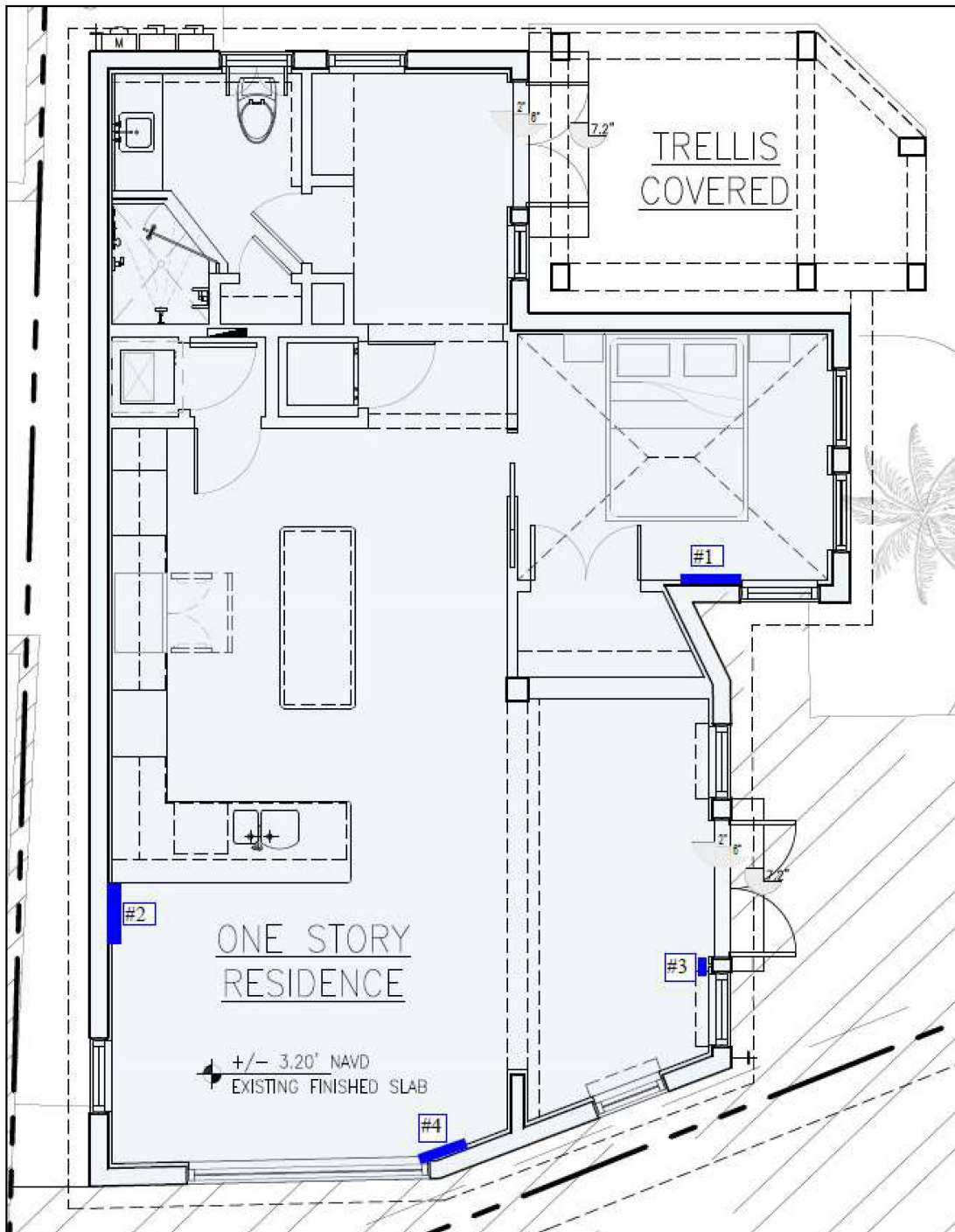
Photo 3: Floor Framing at West Exterior Wall

WALL, ROOF AND CEILING FRAMING

Prior to our site visit, the interior wall covering was removed in four locations noted in the floor plan on the following page. Please note floor plan is not depicted to scale.



