



BOARD OF ADJUSTMENT MEETING NOTICE

Date: October 31st, 2025

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, November 12th, 2025 at 6:00 pm.**

This meeting will be held in-person at: **Development Services Department, 700 NW 19th Avenue, Fort Lauderdale, Florida 33311** to determine whether the following application should be granted.

To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-25080003
OWNER:	NEW RIVER POINT LLC & NEW RIVER DEVELOPMENT, LLC
AGENT:	STEPHANIE J. TOOTHAKER, ESQ
ADDRESS:	1151, 1116, 1120, 1124, 1128, 1131, 1132, 1136, 1140 PINA DEL RIO, FORT LAUDERDALE, FL 33315
LEGAL DESCRIPTION:	A PORTION OF LOTS 45 AND 46. "VALENTINES SUBDIVISION OF SECTION 9. TOWNSHIP 50 SOUTH, RANGE 42 EAST". ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 29, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND PORTIONS OF PARCEL "D", "HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 59, PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY. (SEE SURVEY).
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	4
REQUESTING:	<u>Sec. 47-19.1.A - General requirements</u>

- Requesting a variance to permit an accessory structure, specifically a permanent privacy wall, to be constructed, placed, erected, or built prior to the start of construction of a principal building.

Sec 47-19.5.B.1d- Fences, walls and hedges.

- Requesting a variance to permit a privacy wall to be constructed at a maximum height of 8 feet measured from grade whereas the ULDR limits the maximum height of a fence or wall to 6'-6"

measured from grade, a total variance of 1'-6" in height.

Sec. 47-24.5.D.3.c.ii Subdivision regulations.

- Requesting a variance from the required lot sizes for lots for the detached single family and duplex dwellings in the RS-8 zoning district to allow a minimum lot size between 6,000 SF to 7,499 SF for Lots 1-30 and a minimum lot width of 50 feet for Lots 1-30 and Lot 42, whereas the ULDR section requires a minimum lot size of 7,500 square feet and a minimum lot width of 75 feet, for a maximum variance request of 1,500 square feet in lot area and 25 feet in lot width.

To watch and listen to the Board of Adjustment Meeting:

www.fortlauderdale.gov/fltv , www.youtube.com/cityoffortlauderdale

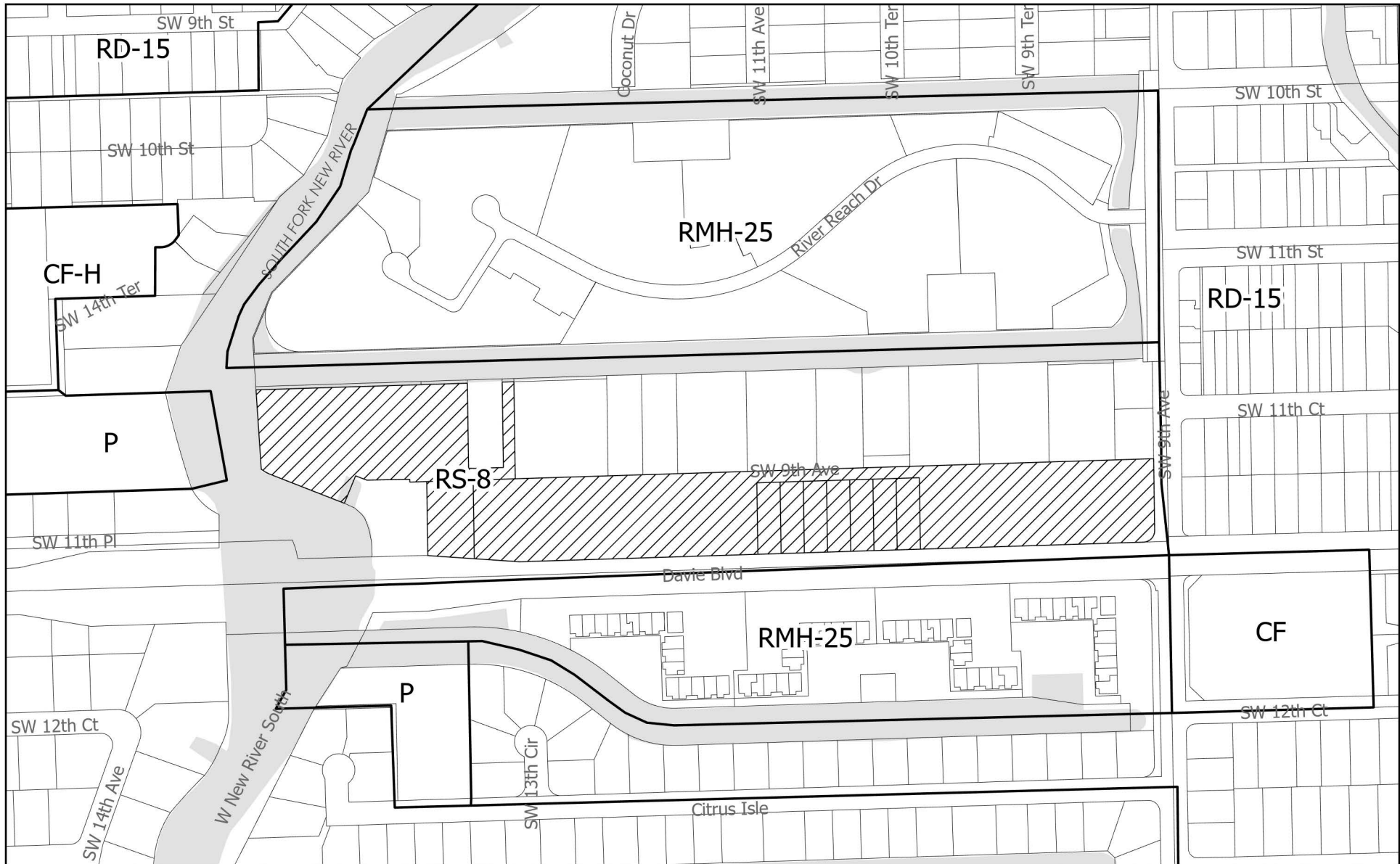
Cable Television - Comcast Channel 78 and AT&T U-verse Channel 99

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.

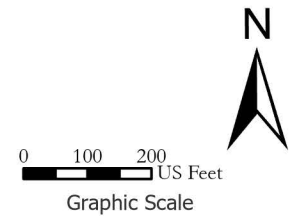


PLN-BOA-25080003

LEGEND

 Municipal Boundary

 Subject Site



PLN-BOA-25080003

Sec. 47-19.1.A - General requirements

A. No accessory use or structure shall be permitted to be constructed, placed, erected or built on any parcel of land or water, prior to the start of construction of the principal building, except the following:

1. A fence as permitted by [Section 47-19.5](#). (Temporary Fences).

B. No accessory use or structure may be located within a required yard specified by the zoning district where the development site is located, unless specifically permitted by the ULDR.

C. No accessory use or structure shall be permitted to be used if the principal structure is no longer in use.

D. All accessory uses or structures built in the front yard shall conform to the front and side yard restrictions for residential buildings in the district in which they are built.

E. No accessory use or structure shall be permitted within a sight triangle except as provided in [Section 47-35](#) of the ULDR.

F. No accessory use or structure greater than two and one-half (2½) feet in height shall be permitted within five (5) feet of the waterway as measured in accordance with Section 47-2.2.R., unless specifically permitted, and in accordance with the ULDR or when required by the Florida Building Code.

G. No accessory use or structure shall be permitted to be located in a manner which may cause runoff onto adjacent properties.

H. No accessory use or structure shall be located on a corner lot within fifteen (15) feet of any side street property line. For other than corner lots, when an accessory use or structure is permitted in the front or rear yard, but is not expressly permitted in the side yard, such accessory use or structure shall be setback from the side property line a minimum distance equal to the required side yard required by the zoning district where the development site is located.

I. Whenever the principal building is on the rear of the lot, not over twenty-five (25) percent of the front yard area shall be occupied by an accessory use or structure.

J. An accessory use or structure may be attached to another accessory use or structure. However, in no instance shall the aggregate gross floor area of all accessory uses or structures on a parcel exceed forty-nine percent (49) of the gross floor area of a principal building on the development site, either individually or together, unless otherwise provided for herein.

K. When a garage is constructed on a corner lot, the garage must be set back a minimum of eighteen (18) feet from any property line adjacent to a street for the purpose of providing adequate parking or stacking area in the driveway.

L. Except as otherwise provided in this [Section 47-19](#), the following provisions shall apply. No accessory structure shall be built in the front yard more than one (1) story, or thirteen (13) feet in height. The following accessory buildings will be permitted in residential zoning districts: Private garage, garden house, or structure of the same classification. Within a residential zoning district, no accessory use or structure shall be greater in height than the principal building and in no instance shall the height of an accessory use or structure be greater than twenty-four (24) feet in height except that on lots of greater area than one (1) acre, an accessory building shall not be more than thirty-five (35) feet in height; providing it is located not less than thirty (30) feet from every lot line. The total areas of accessory buildings shall not be greater than thirty-five percent (35) of the rear yard area. No accessory buildings shall be built closer than ten (10) feet to any rear line which is a street or alley line, or, in the case of corner lots, closer than fifteen (15) feet to any side street line except as otherwise provided herein.

M. No private garage will be allowed in residential districts in which is conducted any business. One (1) commercial vehicle of not more than one and one-half (1½) tons' weight or capacity may be stored in any private garage in a residential district. Space shall not be leased for a commercial vehicle.

Sec 47-19.5.B.1d- Fences, walls and hedges.

- A. The purpose and intent for the regulations in this section is to promote safety, create buffers, ease the transition between public ways and private property, and promote aesthetics while allowing flexibility and variety in the design of a fence or wall.
- B. Dimensional Requirements. The setback for a fence, wall or hedge shall depend on the height and percentage of transparency as shown in Table 1.

TABLE 1

FENCES, WALLS AND HEDGES (Note D)	HEIGHT MAX. Measured from Grade According to Section 47-2.2.G	PERCENT TRANSPARENT (Note B)	SETBACK (Note A & G)		
			STREET	SIDE	REAR
Residential Zoning Districts					
1a. FENCE/WALL	Up to 2'-6"	N/A	0'-0"	0'-0"	0'-0"
1b. FENCE/WALL	2'-6"—4'-4"	75—100% transparency	0'-0"	0'-0"	0'-0"
1c. FENCE/WALL	2'-6"—4'-4"	Below 75% transparency	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
1d. FENCE/WALL	4'-4"—6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"

2. CHAIN LINK FENCE	Up to 6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
Residential/Non-Residential Zoning Districts					
3. FENCE/WALL	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
4. CHAIN LINK FENCE	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
5. HEDGES	Up to 10'-0"	N/A	0'-0"	0'-0"	0'-0"

Sec. 47-24.5.D.3.c.ii Subdivision regulations.

3. Lots.

a. The lot arrangement and design shall be such that all lots will provide satisfactory and desirable building sites, properly related to topography and to the character of surrounding development.

b. Lot dimensions and areas shall be not less than specified by applicable provisions of the zoning regulations in effect, and shall further conform to these regulations

c. Lots for detached single family and duplex dwellings shall provide lot sizes not less than the following:

i. In the RS-4.4 district, lot area of ten thousand (10,000) square feet and width of one hundred (100) feet.

ii. In the RS-8 district, lot area of seven thousand five hundred (7,500) square feet and width of seventy-five (75) feet.

iii. In the RD-15, RC-15, RM-15, RML-25, RMM-25, RMH-25 and RMH-60 districts, lot area of seven thousand five hundred (7,500) square feet and width of seventy-five (75) feet.

Record

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Showing 1-5 of 5

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-25080003	Riversound Wall Variance	Riversound Wall Variance	Z- Board of Adjustment (BOA)	318		1151	SW	9	AVE	1	Open
<input type="checkbox"/>	BLD-RDEM-23050015	#1 Total Demolition	1151 SW 9 Ave	Residential Demolition Permit	0		1151	SW	9	AVE	1	Complete
<input type="checkbox"/>	LND-TREE-23050198	#1 Total demolition	Tree Removal	Landscape Tree Removal-Relocation Permit	0		1151	SW	9	AVE	1	Void
<input type="checkbox"/>	PLB-SEWCP-WT-23040004	Sewer Cap for demo	Online Walk-Thru- Sewer Cap	Walk-Thru - Sewer Cap	0		1151	SW	9	AVE	1	Complete
<input type="checkbox"/>	PM-06121350	INSTALL DOCK PEDASTAL	INSTALL DOCK PEDASTAL	Electrical Residential Permit	0		1151	SW	9	AVE	1	Complete

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Record

Showing 1-20 of 20

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	BLD-ADDNEW-25070038			Address Request - New or Alternate	0		1151	SW	9	AVE	J	Complete
<input type="checkbox"/>	BLD-ADDNEW-25070008			Address Request - New or Alternate	0		1151	SW	9	AVE	J	Void
<input type="checkbox"/>	LND-INST-25050162	Landscaping as per plan	New River Point	Landscape Installation Permit	0		1151	SW	9	AVE		Issued
<input type="checkbox"/>	LND-TREE-25050202	Tree removal for new wall construction. Tree?Palm...	Tree Removal	Landscape Tree Removal-Relocation Permit	0		1151	SW	9	AVE		Issued
<input type="checkbox"/>	BLD-GEN-25050106	INSTALLING 175' LF OF 6'H AND 1550' LF OF 8'H PRE...	Fence Permit	Structural Permit	0		1151	SW	9	AVE		Awaiting C
<input type="checkbox"/>	BLD-ADDNEW-24090002			Address Request - New or Alternate	0		1151	SW	9	AVE		Complete
<input type="checkbox"/>	CE23120398	Pile of large tree branches on vacant lot- mbrw		Code Case	0	Edward Eason	1151	SW	9	AVE		Complied
<input type="checkbox"/>	UDP-P23003	Plat Review - 43 Single Family Home Plat	Riversound Plat	DRC- Plat	0	Yvonne Redding	1151	SW	9	AVE		Awaiting C
<input type="checkbox"/>	LND-TREE-23030129	TREE REMOVAL - Remove tropical almond tree T857,D...	Tree Removal	Landscape Tree Removal-Relocation Permit	0		1151	SW	9	AVE		Complete
<input type="checkbox"/>	CE22110535	FDOT DAVIE PROJECT - CHECK FOR LANDSCAPE ENCROACH...		Code Case	0	Edward Eason	1151	SW	9	AVE		Closed
<input type="checkbox"/>	CE20050694	OVERGROWTH		Code Case	0	Gail Williams	1151	SW	9	AVE		Closed
<input type="checkbox"/>	CE19090277	FENCE IN DISREPAIR AND OVERGROWTH	PAGE 32 LLC	Code Case	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	VIO-CE19090277_1	FENCE IN DISREPAIR AND OVERGROWTH	PAGE 32 LLC	Violation-CODE Hearing	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	VIO-CE19090277_2	FENCE IN DISREPAIR AND OVERGROWTH	PAGE 32 LLC	Violation-CODE Hearing	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	CE19061051	OVERGROWTH, TRASH & DEBRIS, OVERGROWTH, TRASH...	PAGE 32 LLC	Code Case	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	VIO-CE19061051_1	OVERGROWTH, TRASH & DEBRIS	PAGE 32 LLC	Violation-CODE Hearing	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	CE19010112	NORTH SIDE OF DAVIE BLVD RUNNING WEST ON SW 9TH, ...	PAGE 32 LLC	Code Case	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	VIO-CE19010112_1	NORTH SIDE OF DAVIE BLVD RUNNING WEST ON SW 9TH	PAGE 32 LLC	Violation-CODE Hearing	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	CE18081341	OVERGROWTH ON THE NW CORNER OF SW 9 AVE & DAV...	PAGE 32 LLC	Code Case	0		1151	SW	9	AVE	J	Closed
<input type="checkbox"/>	VIO-CE18081341_1	OVERGROWTH ON THE NW CORNER OF SW 9 AVE & DAVIE	PAGE 32 LLC	Violation-CODE Hearing	0		1151	SW	9	AVE	J	Closed

Record

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<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
0 record(s) found.												



CITY OF FORT LAUDERDALE

PUBLIC NOTICE 1 of 2

BOARD OF ADJUSTMENT MEETING

DATE: November 12, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25080003

Sec. 47-19.1. - General requirements

- Requesting a variance to permit an accessory structure, specifically a permanent privacy wall, to be constructed, placed, erected, or built prior to the start of construction of a principal building.

Sec 47-19.5.B.1d- Fences, walls and hedges.

- Requesting a variance to permit a privacy wall to be constructed at a maximum height of 8 feet measured from grade whereas the ULDR limits the maximum height of a fence or wall to 6'-6" measured from grade, a total variance of 1'-6" in height.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale
To view more information about this item, please visit:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a





CITY OF FORT LAUDERDALE

PUBLIC NOTICE

2 of 2

BOARD OF ADJUSTMENT MEETING

DATE: November 12, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25080003

Sec. 47-24.5.D.3.c.ii Subdivision regulations.

- Requesting a variance from the required lot sizes for lots for the detached single family and duplex dwellings in the RS-8 zoning district to allow a minimum lot size between 6,000 SF to 7,499 SF for Lots 1-30 and a minimum lot width of 50 feet for Lots 1-30 and Lot 42, whereas the ULDR section requires a minimum lot size of 7,500 square feet and a minimum lot width of 75 feet, for a maximum variance request of 1,500 square feet in lot area and 25 feet in lot width.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
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In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-25080003

APPLICANT: New River Point LLC and New River Point Development LC

PROPERTY: 1151, 1116,1120, 1124, 1128, 1131, 1132, 1136, 1140 PINA DEL RIO, FORT LAUDERDALE, FL 33315

PUBLIC HEARING DATE: November 12, 2025

BEFORE ME, the undersigned authority, personally appeared Stephanie J. Toothaker, Esq., who upon being duly sworn and cautioned, under oath deposes and says:

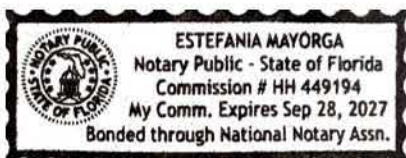
1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. ST (initial here)

Stephanie J. Toothaker
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 29 day of October, 2025

(SEAL)



Estefania Mayorga
NOTARY PUBLIC
MY COMMISSION EXPIRES:



SPEED
LIMIT
20

CITY OF FORT LAUDERDALE
PUBLIC NOTICE 1 of 2
BOARD OF ADJUSTMENT MEETING
DATE: November 13, 2025 TIME: 8:00 AM
OFFICE: 561.350.3000

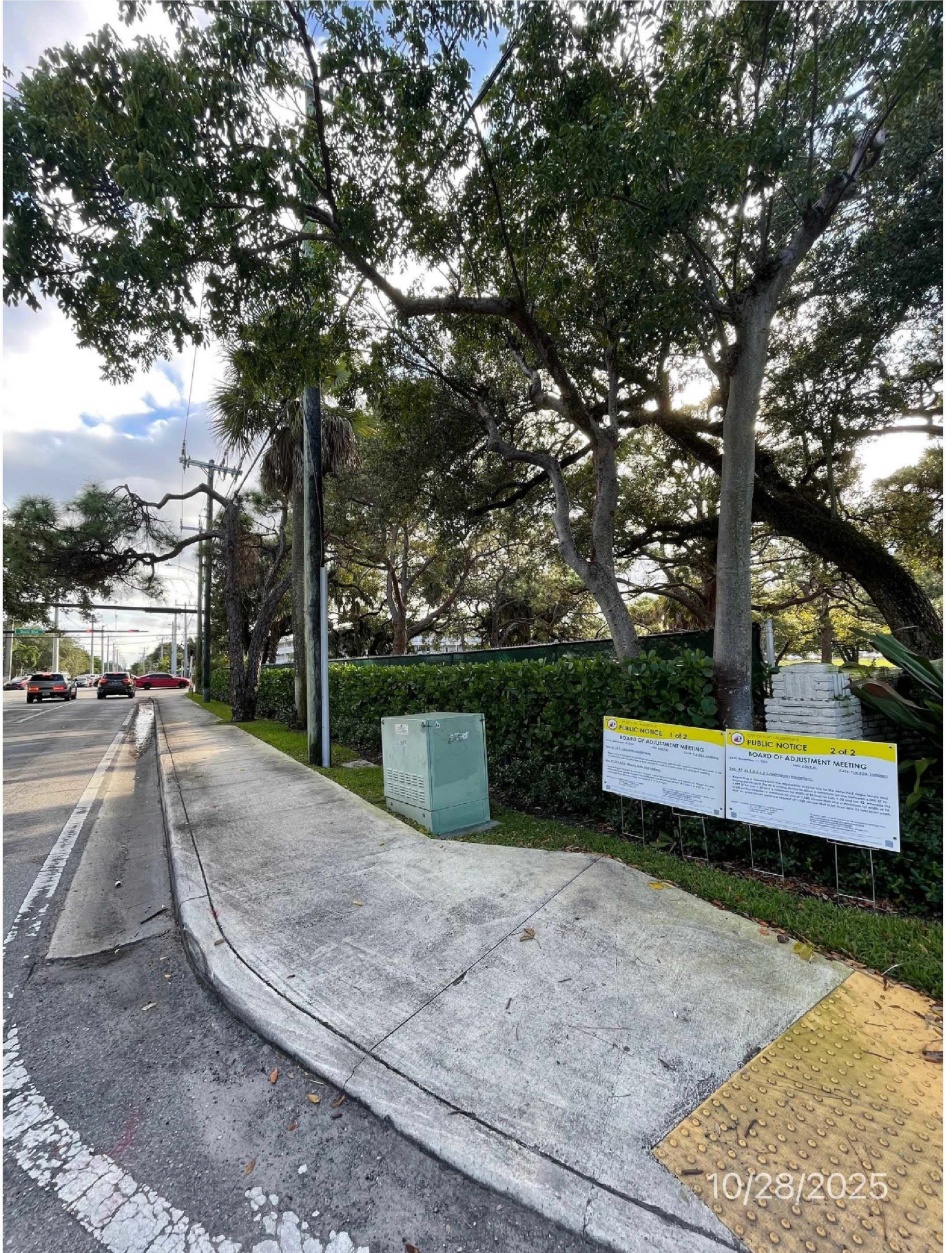
Sec. 4-1.1.1. General Requirements
Requesting a variance to alter an approved structure, specifically a residential structure, shall be accompanied by a site plan and a site plan showing the proposed structure and its location on the lot.

Sec. 4-1.1.2.3. General Requirements
Requesting a variance to alter a proposed structure shall be accompanied by a site plan and a site plan showing the proposed structure and its location on the lot.

CITY OF FORT LAUDERDALE
PUBLIC NOTICE 2 of 2
BOARD OF ADJUSTMENT MEETING
DATE: November 13, 2025 TIME: 8:00 AM
OFFICE: 561.350.3000

Sec. 4-1.1.2.3.3. Submittal Requirements
Requesting a variance to alter a proposed structure shall be accompanied by a site plan and a site plan showing the proposed structure and its location on the lot.

10/28/2025



PUBLIC NOTICE 1 of 2

BOARD OF ADJUSTMENT MEETING
DATE: November 11, 2025
TIME: 7:00 PM
LOCATION: 10000 SW 15th St, Suite 100, Miami, FL 33185
AGENDA: 1. Public Hearing on the Application for a Special Use Variance for the property located at 10000 SW 15th St, Suite 100, Miami, FL 33185. The proposed variance is for the use of the property as a community center. 2. Public Hearing on the Application for a Special Use Variance for the property located at 10000 SW 15th St, Suite 100, Miami, FL 33185. The proposed variance is for the use of the property as a community center.

PUBLIC NOTICE 2 of 2

BOARD OF ADJUSTMENT MEETING
DATE: November 11, 2025
TIME: 7:00 PM
LOCATION: 10000 SW 15th St, Suite 100, Miami, FL 33185
AGENDA: 1. Public Hearing on the Application for a Special Use Variance for the property located at 10000 SW 15th St, Suite 100, Miami, FL 33185. The proposed variance is for the use of the property as a community center. 2. Public Hearing on the Application for a Special Use Variance for the property located at 10000 SW 15th St, Suite 100, Miami, FL 33185. The proposed variance is for the use of the property as a community center.

10/28/2025



10/28/2025



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov

Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

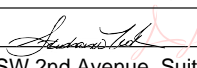
INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	New River Point LLC and New River Point Development LC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	Agent: 501 SW 2nd Avenue, Suite 1, Fort Lauderdale, FL 33301
E-mail Address	Agent: stephanie@toothaker.org cc: estefania@toothaker.org
Phone Number	Agent: 954.648.9376
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **PROPERTY OWNER**, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	Stephanie J. Toothaker, Esq., P.A.
Applicant / Agent's Signature	 Digitally signed by Stephanie J. Toothaker, Esq. Date: 2025.10.17 07:51:18 -04'00'
Address, City, State, Zip	501 SW 2nd Avenue, Suite 1, Fort Lauderdale, FL 33301
E-mail Address	stephanie@toothaker.org cc: estefania@toothaker.org
Phone Number	954.648.9376
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Include ANY Related code case/permit #	BLD-GEN-25050106 (In-Process) and LND-TREE-25050202 (Approved)
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 1151, 1116, 1120, 1124, 1128, 1131, 1132, 1136, 1140 PINA DEL RIO, FORT LAUDERDALE, FL 33315
Legal Description	See uploaded Survey
Tax ID Folio Numbers <i>(For all parcels in development)</i>	504209010320, 504209010322; 504209010329; 504209010323; 504209010328; 504209010324; 504209010330, 504209010327; 504209010325; 504209010326
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	1) Variance to permit a permanent privacy wall to be constructed, placed, erected, or built prior to the start of construction of a principal building; 2) variance to construct a permanent privacy wall at a maximum height of 8 feet measured from grade; 3) variance from the required lot sizes for lots for the detached single family and duplex dwellings in the RS-8 zoning district to allow a minimum lot size between 6,000 SF to 7,499 SF for Lots 1-30 and a minimum lot width of 50 feet for Lots 1-30 and Lot 42
Applicable ULDR Sections <i>(Include all code sections)</i>	Sec 47-19.1.A; Sec 47-19.5.B.1d; Sec. 47-24.5.D.3.c.ii

Current Land Use Designation	Low-Medium
Current Zoning Designation	RS-8
Current Use of Property	Vacant
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	N/A	N/A
Side	N/A	N/A
Side	N/A	N/A
Rear	N/A	N/A

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Refer to attached narrative

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

Refer to attached narrative

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Refer to attached narrative

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Refer to attached narrative

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

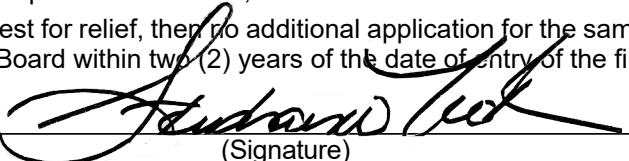
Refer to attached narrative

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

Refer to attached narrative

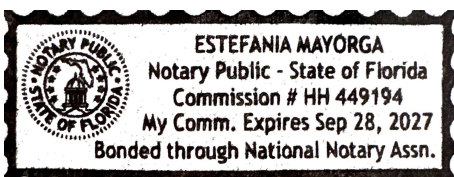
AFFIDAVIT: I, STEPHANIE J. TOOTHAKER, ESQ. the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.