Page 3 of 7
June 6, 2025
934 Waverly Rd, Fort Lauderdale, FL



Floor Plan for Reference Only



Page 4 of 7

June 6, 2025

934 Waverly Rd, Fort Lauderdale, FL

Location #1

The exterior south bedroom wall is framed with a 4x wood beam on 2x4 wood studs and a single 2x4 bottom plate with plywood wall sheathing. The wood members are fastened together with twist straps and toe nails. All the exposed wall studs have various levels of deterioration. It appears repairs were previously attempted by scabbing metal studs to each member. However, the metal studs do not span the full length from beam to bottom plate such that the beam is still bearing on deteriorated wood sections.

The roof is a vaulted/hipped profile framed with 2x wood joists. There are no visible connections between the roof joists and wood beam that would sufficiently resist lateral and uplift wind loading conditions.



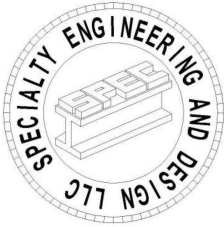
Photo 4: South Wall Framing at Bedroom



Photo 5: West Living Room Wall Stud

Location #2

The exterior west living room wall is framed with 2x4 wood studs with a double top plate and single bottom plate with plywood wall sheathing. The exposed wall studs in this area have significant termite damage.



Page 5 of 7

June 6, 2025

934 Waverly Rd, Fort Lauderdale, FL

The roof in this area is framed with 2x wood roof and ceiling joists with wood decking. The use of wood decking greatly decreases the overall shear resistance of the roof diaphragm.

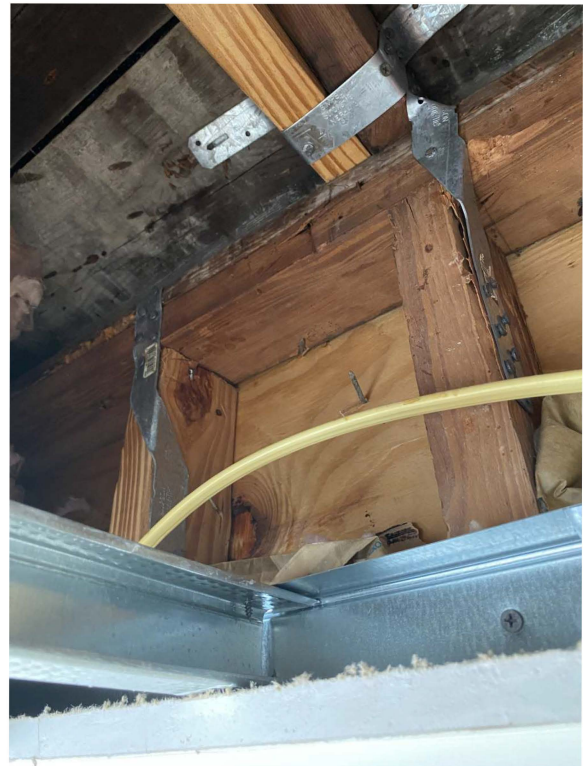


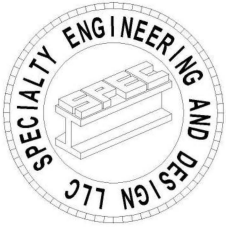
Photo 6: West Living Room Wall Top Plate



Location #3

The east living room wall is framed with 2x4 wood studs with a double top plate and single bottom plate. Part of the door header was exposed and there are no visible connections between the roof and wall and wall and foundation that would sufficiently resist lateral and uplift wind loading conditions in this area. While the wall studs show some damage near the bottom plate, the area of the top plate that was exposed is extremely deteriorated and needs to be repaired in a timely manner.

Photo 7: East Living Room Wall Top Plate



Page 6 of 7

June 6, 2025

934 Waverly Rd, Fort Lauderdale, FL

Location #4

The south living room wall is ballooned framed with 2x4 wood studs with a top and bottom wood plate with plywood wall sheathing. All the exposed wood framing in this area have various levels of significant deterioration and do not have any visible connections that would sufficiently resist lateral and uplift wind loading conditions.