(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 3 day of October, 2025

(SEAL)




NOTARY PUBLIC
MY COMMISSION EXPIRES:

October 3, 2025
Updated October 17, 2025

VIA ELECTRONIC SUBMISSION
BOARD OF ADJUSTMENT
DEVELOPMENT SERVICES DEPARTMENT
CITY OF FORT LAUDERDALE
700 NW 19TH AVE
FORT LAUDERDALE, FL 33311

RE: Variance Request for Riversound, Pina Del Rio, Fort Lauderdale, FL 33315

Dear Members of the Board of Adjustment:

This firm represents New River Point LLC and New River Point Development LLC (together the “Applicant”), owners of the property located north of Davie Boulevard along Pina Del Rio in Fort Lauderdale, Fort Lauderdale, FL 33315 identified as Folio Nos. 504209010320, 504209010322, 504209010329, 504209010323, 504209010328, 504209010324, 504209010330, 504209010327, 504209010325, and 504209010326 (the “Property”). The site has a future land use designation of Residential Low and is zoned RS-8. The Applicant is in the process of creating individual single-family parcels for future development of single-family homes by individual future property owners.

Applicant is requesting the following variances from the Unified Land Development Regulations (“ULDRs”):

1. **Sec. 47-19.1.A.** – Requesting a variance to permit an accessory structure, specifically a permanent privacy wall, to be constructed, placed, erected, or built prior to the start of construction of a principal building.
2. **Sec. 47-19.5.B.1d** – Requesting a variance to permit a privacy wall to be constructed at a maximum height of 8 feet measured from grade whereas the ULDR limits the maximum height of a fence or wall to 6’-6” measured from grade, a total variance of 1’-6” in height.
3. **Sec. 47-24.5.D.3.c.ii** – Requesting a variance from the required lot sizes for lots for the detached single family and duplex dwellings in the RS-8 zoning district to allow a minimum lot size between 6,000 SF to 7,499 SF for Lots 1-30 and a minimum lot width of 50 feet for Lots 1-30 and Lot 42, whereas the ULDR section requires a minimum lot size of 7,500 square feet and a minimum lot width of 75 feet, for a maximum variance request of 1,500 square feet in lot area and 25 feet in lot width.

Stephanie J. Toothaker, Esq.
land use development political strategy procurement

1. PROJECT DESCRIPTION AND REQUESTED VARIANCES

The Property is currently primarily vacant and zoned RS-8, which permits single-family residential use. The Applicant is in the process of creating additional individual fee-simple parcels that will be sold to and developed by individual future property owners.

As shown on the submitted plans, the Applicant proposes 1,576'-10" of 8-foot-high pre-cast concrete wall setback 3 feet from the property line along Davie Boulevard, and 118'-5" of 6-foot-high pre-cast concrete wall setback 3 feet from the property line along SW 9th Avenue (the "WALL").

For security and buffering purposes and to create a cohesive streetscape, the Applicant submitted a permit application to construct the WALL along Davie Boulevard and SW 9th Avenue in advance of the development of the single-family homes. The requested variances address (i) authorization to construct the WALL prior to construction of the individual principal structures, and (ii) an increase in wall height along Davie Boulevard above the ULDR's 6.5-foot maximum in order to achieve effective sound attenuation for the future residences.

Lastly, the current subdivision language requires lots for single-family detached and duplex dwellings to be platted larger than the zoning districts requirements for buildable lots. The RS-8 District permits a minimum lot size of 6,000 square feet and width of 50 feet whereas the subdivision requirements require a minimum lot size of 7,500 square feet and width of 75 feet. The City previously initiated a text amendment to the ULDR to reconcile this inconsistency and align the subdivision lot dimensional standards with the zoning district standards, recognizing that the current language imposes unnecessarily larger lot requirements that conflict with the intent of the RS-8 district.

The Applicant proposes to reconstruct and realign the existing Pina Del Rio private road southward to meet current engineering and design standards. As a result of this realignment, and because conveyance of the Applicant's lots will include an easement in favor of a homeowners' association ("HOA") for use and maintenance of the private road and associated improvements, the lot size of the affected lots is reduced. Accordingly, Lots 1-30 are proposed with minimum lot areas between 6,000 square feet to 7,499 square feet (final square footages to be determined once the new road is fully engineered) and Lots 1-30 and Lot 42 with minimum lot widths of 50 feet. The variance requests comply with the RS-8 zoning district's minimum dimensional requirements and does not increase density or intensity beyond what the current RS-8 zoning permits.

Access for lots not under the Applicant's ownership will continue to be provided across the realigned private road. Appropriate legal documentation will be recorded to preserve and formalize such access rights and to address the use, maintenance, and responsibilities associated with the private road owned by the HOA.

2. CRITERIA FOR APPROVAL OF BOA VARIANCE REQUEST

- a. *That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and*

Response: The Property is being parcelized into individual fee-simple lots to be sold to future property owners. The WALL is proposed to provide safety, security, and buffering along Davie Boulevard and SW 9th Avenue. Strict application of the ULDR would prohibit construction of a permanent wall until principal structures are built, which prevents reasonable use of the property by delaying these necessary improvements. In addition, because the Property fronts Davie

Boulevard, a high-traffic major arterial, increased wall height is needed to provide sound attenuation and privacy not required on most RS-8 parcels. The WALL will be uniformly setback 3 feet from the property line along its entirety, exceeding the ULDR's average setback requirement, and will include the required landscaping between the wall and the street.

Additionally, because the existing private road will be reconstructed and realigned southward to meet current engineering standards, certain lots of Applicant's Property will be required to provide a dedication in favor of the HOA which reduces the lot area and therefore buildable area and would prevent development of otherwise conforming single-family homes consistent with the RS-8 district.

- b. *That the circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and*

Response: The Property requires early installation of a continuous wall because it is being parcelized for sale to future property owners who will each construct their own homes. Establishing the WALL now by the Applicant ensures that security, buffering, and a cohesive streetscape are delivered to every lot buyer. The Property's location along Davie Boulevard also creates unique noise, privacy, and safety impacts not experienced by most RS-8 properties, justifying an increase in wall height beyond the 6.5 feet maximum. The WALL will be uniformly setback 3 feet and buffered with landscaping, consistent with the ULDR's standards.

Further, the necessity to realign and reconstruct the private road southward, which will be reserved through a recorded dedication in favor of the HOA with each conveyance of the Applicant's lots, creates special conditions peculiar to the Property that reduce the available lot area. Other RS-8-zoned properties are not typically encumbered by the same combination of design and dedication constraints resulting from roadway realignment.

- c. *That the literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and*

Response: Literal application of ULDR Section 47-19.1.A would prevent the Applicant from constructing a permitted wall until after homes are built, depriving the Property of the security, buffering, and privacy benefits that other property owners with principal structures already in place may enjoy. Literal application of ULDR Section 47-19.5 would cap the wall height at 6.5 feet along Davie Boulevard, depriving the Property of necessary sound attenuation given its frontage on a major arterial roadway. The requested WALL, uniformly setback 3 feet from the property line and landscaped as required, provides the same protections available to other properties while addressing the unique conditions of this site.

Further, literal application of Section 47-24.5.D.3.c.ii would deprive the Applicant of the ability to parcelize and convey individual single-family lots consistent with the intent of the RS-8 district and the surrounding development pattern. The requested variance allows these lots to comply with the RS-8 zoning district's established dimensional standards that City staff previously determined appropriate through a proposed ULDR amendment (Case No. UDP-T24005). The proposed amendment sought to reconcile the subdivision and zoning standards to remove this inconsistency.

- d. *That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and*
Response: The hardships arise from conditions outside the Applicant's control. The Property fronts a heavily trafficked arterial roadway. Because the Applicant will not be developing the single-family homes, early construction of the WALL is necessary to deliver the lots to buyers with security, buffering, and a cohesive streetscape already in place rather than future individual property owners seeking variance. The additional wall height is necessitated by the Property's adjacency to Davie Boulevard, where noise and privacy impacts are greater than typical RS-8 conditions located along local minor streets. The WALL will conform to the other applicable ULDR requirements through a uniform 3-foot setback and required landscaping between the property line and the street. Additionally, the lot area and width variances arise from engineering and access design requirements to realign the private roadway and from the resulting dedication obligations.
- e. *That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.*


Response: The requested variances are the minimum necessary to provide for reasonable use of the Property.

Allowing early construction of the WALL ensures that lots are delivered to future property owners in a safe, secure, and buffered condition. Allowing increased wall height along Davie Boulevard is the least departure necessary to achieve effective sound attenuation and privacy given the roadway's unique impacts. The WALL otherwise complies with ULDR design standards, maintains a uniform 3-foot setback exceeding the average required by the ULDR, and will include the required landscaping between the wall and the street. The request is consistent with the ULDR's purpose to promote safety, buffering, and neighborhood compatibility.

Additionally, the lot size and width variances allow reasonable and functional lot configurations while preserving compliance with the RS-8 zoning district's intended development character. The proposed lot size and widths maintain consistency with the RS-8 dimensional requirements, align

with the City staff's drafted proposed ULDR amendment and remain compatible with adjacent residential properties. The variance will not adversely affect the neighborhood or the public welfare and is in harmony with the general purpose and intent of the ULDR.

Respectfully,

 Digitally signed by
Stephanie J. Toothaker, Esq.
Date: 2025.10.17 07:41:18
-04'00'

Stephanie J. Toothaker, Esq.

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE. The applicant will need to meet with staff PRIOR to submitting the BOA application submittal via [Lauderbuild](#). *Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.**

- **Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: _____
- **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. **Page 4** of the BOA application is due **AFTER** sign(s) are posted.
- **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- **Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- **Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- **Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19TH Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- [LauderBuild](#). No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010320	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1136 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning : RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
Physical Address: 1151 SW 9 AVENUE # 1 FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D BEG 1495.8 W OF NE COR TR 45 FOR POB,W 100,S 159.5,SE 100.5,N 169.5 TO POB
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$575,440	0	0	\$575,440	\$575,440	
2024	\$575,440	0	0	\$575,440	\$575,440	\$10,941.28
2023	\$575,440	\$529,860	0	\$1,105,300	\$438,100	\$13,279.84

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$575,440	\$575,440	\$575,440	\$575,440
Portability	0	0	0	0
Assessed / SOH	\$575,440	\$575,440	\$575,440	\$575,440
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$575,440	\$575,440	\$575,440	\$575,440

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
01/12/2023	Multi Warranty Deed Excluded Sale	\$15,820,000	118626295
12/27/2012	Multi Quit Claim Deed Non-Sale Title Change	\$100	49368 / 35

LAND CALCULATIONS

Unit Price	Units	Type
\$35.00	16,441 SqFt	Square Foot

Date	Type	Price	Book/Page or Cin
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RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L)								
1						16,441.00		

SCHOOL
Croissant Park Elementary School: A New River Middle School: C Stranahan High School: B

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010322	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1136 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning : RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
Physical Address: SW 9 AVENUE FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D E 1495.80 OF TRACT 45, LESS R/W & LESS LOTS 11 THRU 17 AS DESCIN INSTR # 119846431
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$7,275,660	0	0	\$7,275,660	\$7,275,660	
2024	\$7,275,660	0	0	\$7,275,660	\$7,275,660	\$138,337.64
2023	\$5,235,200	0	0	\$5,235,200	\$1,223,720	\$53,313.27

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$7,275,660	\$7,275,660	\$7,275,660	\$7,275,660
Portability	0	0	0	0
Assessed / SOH	\$7,275,660	\$7,275,660	\$7,275,660	\$7,275,660
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$7,275,660	\$7,275,660	\$7,275,660	\$7,275,660

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
01/12/2023	Multi Warranty Deed Excluded Sale	\$15,820,000	118626295
12/27/2012	Multi Quit Claim Deed Non-Sale Title Change	\$100	49368 / 35

LAND CALCULATIONS

Unit Price	Units	Type
\$35.00	207,876 SqFt	Square Foot

Date	Type	Price	Book/Page or Cin
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RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc	SCHOOL
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)			Croissant Park Elementary School: A New River Middle School: C Stranahan High School: B
Vacant Lots (L)									
1						207,876.00			

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010329	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1140 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1140 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42, ALSOBEING SE COR OF SAID LOT 45, N 30, W 835.12 TO POB, CONT W 50.01, N 153.95, E 50.01, S 153.95 TO POB AKA: LOT 17
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,430	0	0	\$269,430	\$269,430	
2024	\$269,430	0	0	\$269,430	\$269,430	\$5,122.87
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,430	\$269,430	\$269,430	\$269,430
Portability	0	0	0	0
Assessed / SOH	\$269,430	\$269,430	\$269,430	\$269,430
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,430	\$269,430	\$269,430	\$269,430

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/24/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,698	Square Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L)								
1						7,698.00		

SCHOOL

**Croissant Park
Elementary School: A
New River Middle
School: C
Stranahan High School:
B**

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010323	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1136 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1136 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42 ALSO SECOR OF SAID LOT 45, N 30, W 785.11 TO POB, CONT W 50.01, N 153.95, E 50.01, S 153.95 TO POB AKA: LOT 16
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,430	0	0	\$269,430	\$269,430	
2024	\$269,430	0	0	\$269,430	\$269,430	\$5,122.87
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,430	\$269,430	\$269,430	\$269,430
Portability	0	0	0	0
Assessed / SOH	\$269,430	\$269,430	\$269,430	\$269,430
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,430	\$269,430	\$269,430	\$269,430

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/25/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,698	Square SqFt
01/12/2023	Multi Warranty Deed Excluded Sale	\$15,820,000	118626295			Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L)								
1						7,698.00		

SCHOOL

Croissant Park
Elementary School: A
New River Middle
School: C
Stranahan High School:
B

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010328	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1132 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1132 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42, ALSOBEING SE COR OF SAID LOT 45, N 30, W 735.10 TO POB, CONT W 50.01, N 153.95, E 50.01, S 153.95 TO POB AKA: LOT 15
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,430	0	0	\$269,430	\$269,430	
2024	\$269,430	0	0	\$269,430	\$269,430	\$5,122.87
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,430	\$269,430	\$269,430	\$269,430
Portability	0	0	0	0
Assessed / SOH	\$269,430	\$269,430	\$269,430	\$269,430
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,430	\$269,430	\$269,430	\$269,430

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/24/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,698	Square Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L)								
1						7,698.00		

SCHOOL

**Croissant Park
Elementary School: A
New River Middle
School: C
Stranahan High School:
B**

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010324	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1128 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1128 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42 ALSO SECOR OF SAID LOT 45, N 30, W 685.09 TO POB, CONT W 50.01, N 153.95, E 50.01, S 153.95 TO POB AKA: LOT 14
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,430	0	0	\$269,430	\$269,430	
2024	\$269,430	0	0	\$269,430	\$269,430	\$5,122.87
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,430	\$269,430	\$269,430	\$269,430
Portability	0	0	0	0
Assessed / SOH	\$269,430	\$269,430	\$269,430	\$269,430
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,430	\$269,430	\$269,430	\$269,430

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/25/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,698	Square SqFt
01/12/2023	Multi Warranty Deed Excluded Sale	\$15,820,000	118626295			Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L)								
1						7,698.00		

SCHOOL

Croissant Park
Elementary School: A
New River Middle
School: C
Stranahan High School:
B

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010327	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1124 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1124 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42, ALSOBEING SE COR OF SAID LOT 45, N 30, W 635.09 TO POB, CONT W 50.01, N 153.95, E 50.01, S 153.95 TO POB AKA: LOT 13
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,360	0	0	\$269,360	\$269,360	
2024	\$269,360	0	0	\$269,360	\$269,360	\$5,121.55
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,360	\$269,360	\$269,360	\$269,360
Portability	0	0	0	0
Assessed / SOH	\$269,360	\$269,360	\$269,360	\$269,360
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,360	\$269,360	\$269,360	\$269,360

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/24/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,696	Square Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L)								
1						7,696.00		

SCHOOL

Croissant Park
Elementary School: A
New River Middle
School: C
Stranahan High School:
B

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010325	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1120 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1120 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42 ALSO SECOR OF SAID LOT 45, N 30, W 585.08 TO POB, CONT W 50.01, N 153.95, E 50.01, S 153.95 TO POB AKA: LOT 12
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,360	0	0	\$269,360	\$269,360	
2024	\$269,360	0	0	\$269,360	\$269,360	\$5,121.55
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,360	\$269,360	\$269,360	\$269,360
Portability	0	0	0	0
Assessed / SOH	\$269,360	\$269,360	\$269,360	\$269,360
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,360	\$269,360	\$269,360	\$269,360

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/25/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,696	Square SqFt
01/01/2023	Multi Warranty Deed Excluded Sale	\$15,820,000	118626295			Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)		
Vacant Lots (L) 1						7,696.00		

SCHOOL

Croissant Park
Elementary School: A
New River Middle
School: C
Stranahan High School:
B

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi



PROPERTY SUMMARY

Tax Year: 2025	Property Use: 00 - Vacant residential	Deputy Appraiser: Residential Department
Property ID: 504209010326	Millage Code: 0312	Appraisers Number: 954-357-6831
Property Owner(s): NEW RIVER POINT DEVELOPMENT LLC	Adj. Bldg. S.F.: 0	Email: realprop@bcpa.net
Mailing Address: 1116 PINA DEL RIO FORT LAUDERDALE, FL 33315	Bldg Under Air S.F.:	Zoning :
Physical Address: 1116 PINA DEL RIO FORT LAUDERDALE, 33315	Effective Year: 0	Abbr. Legal Des.: VALENTINES SUB B-29 D A POR OF LOT 45 DESC AS: COMM AT SE COR OF SEC 9-50-42 ALSO SECOR OF SAID LOT 45, N 30, W 535.07 TO POB, CONT W 50.01, N 153.95, E 50.01,S 153.95 TO POB AKA: LOT 11
	Year Built:	
	Units/Beds/Baths: 0 //	

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2025	\$269,400	0	0	\$269,400	\$269,400	
2024	\$269,400	0	0	\$269,400	\$269,400	\$5,122.30
2023	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$269,400	\$269,400	\$269,400	\$269,400
Portability	0	0	0	0
Assessed / SOH	\$269,400	\$269,400	\$269,400	\$269,400
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$269,400	\$269,400	\$269,400	\$269,400

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
10/14/2024	Multi Rerecorded Deed Correction Non-Sale Title Change	\$100	119846431

LAND CALCULATIONS

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
07/25/2024	Multi Special Warranty Deed Non-Sale Title Change	\$100	119715066	\$35.00	7,697	Square SqFt
01/12/2023	Multi Warranty Deed Excluded Sale	\$15,820,000	118626295			Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504209010304	06/12/2025	Warranty Deed	Qualified Sale	\$735,000	120295293	1451 SW 11 PL FORT LAUDERDALE, FL 33312
504209010351	03/27/2025	Warranty Deed	Qualified Sale	\$1,800,000	120172123	SW 9 AVE FORT LAUDERDALE, FL 33315
504209010169	10/09/2024	Multi Warranty Deed	Excluded Sale	\$433,000	119841617	1412 SW 10 ST FORT LAUDERDALE, FL 33312
504209010302	08/06/2024	Warranty Deed	Qualified Sale	\$661,000	119738829	1439 SW 11 PL FORT LAUDERDALE, FL 33312
504209010169	06/28/2024	Multi Warranty Deed	Disqualified Sale	\$375,000	119698152	1412 SW 10 ST FORT LAUDERDALE, FL 33312

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc	SCHOOL
Ft Lauderdale Fire-rescue (03)						FT Laud Stormwater Cat III (F3)			Croissant Park Elementary School: A New River Middle School: C Stranahan High School: B
Vacant Lots (L) 1						7,697.00			

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	23	Jared Moskowitz
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Sarah Leonardi

**WRITTEN CONSENT
OF
THE MANAGERS
OF
NEW RIVER DEVELOPMENT, LLC,
a Florida limited liability company**

September 8, 2025

The undersigned, being all of the Managers under the Amended and Restated Limited Liability Company Agreement of NEW RIVER POINT DEVELOPMENT, LLC, a Florida limited liability company (“**Company**”) dated July 25, 2024, in accordance with applicable law and the respective organizational documents of the Company, hereby affirmatively vote for, consent to, adopt, approve and ratify the following recitals and resolutions (collectively, the “**Resolutions**”) by this written consent (the “**Written Consent**”):

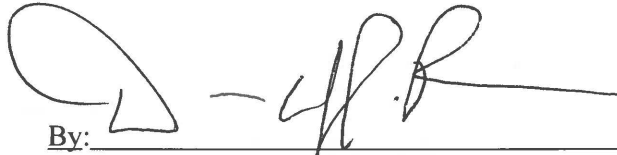
NOW THEREFORE, BE IT RESOLVED, that each of ROBERT E. GIVEN, JR. and/or DENNIS ST. ROMAIN, in their capacity as a Manager and/or Co-President (each, an “**Authorized Signatory**”) of the Company, acting alone, shall be and is hereby authorized, empowered and directed, by and on behalf of Company, to execute and deliver to the City of Fort Lauderdale, Broward County, and/or any agency or department thereof, any and all permit applications, variances, land use applications, agent authorization letters, affidavits, or agreements, and to take such action as the Authorized Signatory may deem necessary or desirable in connection therewith or as otherwise required by the City of Fort Lauderdale or Broward County;

BE IT FURTHER RESOLVED, that all agreements entered into, actions taken, and all decisions and statements made by an Authorized Signatory through the date hereof are hereby ratified, confirmed and approved in all respects.

This Written Consent may be executed by electronic signatures or by .PDF scans (which shall be deemed originals) and by one or more of the parties to this Written Consent on any number of separate counterparts and all of said counterparts taken together shall be deemed to constitute one and the same instrument.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the undersigned have executed this Written Consent as of the date first set forth above.



By: _____

Name: Dennis St. Romain

Title: Manager



By: _____

Name: Robert E. Given, Jr.

Title: Manager

**WRITTEN CONSENT
OF
THE GIVEN MEMBER AND ST. ROMAIN MEMBER
OF
NEW RIVER POINT GP, LLC,
a Florida limited liability company**

September 8, 2025

The undersigned, on behalf of LEEWARD GROUP INVESTMENTS, LLC, a Florida limited liability company (the “**St. Romain Member**”) and SALT AIR HOLDINGS, LLC, a Delaware limited liability company (the “**Given Member**”), being the St. Romain Member and Given Member under the Operating Agreement of NEW RIVER POINT GP, LLC, a Florida limited liability company (“**New River Point GP**”) dated January 6, 2023, which is the Manager under the Limited Liability Company Agreement of NEW RIVER POINT HOLDINGS, LLC, a Delaware limited liability company (“**New River Point Holdings**”) dated January 5, 2023, which is the Sole Member under the Amended and Restated Limited Liability Company Agreement of NEW RIVER POINT, LLC, a Delaware limited liability company (“**Company**”) dated January 5, 2023, in accordance with applicable law and the respective organizational documents of New River Point GP, New River Point Holdings, and Company, hereby affirmatively vote for, consent to, adopt, approve and ratify the following recitals and resolutions (collectively, the “**Resolutions**”) by this written consent (the “**Written Consent**”):

NOW THEREFORE, BE IT RESOLVED, that each of ROBERT E. GIVEN, JR. and/or DENNIS ST. ROMAIN, in their capacity as Co-President (each, an “**Authorized Signatory**”) of the Company, acting alone, shall be and is hereby authorized, empowered and directed, by and on behalf of Company, to execute and deliver to the City of Fort Lauderdale, Broward County, and/or any agency or department thereof, any and all permit applications, variances, land use applications, agent authorization letters, affidavits, or agreements, and to take such action as the Authorized Signatory may deem necessary or desirable in connection therewith or as otherwise required by the City of Fort Lauderdale or Broward County;

BE IT FURTHER RESOLVED, that all agreements entered into, actions taken, and all decisions and statements made by an Authorized Signatory through the date hereof are hereby ratified, confirmed and approved in all respects.

This Written Consent may be executed by electronic signatures or by .PDF scans (which shall be deemed originals) and by one or more of the parties to this Written Consent on any number of separate counterparts and all of said counterparts taken together shall be deemed to constitute one and the same instrument.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the undersigned have executed this Written Consent as of the date first set forth above.

ST. ROMAIN MEMBER:

LEEWARD GROUP INVESTMENTS, LLC, a Florida limited liability company

By:  _____

Name: Dennis St. Romain

Title: Sole Member and Manager

GIVEN MEMBER:

SALT AIR HOLDINGS, LLC, a Delaware limited liability company

By:  _____

Name: Robert E. Given, Jr.

Title: Sole Member and Manager



Department of State: Division of Corporations

[Allowable Characters](#)

HOME

Entity Details

THIS IS NOT A STATEMENT OF GOOD STANDING

File Number:	7079753	Incorporation Date / Formation Date:	10/12/2022 (mm/dd/yyyy)
Entity Name:	NEW RIVER POINT, LLC		
Entity Kind:	Limited Liability Company	Entity Type:	General
Residency:	Domestic	State:	DELAWARE

[REGISTERED AGENT INFORMATION](#)

Name:	CORPORATE CREATIONS NETWORK INC.		
Address:	1521 CONCORD PIKE SUITE 201		
City:	WILMINGTON	County:	New Castle
State:	DE	Postal Code:	19803
Phone:			

Additional Information is available for a fee. You can retrieve Status for a fee of \$10.00 or more detailed information including current franchise tax assessment, current filing history and more for a fee of \$20.00.