Photo 8: South Window Jamb at Header

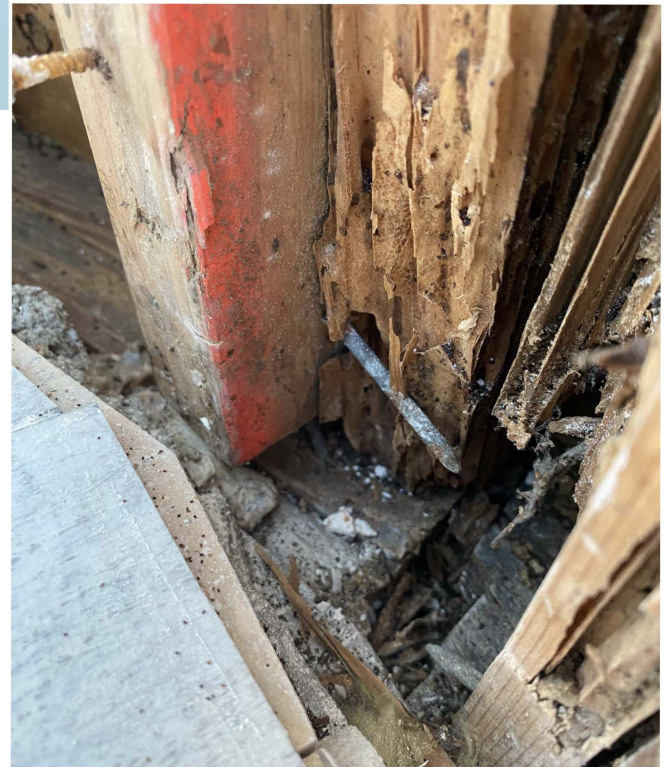
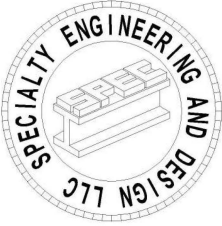


Photo 9: South Window Jamb at Bottom Plate



Page 7 of 7
June 6, 2025
934 Waverly Rd, Fort Lauderdale, FL

CONCLUSION

To conclude, we have determined relocating the existing structure in its current condition would be unsafe and strongly discouraged due to the extent of damaged wood wall framing and the method of framing of the window and door openings and roof system.

Furthermore, if the structure is to remain in place, major repairs need to be made to ensure the structure can sustain current code-prescribed loads in accordance with the 2023 Florida Building Code, 8th Edition and ASCE 7-22. Required repairs include but are not limited to the following:

1. Replace and/or repair all damaged wood framing including areas mentioned in this report.
2. Reinforce and/or provide new stem wall on grade beams and piles.
3. Provide tie downs between the roof, walls and foundations to create a continuous load path to resist lateral and uplift wind loading in accordance with current code.
4. Reframe existing window and door openings to resist current code-prescribed design loads.
5. Reinforce roof framing throughout house resist current code-prescribed design loads.

Any future reconstruction of the structurally deficient areas of this building are required to be designed by a Florida Registered Professional Engineer.

We hope that you find this information helpful and should you have any questions please feel free to call on us.

Respectfully submitted,
Specialty Engineering and Design LLC

**Dewey A.
LeBlanc**

Digitally signed by Dewey
A. LeBlanc
Date: 2025.06.06 13:06:53
-04'00'

D. Adam LeBlanc, PE
Vice President of Design

Rebecca Lane, PE
Project Engineer

State of Florida:
Registered Professional Engineer: #0077012
Certificate of Authorization: #009217

GENERAL NOTE

This report is not to be considered a warranty, but a report on the condition of the residence based on a visual examination at the time of the inspection and including only what is reported herein. It does not represent to have found all defective items within the residence, rather it is our attempt to identify as many deficiencies as we were able to reveal at the time of this inspection. The inspector or Specialty Engineering and Design LLC, is not responsible nor do we accept any liability for defects not reported herein or problems that occur within the residence in the future.



**CITY OF FORT LAUDERDALE
HISTORIC PRESERVATION BOARD**

CERTIFICATE OF APPROPRIATENESS

A Certificate of Appropriateness is confirmation that the request described below has been approved for historic preservation review purposes consistent with Unified Land Development Regulations (ULDR) Section 47-17.7.B, 47-24.11.D.3.c.i, and 47-24.11.c.iii.

GRANTED TO:

Property Owner: Kurt Stange
Property Address: 934 Waverly Road
Landmark/Historic District: Sailboat Bend Historic District
Case Number: UDP-HP24032
Approval Date: November 4, 2024

REQUEST(S):

Certificate of Appropriateness for New Construction

- Elevation of the Existing Structure Approximately 17 Feet 4 Inches to include a New Habitable First Floor, New Seawall, and New Wood Deck on a Contributing Property, Change in Roofing Material from Asphalt Shingle to Standing Seam Metal, and Request for Setback Waiver

CONDITION(S) OF APPROVAL:

1. Repairs to the existing structure, including any required replacement wood clapboard siding, must match the existing in material, texture, size, etc.
2. All glass shall be clear with an option of a low-e coating.
3. Horizontal roller sliding windows may not be located on a front elevation including windows facing Waverly Road or the New River waterway.
4. Landscaping shall be placed in front of the mechanical equipment to screen it from view and reduce visibility.
5. This property is located in an Archaeologically Significant Zone. There is a high potential for occurrence of significant archaeological materials within the subject property; however, since the construction of the addition will utilize the existing footprint archaeological monitoring is only require in areas where there are new utility trenches, piers/footings, grading, or demolition that is six (6) inches or deeper within the parcel. See attached letter from the City's archaeological consultant for more information.
6. This application is subject to the approval by Building, Zoning, and all ULDR requirements, including landscaping.

December 5, 2024

Date

Historic Preservation Board (HPB) Chair or Staff Liaison

CERTIFICATE OF APPROPRIATENESS EXPIRES UNLESS:

- A. Building Permit application for above request is submitted within 18 months following APPROVAL DATE, by: **May 4, 2026**
- B. Building Permit for above request is issued within 24 months following APPROVAL DATE, by: **November 4, 2026**

HISTORIC PRESERVATION BOARD RESOLUTION NO. 24-15

A RESOLUTION OF THE HISTORIC PRESERVATION BOARD OF THE CITY OF FORT LAUDERDALE, FLORIDA, APPROVING A CERTIFICATE OF APPROPRIATENESS FOR MAJOR ALTERATIONS FOR THE ELEVATION OF THE EXISTING STRUCTURE APPROXIMATELY 17 FEET 4 INCHES TO INCLUDE A NEW HABITABLE FIRST FLOOR, NEW SEAWALL, AND NEW WOOD DECK, CHANGE IN ROOFING MATERIAL FROM ASPHALT SHINGLE TO STANDING SEAM METAL, AND A SETBACK WAIVER FOR THE PROPERTY LOCATED AT 934 WAVERLY ROAD, FORT LAUDERDALE, FLORIDA, IN THE SAILBOAT BEND HISTORIC DISTRICT; CASE NUMBER UDP-HP24032; PROVIDING FOR CONFLICTS, PROVIDING FOR SEVERABILITY, AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the agent, Orcutt Rose Architects, applied for a Certificate of Appropriateness for major alterations on behalf of the applicant, Kurt Stange, for the elevation of the existing structure approximately 17 feet 4 inches to include a new habitable first floor, new seawall, and new wood deck, a change in roofing material from asphalt shingle to standing seam metal, and a request for a setback waiver for the property located at 934 Waverly Road, Fort Lauderdale, Florida; and

WHEREAS, the applicant specifically requests a waiver of setback requirements for the property to allow the following reductions: on the south setback from 25 feet to 1 foot and 8 inches and on the west setback from 5 feet to (measurements that vary from) 1 foot and 7 inches to 3 feet; and

WHEREAS, Sections 47-24.11.D.3.c.i. and 47-24.11.D.3.c.ii. of the City of Fort Lauderdale, Florida, Unified Land Development Regulations ("ULDR") provides the criteria for an application for a certificate of appropriateness for major alterations; and

WHEREAS, Section 47-17.7. of the ULDR includes the applicable material and design guidelines for properties located in the Sailboat Bend Historic District; and

WHEREAS, Section 47-24.11.H. of the ULDR provides for the criteria for waivers for historic preservation; and

WHEREAS, in accordance with Section 47-24.11.D.3. of the ULDR, the Historic Preservation Board must determine whether the proposed application meets the criteria for a certificate of appropriateness for major alterations; and

WHEREAS, the application has been reviewed in accordance with the Sailboat Bend material and design guidelines in Section 47-17.7. of the ULDR and the criteria set forth in Sections 47-24.11.D.3.c.i., 47-24.11.D.3.c.ii., and 47-24.11.H. of the ULDR.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORIC PRESERVATION BOARD OF THE CITY OF FORT LAUDERDALE, FLORIDA:

SECTION 1. That the above recitals are true and correct and incorporated into this Resolution by this reference.