Would you like Status Status, Tax & History Information

For help on a particular field click on the Field Tag to take you to the help area.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

[Previous On List](#) [Next On List](#) [Return to List](#)

No Events No Name History

Detail by Entity Name

Florida Limited Liability Company
NEW RIVER POINT DEVELOPMENT, LLC

Filing Information

Document Number	L24000221425
FEI/EIN Number	NONE
Date Filed	05/17/2024
State	FL
Status	ACTIVE

Principal Address

1719 SE 10TH STREET
FORT LAUDERDALE, FL 33316

Mailing Address

1719 SE 10TH STREET
FORT LAUDERDALE, FL 33316

Registered Agent Name & Address

ST. ROMAIN, DENNY
717 MIDDLE RIVER DRIVE
FORT LAUDERDALE Q, FL 33304

Authorized Person(s) Detail

Name & Address

Title MGR

ST. ROMAIN, DENNY
717 MIDDLE RIVER DRIVE
FORT LAUDERDALE, FL 33304

Title MGR

GIVEN, ROBERT E, JR
1719 SE 10TH STREET
FORT LAUDERDALE, FL 33316

Annual Reports

No Annual Reports Filed

Document Images

[05/17/2024 -- Florida Limited Liability](#)

[Previous On List](#) [Next On List](#) [Return to List](#)

No Events No Name History



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
 I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I New River Point LLC ("Owner") as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
 property located at 1151 SW 9 Avenue, Folio Nos. 504209010320, 504209010320 ("Property"), do hereby authorize
[Print Property Address]
Stephanie J. Toothaker, Esq., P.A. ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]
 of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
 scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and
 location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special
 exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to
 accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding
 all issues related to my pending variance/special exception application. I understand and agree that, as the
 Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception
 application, all required hearing appearances related to my variance/special exception application, and any
 request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and
 or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and
 agree, the City will mail or deliver all notices relating to my pending variance/special exception application to
 my property address, as listed on my variance/special exception application. I further understand and agree,
 the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized
 Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,
 and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before
 the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS
 AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
 representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
 any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
 of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
 including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
 action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
 employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

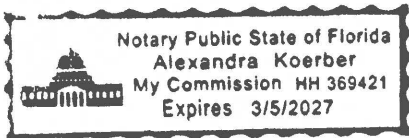
Mackenzie Lampman
Witness Signature
Mackenzie Lampman
Print Name
9/5/25
Date

NEW RIVER POINT LLC,
a Delaware limited liability company
D - L R
Signature - Owner/Authorized Individual
DENNIS ST ROMAIN
Print Name - Owner/ Authorized Individual
CO-PRESIDENT
Print Title - Authorized Individual

STATE OF FL
COUNTY OF PB

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5 day of 9, 2025 by Dennis St Romain, an individual who is personally known to me or has produced N/A as identification

[NOTARY SEAL]



Alexandra Koerber
(Signature of Notary Public- State of Florida)
3/5/2027
My Commission Expires:
Alexandra Koerber
Print, Type, or Stamp Commissioned
Name of Notary Public)



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

504209010329 (1140 Pina Del Rio),
504209010323 (1136 Pina Del Rio),
504209010328 (1132 Pina Del Rio),
504209010324 (1128 Pina Del Rio),
504209010327 (1124 Pina Del Rio),
504209010325 (1120 Pina Del Rio), and
504209010326 (1116 Pina Del Rio)

AGENT AUTHORIZATION FORM

I, New River Point Development LLC ("Owner") as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
property located at [Print Property Address] ("Property"), do hereby authorize

Stephanie J. Toothaker, Esq., P.A. ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]
of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and
location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special
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all issues related to my pending variance/special exception application. I understand and agree that, as the
Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception
application, all required hearing appearances related to my variance/special exception application, and any
request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and
or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and
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and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before
the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS
AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
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relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

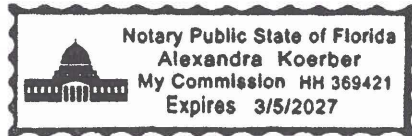
Mackenzie Lampman
Witness Signature
Mackenzie Lampman
Print Name
9/5/25
Date

NEW RIVER POINT DEVELOPMENT LLC,
a Florida limited liability company
[Signature]
Signature - Owner/Authorized Individual
Dennis St Romain
Print Name - Owner/ Authorized Individual
CO-PRESIDENT
Print Title - Authorized Individual

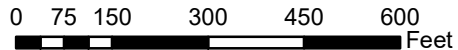
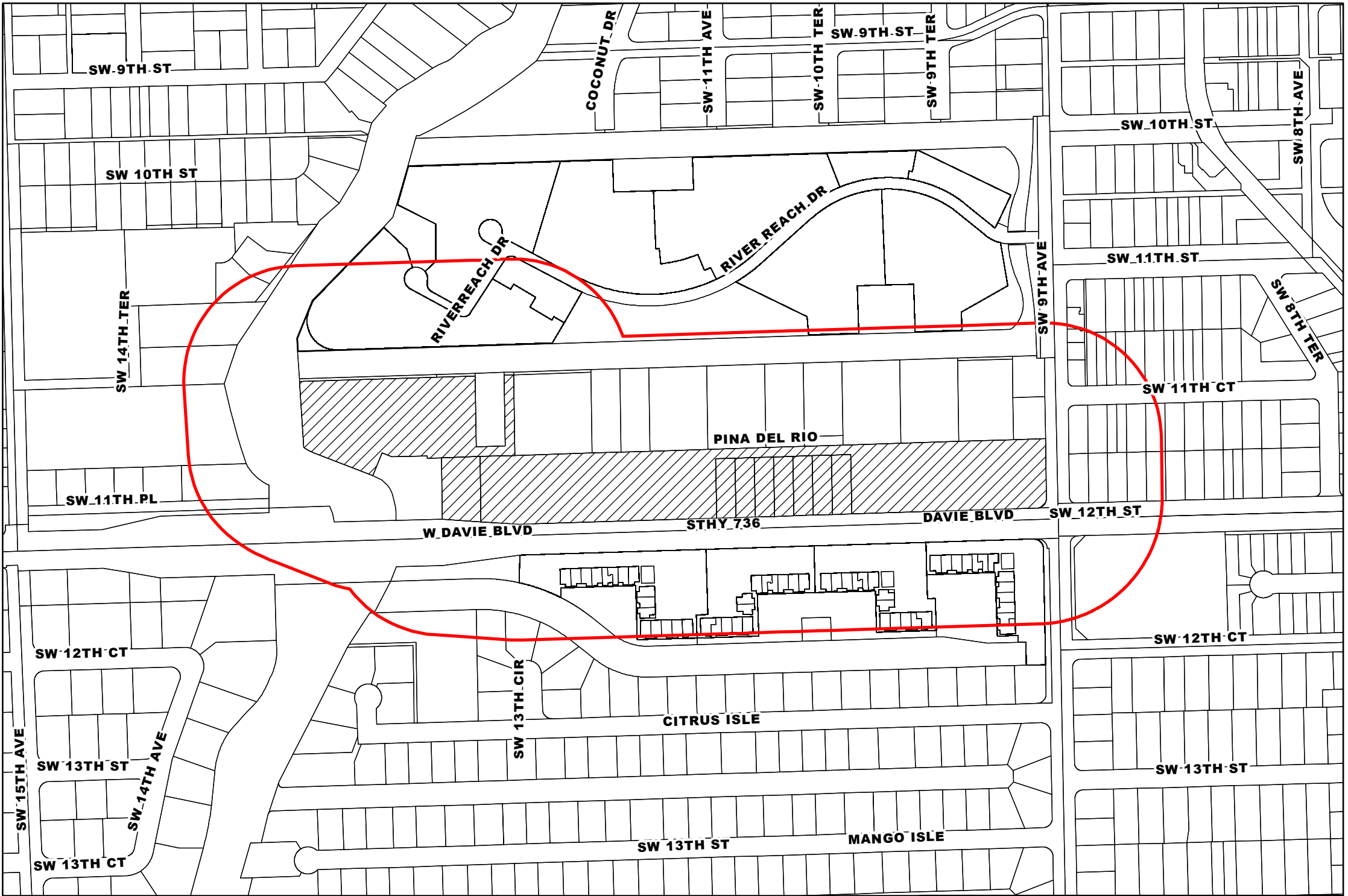
STATE OF FL
COUNTY OF PB

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5 day of 9, 2025. by Dennis St Romain an individual who is personally known to me or has produced NIA as identification

[NOTARY SEAL]



[Signature]
(Signature of Notary Public- State of Florida)
3/5/2027
My Commission Expires:
Alexandra Koerber
Print, Type, or Stamp Commissioned Name of Notary Public)



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
504209000070	FLORIDA DEPT OF TRANSPORTATION	OFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309
504209000080	SOUTH FLORIDA WATER MANAGEMENT	DISTRICT	PO BOX 24680	WEST PALM BEACH	FL	33416
504209010320	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010321	JELSTROM,LAUREL A	LAUREL ANN JELSTROM REV TR	1151 SW 9 AVE #2	FORT LAUDERDALE	FL	33315
504209010322	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010323	NEW RIVER POINT DEVELOPMENT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010324	NEW RIVER POINT DEVELOPMENT LLC		1128 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010325	NEW RIVER POINT DEVELOPMENT LLC		1120 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010326	NEW RIVER POINT DEVELOPMENT LLC		1116 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010327	NEW RIVER POINT DEVELOPMENT LLC		1124 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010328	NEW RIVER POINT DEVELOPMENT LLC		1132 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010329	NEW RIVER POINT DEVELOPMENT LLC		1140 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010330	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010331	NEW RIVER POINT LLC		1149 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010333	MESSINGSCHLAGER,PEGGY	PEGGY MESSINGSCHLAGER REV TR	1131 SW 9 AVE #4	FORT LAUDERDALE	FL	33315
504209010334	GHEORGHIU,EUGENIA H/E	GHEORGHIU,ALEX	1131 SW 9 AVE #3	FORT LAUDERDALE	FL	33315
504209010335	FIRST UNITED METHODIST CHURCH	OF FORT LAUDERDALE INC	101 SE 3 AVE	FORT LAUDERDALE	FL	33301
504209010336	NEW RIVER POINT DEVELOPMENT LLC		717 MIDDLE RIVER DR	FORT LAUDERDALE	FL	33304
504209010337	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209010338	NEW RIVER POINT DEVELOPMENT LLC		717 MIDDLE RIVER DR	FORT LAUDERDALE	FL	33304
504209010340	MESSINGSCHLAGER,M & R H/E	MESSINGSCHLAGER,PEGGY	1131 SW 9 AVE #5	FORT LAUDERDALE	FL	33315
504209010350	LORD,JASON A	LORD,MELANIA A	1204 TANGELO ISLE	FORT LAUDERDALE	FL	33315
504209010351	ORS,ROLY ALLEN		1131 SW 9 AVE	FORT LAUDERDALE	FL	33315
504209010360	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209320010	RIVER REACH INC		949 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504209320120	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209320121	JOLLY,JOHN		1131 SW 9 AVE #1	FORT LAUDERDALE	FL	33315
504209320128	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209320129	NEW RIVER POINT LLC		1136 PINA DEL RIO	FORT LAUDERDALE	FL	33315
504209320150	RIVER REACH INC		949 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504209320170	RIVER REACH INC		949 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504209320190	RIVER REACH INC		949 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504209320210	RIVER REACH INC		949 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504209320220	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301
504209320230	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301
504209500010	JOLLY,JOHN		1131 SW 9 AVE #1	FORT LAUDERDALE	FL	33315
504209500020	PRIMAVIX LLC		1315 GARFIELD ST	HOLLYWOOD	FL	33019
504209500030	SALT AIR ACQUISITIONS LLC		1719 SE 10 ST	FORT LAUDERDALE	FL	33316
504210740010	DOVE KEY TOWNHOMES INC		858 SW 11 ST	FORT LAUDERDALE	FL	33315
504210740012	DIOSDADO,BIANCA		1106 SW 9 AVE	FORT LAUDERDALE	FL	33315
504210740013	PINGITORE,NICHOLAS J H/E	PINGITORE,RECEL A	1112 SW 9 AVE	FORT LAUDERDALE	FL	33315
504210740014	SEDAKA,VICTOR ELI	VICTOR SEDAKA TR	215 SE 8 AVE #1920	FORT LAUDERDALE	FL	33301
504210740015	DOVE KEY I RESIDENCES ASSN INC		857 SW 11TH CT	FORT LAUDERDALE	FL	33315
504210740020	DUAILIBI,ELIANE S		1486 SW 18 TER	FORT LAUDERDALE	FL	33312
504210740190	APTAKIN,MARC		841 SW 11 CT	FORT LAUDERDALE	FL	33315
504210740200	845 SW 11 COURT LLC		19333 COLLINS AVE UNIT 405	SUNNY ISLES BEACH	FL	33160
504210740210	HARRINGTON,WILLIAM B JR		851 SW 11 CT	FORT LAUDERDALE	FL	33315
504210740211	VETTER,JOHN		849 SW 11 CT	FORT LAUDERDALE	FL	33315
504210740220	BITNER,CHRISTINA	ENGEL,JACOB	660 SW 75 TER	PLANTATION	FL	33317
504210740221	BAHAN,WILLIAM & SARAH		855 SW 11 CT	FORT LAUDERDALE	FL	33315
504210740240	PEACOCK REV TR	MURPHY,DANIEL PATRICK TRSTEE	910 SW 10 TER	FORT LAUDERDALE	FL	33315
504210740250	ELEGANS INVESTMENT GROUP LLC		2114 N FLAMINGO RD #632	PEMBROKE PINES	FL	33028
504210740260	CHADINHA,FRANCISCO G		757 SE 17 ST #1106	FORT LAUDERDALE	FL	33316
504210740261	JARVIS,VALENCIA L		852 SW 11 CT	FORT LAUDERDALE	FL	33315