SECTION 2. The Historic Preservation Board finds that the application for a certificate of appropriateness for major alterations meets the criteria of Sections 47-24.11.D.3.c.i., 47-24.11.D.3.c.ii., 47-24.11.H., and 47-17.7.B. of the ULDR as enunciated and memorialized in the minutes of its meeting on November 4, 2024, and a portion of those findings are expressly listed as follows:

The board found that all the applicable criteria were met based on the testimony heard at the hearing because among other things, the band around the home differentiates between existing structure and historic structure. The testimony at the hearing indicated that the applicant did everything possible to provide for a compatible use. The property has been treated with sensitivity as the property owner has maintained the exact footprint and the project maintains the view on the waterway. The applicant does not change the location of the house and the setbacks are not being changed from the existing setbacks.

SECTION 3. The application for a certificate of appropriateness for major alterations, submitted by the agent, Orcutt Rose Architects, on behalf of the applicant, Kurt Stange, for the elevation of the existing structure approximately 17 feet 4 inches to include a new habitable first floor, new seawall, and new wood deck on a Contributing Property, a change in roofing material from asphalt shingle to standing seam metal, and a request for setback waiver for the property located at 934 Waverly Road, Fort Lauderdale, Florida, Case No. UDP-HP24032 is hereby approved, subject to the conditions stated on the record at the November 4, 2024, Historic Preservation Board meeting including the following:

1. Repairs to the existing structure, including any required replacement wood clapboard siding, must match the existing in material, texture, size, etc.
2. All glass shall be clear with an option of a low-e coating.
3. Horizontal roller sliding windows may not be located on a front elevation including windows facing Waverly Road or the New River waterway.
4. Landscaping shall be placed in front of the mechanical equipment to screen it from view and reduce visibility.
5. This property is located in an Archaeologically Significant Zone. There is a high potential for occurrence of significant archaeological materials within the subject property; however, since the construction of the addition will utilize the existing footprint archaeological monitoring is only required in areas where there are new utility trenches, piers/footings, grading, or demolition that is six (6) inches or deeper within the parcel. See attached letter from the City's archaeological consultant for more information.
6. This application is subject to the approval by Building, Zoning, and all ULDR requirements, including landscaping. To the extent that the setbacks are not permitted by the zoning and ULDR requirements, these are excluded from the aforementioned requirement in condition 6.

SECTION 4. That pursuant to the provisions of the ULDR of the City of Fort Lauderdale, Florida, the proper City officials are hereby authorized to issue the necessary building and use permits subject to the conditions imposed by the Historic Preservation Board.

SECTION 5. That the issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

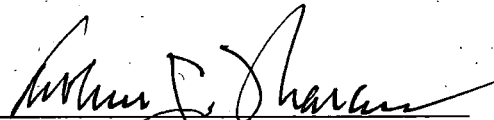
SECTION 6. That this approval is conditioned upon the applicant obtaining all other applicable state or federal permits before commencement of the development.

SECTION 7. Any resolutions or parts of resolutions in conflict herewith are hereby repealed, to the extent of such conflict.

SECTION 8. That if any clause, section or other part of this Resolution shall be held invalid or unconstitutional by any court of competent jurisdiction, the remainder of this resolution shall not be affected thereby, but shall remain in full force and effect.

SECTION 9. That this Resolution shall be in full force and effect thirty (30) days after its passage if no motion is adopted by the city commission seeking to review the application or if no appeal of the Historic Preservation Board's decision is filed by the applicant as provided in Section 47-26B, Appeals.

ADOPTED this 4th day of November, 2024.



Chair

ARTHUR MARCUS

ATTEST:



City Clerk

DAVID R. SOLOMAN



September 4, 2025

Via Lauderbuild

**Historic Preservation Board
City of Fort Lauderdale
Hall 100 N Andrews Avenue
Fort Lauderdale, FL 33301**

**Development Review Committee
Urban Design & Planning Division
Department of Sustainable Development
City of Fort Lauderdale
700 NW 19th Ave
Fort Lauderdale, FL 33311**

**RE: 934 Waverly Road, Fort Lauderdale, FL, 33312, Single-Family Residence
Historic Preservation Board Certificate of Appropriateness ("COA")
SUBJECT: Certificate of Appropriateness for Full Demolition**

Dear Sir/Madam of the Board:

On behalf of Kurt Stange, owner of the 12,405-square-foot property at 934 Waverly Road, Fort Lauderdale, Florida 33312, Folio No. 504209090071, referred to as the "Property", we respectfully submit this narrative, with attached drawings and documentation, requesting a Certificate of Appropriateness for the full demolition of the existing single-family residence.