504210740270	HORTON,BRADLEY CURRIE		846 SW 11 CT	FORT LAUDERDALE	FL	33315
504210740280	ONUR,EMEL		1000 SE 4 ST APT 325	FORT LAUDERDALE	FL	33301
504210740450	IRRA LLC		418 SW 7 ST	FORT LAUDERDALE	FL	33315
504210740460	IRRA LLC		418 SW 7 ST	FORT LAUDERDALE	FL	33315
504210740470	SEQUEIRA,ARNALDO		3212 FARRAGUT RD	BROOKLYN	NY	11210
504210740480	ASADASA LLC		5925 RAVENSWOOD RD D19	FORT LAUDERDALE	FL	33312
504210740490	GIACHOS,NICHOLAS	BENNIS,KYLE	2900 BISCAYNE BLVD APT 3114	MIAMI	FL	33137
504215018050	FLORIDA DEPT OF TRANSPORTATION	OFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309
504215530010	FLORIDA CONFERENCE ASSN	OF SEVENTH DAY ADVENTISTS	351 S STATE ROAD 434	ALTAMONTE SPRINGS	FL	32714
504215530020	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301
504216000280	TIITF/STATE OF FLORIDA		3900 COMMONWEALTH BLVD MS 100	TALLAHASSEE	FL	32399
504216020020	CITY OF FORT LAUDERDALE		528 NW 2 ST	FORT LAUDERDALE	FL	33311
504216250950	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301
504216380030	LEWIS,AUGUSTINE F		1225 SW 13 CIR	FORT LAUDERDALE	FL	33315
504216380040	JERMANOVICH,GLENNA J & MILES L		1222 SW 13 CIR	FORT LAUDERDALE	FL	33315
504216380050	GALWAY,GARY R	GALWAY,JILLIAN DIANE	1230 SW 13 CIRCLE	FORT LAUDERDALE	FL	33315
504216380250	NEWMAN,W F & METZGER,D ET AL	% BOARD OF DIRECTORS	900 SW 12 ST	FORT LAUDERDALE	FL	33315
504216380270	RIO NUEVO B CONDO ASSOC		1000 SW 12 ST	FORT LAUDERDALE	FL	33315
504216380280	RIO NUEVO DOCKS INC	%ROBERT SERGE	424 WILLOW LN	MELBOURNE	FL	32935
504216380290	NEWMAN,W F,METZGER,DOLLY	METZGER,ALICE & METZGER,ELIZ TRS	1200 SW 12 ST	FORT LAUDERDALE	FL	33315
504216380300	RIO NUEVO COMMUNITY BLDG INC	% TREA OF B BLDG	1000 SW 12 ST APT B107	FORT LAUDERDALE	FL	33315
504216380310	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301
504209AA0010	CHIAPPINI,NICK	BUSHELL,PENELOPE T	1201 RIVER REACH DR #106	FORT LAUDERDALE	FL	33315
504209AA0020	COLLINS,CHARLES	LICALZI,JESSICA	21565 EUCALYPTUS WAY	BOCA RATON	FL	33433
504209AA0030	FRENCH,AARON M		11688 SW 59 ST	COOPER CITY	FL	33330
504209AA0040	URRUTIA,KENNETH ALBERT	KENNETH ALBERT URRUTIA LIV TR	1000 RIVER REACH DR #104	FORT LAUDERDALE	FL	33315
504209AA0050	PIERO SAPAG,THIAGO DI		1000 RIVER REACH DR #105	FORT LAUDERDALE	FL	33315
504209AA0060	HANSLER,AUDREY	HANSLER,THOMAS FRANCIS EST	1000 RIVER REACH DR #106	FORT LAUDERDALE	FL	33315
504209AA0070	RAMJEAWAN,RYAN	HARRY,SUE ANN	1000 RIVER REACH DR #107	FORT LAUDERDALE	FL	33315
504209AA0080	STAGGS,JERRY L	STAGGS,PAULA M	2114 SE BAY HARBOUR CT	STUART	FL	34996
504209AA0090	GAMERO,FRANCO ELMER	FRANCO E GAMERO REV LIV TR	1000 RIVER REACH DR #110	FORT LAUDERDALE	FL	33315
504209AA0100	BLANKS,ARTHUR LEE JR		1000 RIVER REACH DR #111	FORT LAUDERDALE	FL	33315
504209AA0110	HAMBLEN,JUDITH L		1000 RIVER REACH DR UNIT 112	FORT LAUDERDALE	FL	33315
504209AA0120	BERNGARD TR	BERNGARD,LIBBY TRSTEE	15244 LAKES OF DELRAY BLVD #107	DELRAY BEACH	FL	33484
504209AA0130	SKJ FL LLC		965 CARLTON BLVD	STATEN ISLAND	NY	10312
504209AA0140	SANDOLLAR HOLDINGS LLC		763 NW 30 AVE #A	DELRAY BEACH	FL	33445
504209AA0150	SAVINA,ANNA		1000 RIVER REACH DR #118	FORT LAUDERDALE	FL	33315
504209AA0160	FLAVELL,MALCOLM P		1000 RIVER REACH DR #119	FORT LAUDERDALE	FL	33315
504209AA0170	CLAUDIA ANN GALLOWAY REV TR	GALLOWAY,CLAUDIA ANN TRSTEE	2726 NE 20 CT	FORT LAUDERDALE	FL	33305
504209AA0180	MCCALL,MARINA		1000 RIVER REACH DR # 121	FORT LAUDERDALE	FL	33315
504209AA0190	BARTOS,RONALD &	QUINN,FRANCES	1866 HULMEVILLE ROAD	BENSALEM	PA	19020
504209AA0200	BECKFORD,BRENDON	BECKFORD,DENISE	1000 RIVER REACH DR #123	FORT LAUDERDALE	FL	33315
504209AA0210	THOMSON,GRAHAM		1000 RIVER REACH DR #124	FORT LAUDERDALE	FL	33315
504209AA0220	JOAN READING REV LIV TR	READING,JOAN TRSTEE	1301 RIVER REACH DR APT 404	FORT LAUDERDALE	FL	33315
504209AA0230	MCWADE,MARGARET M		1000 RIVER REACH DR APT 201	FORT LAUDERDALE	FL	33315
504209AA0240	ARTZ,WILLIAM J JR		43 DELFT DR	HOLLAND	PA	18966
504209AA0250	BROOKES,ANTHONY PAUL &	HALLS,LINDA MARY	15 SISTON LANE	*BRISTOL BS305LX	GB	
504209AA0260	LIOY,FRANK		1000 RIVER REACH DR UNIT 204	FORT LAUDERDALE	FL	33315
504209AA0270	MURRAY,LOIS A	LOIS A MURRAY REV LIV TR	1000 RIVER REACH DR # 205	FORT LAUDERDALE	FL	33315
504209AA0280	ARCE,ALEXANDER M		1000 RIVER REACH DR #206	FORT LAUDERDALE	FL	33315
504209AA0290	WEEKS,CHRISTOPHER RAY		4248 SW 52 ST	DANIA BEACH	FL	33314
504209AA0300	NORA A POULSON REV TR	POULSON REV TR ETAL	1800 SE 9 ST	FORT LAUDERDALE	FL	33316
504209AA0310	SAMIKSHA,FNU		3125 SW 176 WAY	MIRAMAR	FL	33029
504209AA0320	ROMEO,CARLA		1000 RIVER REACH DR #210	FORT LAUDERDALE	FL	33315
504209AA0330	WARNKEN,WILFRED		1000 RIVER REACH DR APT 211	FORT LAUDERDALE	FL	33315

504209AA0340	EVERDINGEN,FREDERICK PETRO VAN	AUSTIN,BECKY MAE	1000 RIVER REACH DR #212	FORT LAUDERDALE	FL	33315
504209AA0350	GLADKIKH,IRINA		1000 RIVER REACH DR #214	FORT LAUDERDALE	FL	33315
504209AA0360	CONKLIN,KRISTEN	%DEBORAH SUE CONKLIN GUARDIAN	3075 MAPLE TRCE	TARPON SPGS	FL	34688
504209AA0370	LAIRD,DAVID W		1000 RIVER REACH DR #216	FORT LAUDERDALE	FL	33315
504209AA0380	GONZALEZ-HERNANADEZ,FERNAN	SUERO,EDUARDO	1374 COLLEGE AVE #4A	BRONX	NY	10456
504209AA0390	BRASSIL STEIN FAM REV TR	BRASSIL,DANIEL PAUL TRSTEE ETAL	208 NW 22 ST	WILTON MANORS	FL	33311
504209AA0400	LUKE LEGACY LLC		30 N GOULD ST	N SHERIDAN	WY	82801
504209AA0410	LAUCIELLO,JOHNNY D		1000 RIVER REACH DR #221	FORT LAUDERDALE	FL	33315
504209AA0420	ADAMS,WILLIAM S & CHRISTINE T		1000 RIVER REACH DR #222	FORT LAUDERDALE	FL	33315
504209AA0430	MINERVA CERVANTES,CYNTHIA	LOPEZ,GUSTAVO ADOLFO	137 RITA BLANCA BND	BASTROP	TX	78602
504209AA0440	NEEDLEMAN,BONNIE AMANDA		1000 RIVER REACH DR #225	FORT LAUDERDALE	FL	33315
504209AA0450	LALICIC,SANDA		1000 RIVER REACH DR #301	FORT LAUDERDALE	FL	33315
504209AA0460	FRASER,NICHOLAS ANDREW		5801 SW 18 ST	PLANTATION	FL	33317
504209AA0470	EAST,KIMBERLY & DION A		312 BRADFORD PLACE DR	HIXSON	TN	37343
504209AA0480	BALL,KIMBERLY L		1000 RIVER REACH DR UNIT 304	FORT LAUDERDALE	FL	33315
504209AA0490	LEKA,ALBAN F	LEKA,DENISA	465 TARRYTOWN AVENUE	STATEN ISLAND	NY	10306
504209AA0500	MADISON,LYNDA A		1000 RIVER REACH DR APT 306	FORT LAUDERDALE	FL	33315
504209AA0510	SHAPIRO,BURTON D		1000 RIVER REACH DR APT 307	FORT LAUDERDALE	FL	33315
504209AA0520	NEJAD,JONATHAN	SMITH,CHELSEA	1326 AVOCADO ISLE	FORT LAUDERDALE	FL	33315
504209AA0530	PASCAL,MARIA M		1000 RIVER REACH DR UNIT 309	FORT LAUDERDALE	FL	33315
504209AA0540	TLC EQUITY LLC		5987 NW 65 TER	PARKLAND	FL	33067
504209AA0550	HAZELTON,MICHELLE		1000 RIVER REACH DR #311	FORT LAUDERDALE	FL	33315
504209AA0560	VILLA,EMMIE		1000 RIVER REACH DR #312	FORT LAUDERDALE	FL	33315
504209AA0570	BOHL,GORDON & MARILYN	BOHL LIV TR	1000 RIVER REACH DR #314	FORT LAUDERDALE	FL	33315
504209AA0580	HENDREI,MEDEA		1000 RIVER REACH DR #315	FORT LAUDERDALE	FL	33315
504209AA0590	WILSON,WYNNORA S		1000 RIVER REACH DR #316	FORT LAUDERDALE	FL	33315
504209AA0600	GROSS,ROBERT L		1510 SW 14 CT	FORT LAUDERDALE	FL	33312
504209AA0610	1000 RIVER REACH DR #319 LLC		4051 SW 53 AVE	DAVIE	FL	33314
504209AA0620	ISRAEL,HENRY M		1885 SHORE DR S APT 438	S PASADENA	FL	33707
504209AA0630	CAMPLLONCH,DIEGO ALEJANDRO		1000 RIVER REACH DR APT 321	FORT LAUDERDALE	FL	33315
504209AA0640	JENGA ENTERPRISES LLC		11621 NW 21 CT	PLANTATION	FL	33323
504209AA0650	HERMES PROPERTY DEVELOPMENT LLC		757 SE 17 ST #1190	FORT LAUDERDALE	FL	33316
504209AA0660	BECKFORD,DENISE		7 WILLIAMSBURG DR	NORTHPORT	NY	11768
504209AA0670	BLANCO,SAMANTHA	BLANCO,SYLVIA	1000 RIVER REACH DR #401	FORT LAUDERDALE	FL	33315
504209AA0680	ROSTIN,CLIFFORD L JR		1000 RIVER REACH DR #402	FORT LAUDERDALE	FL	33315
504209AA0690	POLLARD,KATHERINE L		1000 RIVER REACH DR UNIT 403	FORT LAUDERDALE	FL	33315
504209AA0700	MUSSER,AIMEE NICOLE		1000 RIVER REACH DR #404	FORT LAUDERDALE	FL	33315
504209AA0710	LYBARGER,JULIAN		1000 RIVER REACH DR #405	FORT LAUDERDALE	FL	33315
504209AA0720	WHITE,MARK S & COLLEEN		207 ARROWHEAD DR	SLIPPERY ROCK	PA	16057
504209AA0730	TAYLOR,PRINCE		1000 RIVER REACH DR #407	FORT LAUDERDALE	FL	33315
504209AA0740	PARKER,DAVID G		1000 RIVER REACH DR # 408	FORT LAUDERDALE	FL	33315
504209AA0750	DESAI,ANIL	CALIFORNIA,KEVIN	1000 RIVER REACH DR # 409	FORT LAUDERDALE	FL	33315
504209AA0760	RYAN,KELLY LEE H/E	GROVES,HEATHER LEIGH	1000 RIVER REACH DR #410	FORT LAUDERDALE	FL	33315
504209AA0770	EILEEN M CHILDS REV TR	CHILDS,EILEEN M TRSTEE	41 BRIDGE ST	SALEM	NH	03079
504209AA0780	HABER,GERALDINE		1000 RIVER REACH DR #412	FORT LAUDERDALE	FL	33315
504209AA0790	OLIGER,DEBRA H/E	CARROLL,JOANNE & OLIGER,KATHLEEN	1000 RIVER REACH DR #414	FORT LAUDERDALE	FL	33315
504209AA0800	BLAIR,GAIL M		1000 RIVER REACH DR #415	FORT LAUDERDALE	FL	33315
504209AA0810	CUSACK,LYNDSEY L	LYNDSEY L CUSACK REV TR	1000 RIVER REACH DR #416	FORT LAUDERDALE	FL	33315
504209AA0820	HORGAN,EILEEN A & TIMOTHY R		1000 RIVER REACH DR #418	FORT LAUDERDALE	FL	33315
504209AA0830	PONE REV TR	PONE,ROBERT & TERRI ANN TRSTEE	5314 W HENDERSON PL	SANTA ANA	CA	92704
504209AA0840	MEYER-KEOGH,KATHLEEN	KEOGH,WEBSTER	1900 J F K BLVD #313	PHILADELPHIA	PA	19103
504209AA0850	SPROULE,BRIAN H/E	SPROULE,WILLIAM & STEPHANIE	1000 RIVER REACH DRIVE #421	FORT LAUDERDALE	FL	33315
504209AA0860	DE LUCCIA,LISETTE		940 MANDARIN ISLE	FORT LAUDERDALE	FL	33315
504209AA0870	WALLACE,MARK & ROBIN	WALLACE,MATTHEW	101 JULIANNA DR	CORAOPOLIS	PA	15108
504209AA0880	LALICIC,DUSANKA & IVAN		1000 RIVER REACH DR #425	FORT LAUDERDALE	FL	33315