According to Broward County Property Appraiser ("BCPA") records, the residence was built in 1937 and is considered historic as it is located within the boundaries of the Sailboat Bend Historic District. It is the only structure located on the property, and is located to the far southwest corner, highlighted in red in **Exhibit 1** below:

EXHIBIT 1 – Structure Location



Structure Designation and Type of Construction

The subject Structure is a one-story single-family home constructed with hand-framed wood roof rafters, wood stud walls, and a wood-framed floor supported on a piling system composed of steel, concrete, and wood materials; and is designated 'Contributing' to the Sailboat Bend Historic District (Site Number: 195).

Request for Demolition

The subject structure was previously intended to be preserved / lifted / added to. However, during a structural analysis to determine bracing and construction sequencing requirements for lifting the structure, extensive and severe deterioration of the wood structural system was uncovered. Through verification and analysis (report attached), the structural engineer has deemed the residence as unsafe for lifting/ relocating.

Exacerbating the liability/ instability associated with the level of structural deterioration, the subject property is located within the Florida Building Code High Velocity Hurricane Zone (HVHZ), and a FEMA Special Flood Hazard Area (AE-6), and fronts the New River Canal.

Flood Zone

Per current FEMA Map #125105-0557J, the subject structure is located within Zone AE (EL 6). Property highlighted red in **Exhibit 2** below:

EXHIBIT 2 – FEMA Flood Map (current)



Florida Building Code requires new structures and substantially altered/ renovated structures to be constructed to a finished floor elevation of 1 foot above the Base Flood Elevation (6.0' NAVD). In recognition of flood Risk, The City of Fort Lauderdale requirements exceed the Florida Building Code minimum, and requires finished floor elevations of new and substantially altered structures to be elevated 1.4 feet above the Base Flood Elevation. Guided by FEMA's National Flood Insurance Program (NFIP) requirements to avoid substantial risk from flood damage, a structure on this property would need to have a finished floor elevation of 7.4' NAVD.

Per Property Survey, dated 09/02/2025, the finished floor elevation of the Subject Structure is 3.9' NAVD, representing a 3.5 foot elevation deficiency, and significant flood risk.

High Velocity Hurricane Zone (HVHZ)

The HVHZ, established in 1992, is a geographical designation within Florida, specifically covering the entirety of Miami-Dade and Broward Counties, and parts of coastal Palm Beach County. Buildings in the HVHZ must comply with additional code sections that are more restrictive than the general Florida Building Code for other areas of the state. The design wind speed zone for Broward County is 170 MPH, and is held to the stricter codes to account for extreme wind-borne debris hazards.

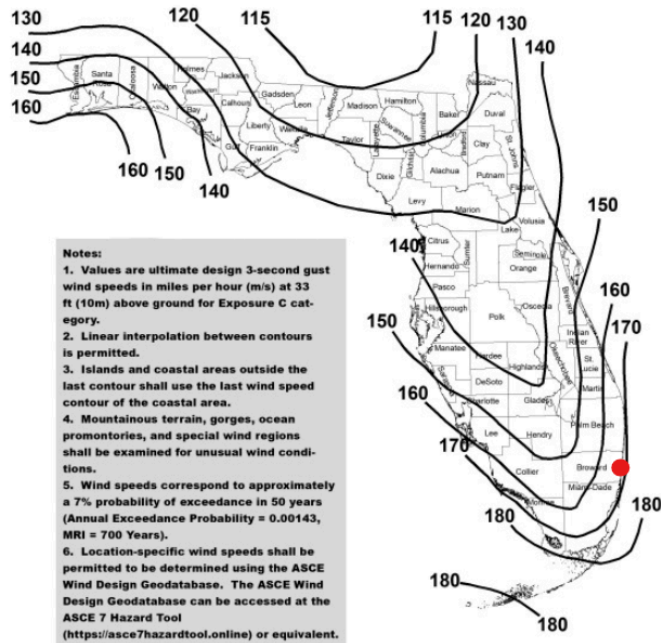


EXHIBIT 3 – FBC1609.3 - Ultimate Design Wind Speed Map for Risk Category II Buildings

Structural Assessment

Based on the Structural Assessment prepared by Specialty Engineering and Design LLC on June 6th 10, 2025, the Subject Residence has several structural issues that warrant the building to be in poor condition and unsafe to relocate in its current state as listed below:

1. Severe Foundation and Pile Deterioration

- Several steel piles are heavily corroded and show significant deterioration, worst at the southwest corner.
- Wood posts at grade are deteriorated, compromising vertical load support.
- The house is misaligned with its pile layout, reducing beam bearing at the northwest corner, with two northernmost piles lacking full bearing.
No visible connections between steel piles and wood beams means the foundation cannot resist lateral or uplift wind forces, a critical safety hazard.

2. Extensive Structural Damage to Wall Framing

- South bedroom wall framing shows widespread deterioration; attempted metal stud repairs are incomplete and inadequate.
- West living room wall studs have significant termite damage.

- East living room wall has severe deterioration of the top plate and damage near the bottom plate, with missing roof/wall and wall/foundation connections.
- South living room wall framing is severely deteriorated in all exposed areas and lacks any visible wind-resisting connections.

3. Compromised Roof Structure and Shear Resistance

- Roof framing throughout uses wood decking, which reduces shear strength of the roof diaphragm.
- Vaulted/hipped and flat roof sections have no adequate connections between roof joists and supporting walls.
- Missing structural tie-downs prevent a continuous load path from roof to foundation, making the roof highly vulnerable to wind uplift and failure.

4. Failure to Meet Current Building Codes

- The structure does not comply with the 2023 Florida Building Code (8th Edition) or ASCE 7-22 requirements.
- Lacks continuous load paths for wind and structural loads.
- Openings for windows and doors are not framed to resist required design loads.
- Foundation, wall, and roof systems do not meet minimum connection and reinforcement standards.

5. Unsafe for Relocation and Occupancy

- The engineering assessment concludes that relocating the structure in its current state would be unsafe.
- The extent of deterioration and inadequate connections means the building cannot withstand relocation stresses or high wind events.

Method of Demolition

Demolition will follow standard residential demolition practices, including the systematic removal of roofing, roof rafters, wall and floor framing, beams, and pile supports. Materials will be separated for recycling when feasible; however, most materials are deteriorated beyond reuse. All disposal will comply with applicable City and County regulations.

Proposed Future Use of the Site

The site will be redeveloped with a new, resilient, single-family residence designed to:

- Conform to the Sailboat Bend Historic District Material and Design Guidelines;
- Meet FEMA flood elevation requirements;

- Fully comply with the 2023 Florida Building Code.

A separate Certificate of Appropriateness application shall be submitted for the proposed new construction.

Criteria for Demolition – ULDR Section 47-24.11.D.4.c

Provided below is a point-by-point analysis the ULDR criteria applicable to the Project:

ULDR Section 47-24.11.D.3.c.i

ULDR Section 47-24.11.D.4

Section 47-24.11.D.c.i – Certificate of Appropriateness, Criteria (General)

- i. General. In approving or denying applications for certificates of appropriateness for alterations, new construction, demolition or relocation, the HPB may consider whether the applications comply with the City of Fort Lauderdale's Historic Preservation Design Guidelines and the United States Secretary of Interior's Standards for Rehabilitation. The HPB shall use the following general criteria and additional guidelines in order to approve or deny applications for certificates of appropriateness for alterations, new construction, relocations and demolitions as provided in subsections D.3.c.ii, iii, and iv, and D.4:
 - a) The effect of the proposed work on the landmark or the property upon which such work is to be done; and
 - b) The relationship between such work and other structures on the landmark site or other property in the historic district; and
 - c) The extent to which the historic, architectural, or archeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property will be affected; and
 - d) Whether the denial of a certificate of appropriateness would deprive the property owner of all reasonable beneficial use of his property.

RESPONSE: Acknowledged.

Section 47-24.11.D.4– Certificate of Appropriateness, Demolition

- a. Application for demolition. An application for a certificate of appropriateness for demolition shall be submitted to the department of sustainable development on forms provided by the department. In addition to the requirements provided in

subsection D.3 the application shall include the following information and documents:

- i. Owner of record; and
- ii. Site plan showing all buildings and structures on the property; and
- iii. Recent photographs of the structure(s) proposed for demolition; and
- iv. Reasons for the demolition; and
- v. Method of demolition; and
- vi. Proposed future uses of the site and of the materials from the demolished structures.
- vii. Review process—Demolition.

RESPONSE: Acknowledged. The items listed have been provided as part of this Application for a Certificate of Appropriateness.

b. Review process – Demolition

- i. An application shall be submitted to the HPB for review in accordance with criteria provided in subsection D.4.c.