504209AA0890	HUDSON,CAROL A		1000 RIVER REACH DR #501	FORT LAUDERDALE	FL	33315
504209AA0900	ECHEVERRIETA,JESUS	FELICIANO,MARIBEL	1000 RIVER REACH DR #502	FORT LAUDERDALE	FL	33315
504209AA0910	ALMONTE,SABRINA		1000 RIVER REACH DR #503	FORT LAUDERDALE	FL	33315
504209AA0920	BUBENZER,JOY M		1000 RIVER REACH DR #504	FORT LAUDERDALE	FL	33315
504209AA0930	DOSTI,ARMELA		1000 RIVER REACH DR #505	FORT LAUDERDALE	FL	33315
504209AA0940	HAYMON SANKAR HOLDINGS LLC		936 INTRACOASTAL DR #22F	FORT LAUDERDALE	FL	33304
504209AA0950	WILLIAM ECKERT III REV TR	ECKERT,WILLIAM III TRSTEE	155 N HARBOR DR #5201	CHICAGO	IL	60601
504209AA0960	PONZE,EMIE		1000 RIVER REACH DR #508	FORT LAUDERDALE	FL	33315
504209AA0970	AMC PROPERTY GROUP LLC		1323 SE 17 ST #1012	FORT LAUDERDALE	FL	33316
504209AA0980	1000 RIVER REACH DRIVE LLC		143 YARMOUTH CT	HOLMDEL	NJ	07733
504209AA0990	EILEEN M CHILDS REV TR OF 2010	CHILDS,EILEEN M TRSTEE	41 BRIDGE ST	SALEM	NH	03079
504209AA1000	LEVINE,DENISE		1000 RIVER REACH DR #512	FORT LAUDERDALE	FL	33315
504209AA1010	KRUSHELNITSKAYA,TATYANA		1000 RIVER REACH DR #514	FORT LAUDERDALE	FL	33315
504209AA1020	CURRAN,JOHN PHILIP		1000 RIVER REACH DR UNIT 515	FORT LAUDERDALE	FL	33315
504209AA1030	TURKISH,JILL		1000 RIVER REACH DR #516	FORT LAUDERDALE	FL	33315
504209AA1040	VERMETTE,BRIAN		900 RIVER REACH DR #317	FORT LAUDERDALE	FL	33315
504209AA1050	NASTA,JOHN JOSEPH JR		37 WOOD CLIFF RD	ISLIP TERRACE	NY	11752
504209AA1060	SUNFEST HOLDINGS LLC		763 NW 30 AVE #A	DELRAY BEACH	FL	33445
504209AA1070	HARKER,GRAY M & MONICA MARTIRE		1000 RIVER REACH DR #520	FORT LAUDERDALE	FL	33315
504209AA1080	SMITH,GEORGE R		1000 RIVER REACH DR UNIT 521	FORT LAUDERDALE	FL	33315
504209AA1090	PORTON NEGRO LLC		355 NW 6 AVE	BOCA RATON	FL	33432
504209AA1100	MICHELLE P DESJARDIN REV TR	DESJARDINS,MICHELLE P TRSTEE	1126 S FEDERA HWY #214	FORT LAUDERDALE	FL	33316
504209AA1110	ANDRE,ALECIA		1000 RIVER REACH DR #525	FORT LAUDERDALE	FL	33315
504209AB0010	TRILLO,JOSEPH M		19551 SATURNIA LAKES DR	BOCA RATON	FL	33498
504209AB0020	FABER,DAVID T		9601 CORPORATE CR	CLEVELAND	OH	44125
504209AB0030	TURNER,CYNTHIA	COMINATO,ANDREA	900 RIVER REACH DR #103	FORT LAUDERDALE	FL	33315
504209AB0040	PERQUE,KELLY LYNN & JONATHAN J		900 RIVER REACH DR #104	FORT LAUDERDALE	FL	33315
504209AB0050	FORREST,HOBBIT		900 RIVER REACH DRIVE #105	FORT LAUDERDALE	FL	33315
504209AB0060	LICALZI,JESSICA S	COLLINS,CHARLES R III	21565 EUCALYPTUS WAY	BOCA RATON	FL	33433
504209AB0070	THOMAS,RICK J		PO BOX 3	BEN LOMOND	CA	95005
504209AB0080	GIROUX,JAMES	PARSONS,BRITTANY	900 RIVER REACH DR #109	FORT LAUDERDALE	FL	33315
504209AB0090	JONES,MIKE		900 RIVER REACH DR #110	FORT LAUDERDALE	FL	33315
504209AB0100	SPENCE,TIMOTHY		900 RIVER REACH DR #111	FORT LAUDERDALE	FL	33315
504209AB0110	LEEDS,STEVEN F & LINDA N		900 RIVER REACH DR #112	FORT LAUDERDALE	FL	33315
504209AB0120	NATALE,RALPH J		900 RIVER REACH DR APT 114	FORT LAUDERDALE	FL	33315
504209AB0130	NADEL,LAUREN E		900 RIVER REACH DR #115	FORT LAUDERDALE	FL	33315
504209AB0140	HERNANDEZ CRUZ,ALEXANDER	DELGADO,MELISSA	1029 RIVERWOOD DR	DICKINSON	TX	77539
504209AB0150	GILARRANZ,DAVID A	HERNANDEZ,ARGIRIA	16669 BOTANIKO DR N	WESTON	FL	33326
504209AB0160	MORVANT,LUISA CATALINA		900 RIVER REACH DR # 119	FORT LAUDERDALE	FL	33315
504209AB0170	LUKAS,CHRISTINE M		900 RIVER REACH DR #120	FORT LAUDERDALE	FL	33315
504209AB0180	NUNEZ,ALONSO S	PORTILLO,MIRIAM C ETAL	8658 BLAZE CT	COOPER CITY	FL	33328
504209AB0190	MEDINA,ELEAZAR A		900 RIVER REACH DR #122	FORT LAUDERDALE	FL	33315
504209AB0200	NEWMAN,JEFFREY A		900 RIVER REACH DR #123	FORT LAUDERDALE	FL	33315
504209AB0210	BISCHOFF,KENNETH S		1000 SE 4 ST #207	FORT LAUDERDALE	FL	33301
504209AB0220	ORTEGA,HILDELISA H/E	MORALES,ORELY & MOONEY,OLIVIA	900 RIVER REACH DR #125	FORT LAUDERDALE	FL	33315
504209AB0230	BUERY LIV TR	BUERY,ROXANA LAURA TRSTEE	900 RIVER REACH DR #201	FORT LAUDERDALE	FL	33315
504209AB0240	LONERGAN,TYLER J		900 RIVER REACH DR #202	FORT LAUDERDALE	FL	33315
504209AB0250	JOHN J MANLEY REV TR	MANLEY,JOHN J TRSTEE	PO BOX 4334	FORT LAUDERDALE	FL	33338
504209AB0260	MCBRYAN,JOHN P & CHRISTINE M		113 BLUEBELL WAY	FRANKLIN	TN	37064
504209AB0270	HUERTA MENDIZABAL,SALVADOR		900 RIVER REACH DR #205	FORT LAUDERDALE	FL	33315
504209AB0280	FLORES,CHRISTOPHER H/E	FLORES,ROMAN	900 RIVER REACH DR #206	FORT LAUDERDALE	FL	33315
504209AB0290	ROGERS,WILLIAM	ROGERS,DONNA	900 RIVER REACH DR #207	FORT LAUDERDALE	FL	33315
504209AB0300	GENDUSO,THOMAS	GENDUSO,CAROL	10181 W SAMPLE RD #204	CORAL SPRINGS	FL	33065
504209AB0310	ZASIO,JOSEPH ROBERT		900 RIVER REACH DR APT 209	FORT LAUDERDALE	FL	33315
504209AB0320	PARKER,NATALYA		900 RIVER REACH DR #210	FORT LAUDERDALE	FL	33315

504209AB0330	PANDAY,BRAMA MAHIMA		900 RIVERREACH DR APT 211	FORT LAUDERDALE	FL	33315
504209AB0340	WEBER,NICOLE		900 RIVER REACH DR # 212	FORT LAUDERDALE	FL	33315
504209AB0350	MACK,SUZANNE		900 RIVER REACH DR APT 214	FORT LAUDERDALE	FL	33315
504209AB0360	DARVILLE,STANLEY R		1000 SW 12 ST #200B	FORT LAUDERDALE	FL	33315
504209AB0370	MEINGASNER,CATHRYN	CATHRYN MEINGASNER REV TR	900 RIVER REACH DR #216	FORT LAUDERDALE	FL	33315
504209AB0380	SHAW,DOROTHEA		900 RIVER REACH DR #218	FORT LAUDERDALE	FL	33315
504209AB0390	SLADEK,ROMAN		POD PARUKARKOU 2760/10	*PRAHA 3, 13000,	CZ	
504209AB0400	PANNING, LISA DIANNE		900 RIVER REACH DR #220	FORT LAUDERDALE	FL	33315
504209AB0410	SPILLANE,PAULETTE P		900 RIVER REACH DR APT 221	FORT LAUDERDALE	FL	33315
504209AB0420	ASHLEY,NEIL		4261 NE 16 TER	OAKLAND PARK	FL	33334
504209AB0430	HANCOCK,CECELIA M	CECELIA M HANCOCK LIV TR	900 RIVER REACH DR UNIT 223	FORT LAUDERDALE	FL	33315
504209AB0440	MARINZULICH,STEFANO		900 RIVER REACH DR APT 225	FORT LAUDERDALE	FL	33315
504209AB0450	TULLOCH,EARL F JR & MARGUERITE B		900 RIVER REACH DR #301	FORT LAUDERDALE	FL	33315
504209AB0460	JANUSZ,MARK	GOODY,ALEXANDRA	3848 ILLONA LN	OCEANSIDE	NY	11572
504209AB0470	GENDUSO,THOMAS & CAROL		5987 NW 65 TER	PARKLAND	FL	33067
504209AB0480	VAZQUEZ PINEDO,CARLOS E	PINEDO,IRIS A	900 RIVER REACH DR #304	FORT LAUDERDALE	FL	33315
504209AB0490	FREY,KEVIN	FREY,THOMAS	900 RIVER REACH DR #305	FORT LAUDERDALE	FL	33315
504209AB0500	JACOB,LIAM		900 RIVER REACH DR #306	FORT LAUDERDALE	FL	33315
504209AB0510	RODELO,KARIN		406 NW 68 AVE #505	PLANTATION	FL	33317
504209AB0520	VERMETTE,BRIAN & CARIAGA,EDWARD		1821 SE 4TH AVE	FORT LAUDERDALE	FL	33316
504209AB0530	BRESLIN,KAREN		900 RIVER REACH DR #309	FORT LAUDERDALE	FL	33315
504209AB0540	STURGIS,CHRISTOPHER J		900 RIVER REACH DR APT 310	FORT LAUDERDALE	FL	33315
504209AB0550	STREBLE,JOSEPH R		900 RIVER REACH DR APT 311	FORT LAUDERDALE	FL	33315
504209AB0560	JONES,ARDETH		1440 SW 29 ST	FORT LAUDERDALE	FL	33315
504209AB0570	WAY,WILLIAM	KEMP,GISELA A	900 RIVER REACH DR #314	FORT LAUDERDALE	FL	33315
504209AB0580	LYNNE,CYNTHIA		900 RIVER REACH DR #315	FORT LAUDERDALE	FL	33315
504209AB0590	EVERETT,HARRISON CROCKETT		900 RIVER REACH DR #316	FORT LAUDERDALE	FL	33315
504209AB0600	MOORE,MARIE H/E	MOORE,PERRY	900 RIVER REACH DR #318	FORT LAUDERDALE	FL	33315
504209AB0610	WILSON,JESSICA		900 RIVER REACH DR APT 319	FORT LAUDERDALE	FL	33315
504209AB0620	DONAHUE,MARY R		12017 EDGE PARK CT	POTOMAC	MD	20854
504209AB0630	CLIDAS,JOHN W		900 RIVER REACH DR UNIT 321	FORT LAUDERDALE	FL	33315
504209AB0640	FREEMAN,DANIEL LEE		900 RIVER REACH DR #322	FORT LAUDERDALE	FL	33315
504209AB0650	SHOOK,MATTHEW JONATHAN		900 RIVER REACH DR #323	FORT LAUDERDALE	FL	33315
504209AB0660	ELSBREE,VALERIE JEAN		900 RIVER REACH DR #325	FORT LAUDERDALE	FL	33315
504209AB0670	BATTAT,SARA J		900 RIVER REACH DR #401	FORT LAUDERDALE	FL	33315
504209AB0680	BALETIC,BALSA		319 CORAL WAY	FORT LAUDERDALE	FL	33301
504209AB0690	BALDWIN,FRED V III		397 SWEET BAY AVE	PLANTATION	FL	33324
504209AB0700	FRIDMAN,SABINA H/E	FRIDMAN,BORIS & SOBOL,MARGO	900 RIVER REACH DR #404	FORT LAUDERDALE	FL	33315
504209AB0710	PRIETO,VALENTINA		900 RIVER REACH DR #405	FORT LAUDERDALE	FL	33315
504209AB0720	MUNOZ,MICHAEL		2087 DEER CREEK WOODLANDS WA	DEERFIELD BEACH	FL	33442
504209AB0730	GAY,FRANKLIN G &	GAY JUROVA,PETRA	900 RIVER REACH DR #407	FORT LAUDERDALE	FL	33315
504209AB0740	DONALD MORVANT REV LIV TR	MORVANT,DONALD TRS	900 RIVER REACH DR #418	FORT LAUDERDALE	FL	33315
504209AB0750	CRESSEY,AUSTIN		900 RIVER REACH DR APT 409	FORT LAUDERDALE	FL	33315
504209AB0760	MOUSTAKAS,DIONYSIA V		6001 NE 18 TER	FORT LAUDERDALE	FL	33308
504209AB0770	GARRISON,GILES		1876 SW 53 AVE	PLANTATION	FL	33317
504209AB0780	ROBERTO,STEVEN		2900 BANYAN ST #406	FORT LAUDERDALE	FL	33316
504209AB0790	SHAH,ASHKA		900 RIVER REACH DR #414	FORT LAUDERDALE	FL	33315
504209AB0800	RUCERITO,JOEY		900 RIVER REACH DR #415	FORT LAUDERDALE	FL	33315
504209AB0810	SCHMITT,KYLE A		900 RIVER REACH DR # 416	FORT LAUDERDALE	FL	33315
504209AB0820	MORVANT,DONALD		900 RIVER REACH DR #418	FORT LAUDERDALE	FL	33315
504209AB0830	RINALDI,JOHN A H/E	SERRANO,GISELLE	900 RIVER REACH DR #419	FORT LAUDERDALE	FL	33334
504209AB0840	CAPRARO,CHAD		900 RIVER REACH DR #420	FORT LAUDERDALE	FL	33315
504209AB0850	CHUNG,BELINDA		679 MIDDLE RIVER DR	FORT LAUDERDALE	FL	33304
504209AB0860	MIDDLETON,ANITA P		900 RIVER REACH DR #422	FORT LAUDERDALE	FL	33315
504209AB0870	HOWARD,KIMBERLY		30 MADISON DR	NAPLES	FL	34110