RESPONSE: Acknowledged.

- ii. The HPB shall hold a public hearing to consider the application and the record and recommendations forwarded by the department and shall hear public comment on the application and render a decision on the application within one hundred and eighty (180) days after city staff has deemed that the application is complete. This time limit may be waived at any time by consent of the applicant.

RESPONSE: Acknowledged.

- iii. If the HPB determines that the application meets the criteria for a certificate of appropriateness for demolition, the HPB shall approve the certificate or approve the certificate subject to such conditions necessary to ensure compliance with the criteria. The HPB may grant a certificate of appropriateness for demolition, which may provide a delayed effective date of up to ninety (90) days. The effective date shall be determined by the HPB based on the significance of the structure and the estimated time required to arrange a possible alternative to demolition. During the demolition delay period, the HPB may take such steps as it deems necessary to preserve the structure. Such steps may include, but are not limited to, consultations with community groups, public agencies and interested citizens; recommendations for acquisition of the property by public or private bodies, or agencies; and exploration of the possibility of moving the resource.

RESPONSE: Acknowledged.

- iv. If the HPB determines that the application for demolition does not meet the criteria, the HPB shall deny the certificate and an appeal may be filed in accordance with [Section 47- 26B](#) of the ULDR, Appeals.

RESPONSE: Acknowledged.

- v. The HPB shall render its decision within one hundred and eighty (180) days after city staff deems that the application is complete. This time limit may be waived at any time by consent of the applicant.

RESPONSE: Acknowledged.

c. *Criteria—Demolition.*

- i. The designated landmark, landmark site or property within the historic district no longer contributes to a historic district; or

RESPONSE: The Property is not a designated landmark or landmark site.

- ii. The demolition or redevelopment project is of major benefit to a historic district.

RESPONSE: According to the Structural Assessment prepared by Specialty Engineering and Design LLC, the Historic Residence is severely deteriorated and structurally unsafe.

Additionally, the Historic Residence does not meet minimum FEMA requirements floor elevation requirements, creating a flooding risk that endangers nearby properties. Demolition will benefit the Sailboat Bend Historic District by removing this unsafe structure. The Applicant intends to build a new, structurally sound residence that complies with the District's Material and Design Guidelines, ensuring compatibility with the neighborhood.

We respectfully request that the Historic Preservation Board **approve this Certificate of Appropriateness application for demolition** of the existing 1937 residence at 934 Waverly Road. Please contact me at rob@orcuttrose.com or (954) 271-2718 if you require any additional information.

Respectfully submitted,



Rob Orcutt, AIA
AR97390

2025.10.06
Historic Preservation
Board Hearing
Transcript
(partial - minute 1:09h)

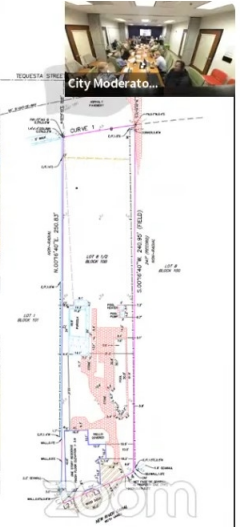
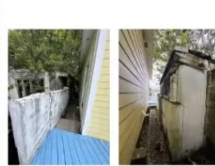
UDP-HP25019



PHOTO #1: EXISTING NORTH VIEW



PHOTO #2: EXISTING EAST VIEW



>> You're welcome. We live right across the new the north fork of the new river and



Historic Preservation Board Meeting on October 6, 2025

City of Fort Lauderdale
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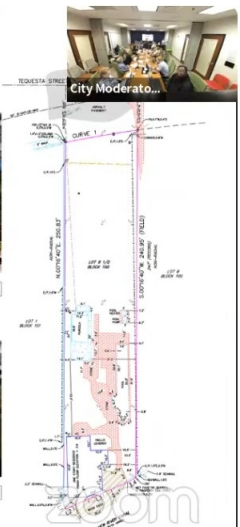
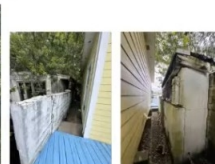
UDP-HP25019



PHOTO #1: EXISTING NORTH VIEW



PHOTO #2: EXISTING EAST VIEW



this is part of our view. We really enjoy this view.



Historic Preservation Board Meeting on October 6, 2025

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UDP-HP25019



historic property should be preserved as much as possible.



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