504209AB0880	FLEMING,JANELLE RAE	GRILLO,NOAH JAMES	900 RIVER REACH DR #425	FORT LAUDERDALE	FL	33315
504209AB0890	KEMP,CAROLYN EST		900 RIVER REACH DR UNIT 501	FORT LAUDERDALE	FL	33315
504209AB0900	BACZKOWSKI,JAIME B	BACZKOWSKI,SYLVAIN	900 RIVER REACH DR #502	FORT LAUDERDALE	FL	33315
504209AB0910	GUYER,WILLIAM JR		900 RIVER REACH DRIVE #503	FORT LAUDERDALE	FL	33315
504209AB0920	CRUZ,ALFREDO E & VALENTINA C		2425 FLAMINGO LN	FORT LAUDERDALE	FL	33312
504209AB0930	CASTLE ROAD INVESTMENTS LLC		5025 MURIETTA AVE	SHERMAN OAKS	CA	91423
504209AB0940	SACHS,CELSO SCHMIDT &	SACHS,DEBORAH APARECIDA	900 RIVER REACH DR UNIT 506	FORT LAUDERDALE	FL	33315
504209AB0950	GIBBS,KATHRYN REED H/E	KATHRYN GIBBS REV TR	900 RIVER REACH DR #507	FORT LAUDERDALE	FL	33315
504209AB0960	GIVENS,ARNETRESS		900 RIVER REACH DR #508	FORT LAUDERDALE	FL	33315
504209AB0970	BARLOW,MICHAEL J	FLAM,MARITTA H	900 RIVER REACH DR #509	FORT LAUDERDALE	FL	33315
504209AB0980	CARBAYO,JORGE		900 RIVER REACH DR #510	FORT LAUDERDALE	FL	33315
504209AB0990	TAMAGNA,LAURENCE		900 RIVER REACH DR #511	FORT LAUDERDALE	FL	33315
504209AB1000	GRIFFITHS,WENDY J	TAYLOR,GERALD L	900 RIVER REACH DR APT 512	FORT LAUDERDALE	FL	33315
504209AB1010	COFFMAN,JOSHUA		900 RIVER REACH DR #514	FORT LAUDERDALE	FL	33315
504209AB1020	FEITO,PATRICIA		900 RIVER REACH DR APT 515	FORT LAUDERDALE	FL	33315
504209AB1030	ACOSTA,ELIGIO JR	ACOSTA,NICHOLAS J	900 RIVER REACH DR #516	FORT LAUDERDALE	FL	33315
504209AB1040	ROBBERT,DAMON	ROBBERT,ELIZABETH FITZGERALD	5500 SW 109 AVE	DAVIE	FL	33328
504209AB1050	MARTIN,HAROLD DEAN & JULIA A		900 RIVER REACH DR #518	FORT LAUDERDALE	FL	33315
504209AB1060	EUSTIS,THOMAS S		900 RIVER REACH DR APT 519	FORT LAUDERDALE	FL	33315
504209AB1070	JOAN READING REV LIV TR	READING,JOAN TRSTEE	1301 RIVER REACH DR UNIT 404	FORT LAUDERDALE	FL	33315
504209AB1080	FORDHAM 009 LLC		205 SW 28 ST	FORT LAUDERDALE	FL	33315
504209AB1090	PALMER,KRISTEN		900 RIVER REACH DR #522	FORT LAUDERDALE	FL	33315
504209AB1100	CARVER,KELLY LEE		900 RIVER REACH DR #523	FORT LAUDERDALE	FL	33315
504209AB1110	DELPIDIO,JEFFREY & JENNIFER		20 PRINCESS RD	NEWTON	MA	02565
504209AC0010	GORDON,MAUREEN		1350 RIVER REACH DR UNIT 101	FORT LAUDERDALE	FL	33315
504209AC0020	PERU,VALERIE		1350 RIVER REACH DR #102	FORT LAUDERDALE	FL	33315
504209AC0030	SMITTER-GIOVANNI FAM TR	SMITTER,J G & GIOCANNI,L TRSTEE	PO BOX 6582	GRAND RAPIDS	MI	49516
504209AC0040	MULLEN,MICHAEL R		1350 RIVER REACH DR #104	FORT LAUDERDALE	FL	33315
504209AC0050	COFFEY,PATRICIA GRACE		1350 RIVER REACH DR #105	FORT LAUDERDALE	FL	33315
504209AC0060	WISH-VERRUNI,LOTTIE L		1350 RIVER REACH DR #106	FORT LAUDERDALE	FL	33315
504209AC0070	JAFFE,STEVEN M		1350 RIVER REACH DR #107	FORT LAUDERDALE	FL	33315
504209AC0080	MARC TUPLER REV TR	TUPLER,MARC TRSTEE	101 S FT LAUD BEACH BLVD #804	FORT LAUDERDALE	FL	33316
504209AC0090	SCHUMANN,JOSEPH F		1350 RIVER REACH DR UNIT 109	FORT LAUDERDALE	FL	33315
504209AC0100	HANSSSENS,BRIEUC		1350 RIVER REACH DR #110	FORT LAUDERDALE	FL	33315
504209AC0110	BEGUE REV TR	BEGUE,JORGE TRSTEE ETAL	8751 GATEHOUSE RD #2	PLANTATION	FL	33324
504209AC0120	VANTREPOTTE,CHARLES	VANTREPOTTE,MICHAELENE	250 CARDINAL DR	ADDISON	IL	60101
504209AC0130	LAGO,ANTONIO C	LAGO,CYNTHIA S	1350 RIVER REACH DR APT 115	FORT LAUDERDALE	FL	33315
504209AC0140	SCARBOROUGH,ANDREA		1350 RIVER REACH DR #116	FORT LAUDERDALE	FL	33315
504209AC0150	EHRHARDT,CAROLYN		1350 RIVER REACH DR #117	FORT LAUDERDALE	FL	33315
504209AC0160	SHAZ PROPERTIES LLC		375 BEACH RD	JUPITER	FL	33469
504209AC0170	SMITH,CHAD STEVEN		1350 RIVER REACH DR APT 201	FORT LAUDERDALE	FL	33315
504209AC0180	SCHULTZ,CHARLES C		1350 RIVER REACH DR #202	FORT LAUDERDALE	FL	33315
504209AC0190	GEORGE,KATHLEEN ANN		1350 RIVER REACH DR APT 203	FORT LAUDERDALE	FL	33315
504209AC0200	SMITH,STEPHEN P H/E	SMITH,STEPHEN P JR	1350 RIVER REACH DR #204	FORT LAUDERDALE	FL	33315
504209AC0210	DONAHUE,STEVEN & JILL	DONAHUE FAM REV TR	1350 RIVER REACH DR #205	FORT LAUDERDALE	FL	33315
504209AC0220	KLINGLER,ROBERT B	KLINGLER,SARA L	7075 RIVE RD	MARINE CITY	MI	48039
504209AC0230	LOW,MONTANA W		1350 RIVER REACH DR # 207	FORT LAUDERDALE	FL	33315
504209AC0240	DOREEN ROCHELLE GARGANO FAM TR	GARGANO,DOREEN ROCHELLE TRSTEE	800 E BROWARD BLVD STE 101	FORT LAUDERDALE	FL	33301
504209AC0250	ANNA K HARRISON REV LIV TR	STEPHEN E MOORE REV LIV TR	443 ALBERTO WAY #B118	LOS GATOS	CA	95032
504209AC0260	SPRUANCE, WILLIAM EWING	WILLIAM EWING SPRUANCE TR	1350 RIVER REACH DR #210	FORT LAUDERDALE	FL	33315
504209AC0270	HOLLERN,PAUL		1350 RIVER REACH DR APT 211	FORT LAUDERDALE	FL	33315
504209AC0280	TIBBETTS,DAVID M		15 LENOX AVE	WEST WARWICK	RI	02893
504209AC0290	GARCIA,MICHAEL		1350 RIVER REACH DR #214	FORT LAUDERDALE	FL	33315
504209AC0300	LLOYD A WARMAN TR	WARMAN,LLOYD A TRSTEE	1350 RIVER REACH DR #215	FORT LAUDERDALE	FL	33315
504209AC0310	ZIMERING,ERIC MICHAEL	ROMANO-ZIMERING,JUDITH	9113 FREMONT AVE	MARGATE CITY	NJ	08402

504209AC0320	LIS,MONA A H/E	LIS,IAN J	1350 RIVER REACH DR #217	FORT LAUDERDALE	FL	33315
504209AC0330	JAMES V & M GAIL CASTELLANO TR	CASTELLANO,JAMES V & GAIL TRSTES	7 BEECHLAND PL	MIDDLETOWN	RI	02842
504209AC0340	KANE,CHRISTOPHER B		1350 RIVER REACH DR APT 219	FORT LAUDERDALE	FL	33315
504209AC0350	TANGUAY,DORI M		1350 RIVER REACH DR APT 301	FORT LAUDERDALE	FL	33315
504209AC0360	WALLER,ALLEN		1350 RIVER REACH DR #302	FORT LAUDERDALE	FL	33315
504209AC0370	COSTA,CHRISTINE A	COSTA,JOHN J	542 KENNERLY RD	SPRINGFIELD	PA	19064
504209AC0380	CONTRERAS,RUFINO		1350 RIVER REACH DR #304	FORT LAUDERDALE	FL	33315
504209AC0390	YARMOLENKO,LARYSA		5300 HOLMES RUN PKWY APT 807	ALEXANDRIA	VA	22304
504209AC0400	LENIHAN,ROBIN L & PATRICK		80 LOCHMOOR BLVD	GROSSE POINTE SHORES	MI	48236
504209AC0410	CARMICHAEL,LAURA MOIRA C DE	ROJAS,MOIRA ANDREA	6900 BAYDRIVE #9-G	MIAMI BEACH	FL	33141
504209AC0420	ALBERT J BARTKOWSKI REV TR	LAUREN M BARTKOWSKI REV TR ETAL	22 ORCHARD ST	PORT WASHINGTON	NY	11050
504209AC0430	ALLEN,HELEN A		1350 RIVER REACH DR #309	FORT LAUDERDALE	FL	33315
504209AC0440	VOLLERO,CAROLYN J		1350 RIVER REACH DRIVE #310	FORT LAUDERDALE	FL	33315
504209AC0450	HAYWOOD,ELIZABETH M		1350 RIVER REACH DR #311	FORT LAUDERDALE	FL	33315
504209AC0460	ABDULLA,HIND		1350 RIVER REACH DR #312	FORT LAUDERDALE	FL	33315
504209AC0470	AIOS INVESTMENTS INC		351 SW 136 AVE STE 202	DAVIE	FL	33325
504209AC0480	ARMOR MASONRY	RESTORATION INC	139 ZIMMERMAN LN	LANGHORNE	PA	19047
504209AC0490	CONSTANCE A SMILEY REV TR	SMILEY,CONSTANCE A TRSTEE ETAL	3805 NW 42 ST	OKLAHOMA CITY	OK	73112
504209AC0500	WHITEHEAD,ANALIA & WHITEHEAD,P		1350 RIVER REACH DR #317	FORT LAUDERDALE	FL	33315
504209AC0510	DURANDO,WAYNE C & TERESA F		1350 RIVER REACH DR APT 318	FORT LAUDERDALE	FL	33315
504209AC0520	RIZZO,TERESITA		1350 RIVER REACH DR #319	FORT LAUDERDALE	FL	33315
504209AC0530	DAVIS,LYNDA		1350 RIVER REACH DR #401	FORT LAUDERDALE	FL	33315
504209AC0540	NEJAD,HOSSEIN	NEJAD,LINDA	1350 RIVER REACH DR UNIT 402	FORT LAUDERDALE	FL	33315
504209AC0550	SCHAUER,SHEILA	SCHAUER,TODD JEFFREY	1350 RIVER REACH DR #403	FORT LAUDERDALE	FL	33315
504209AC0560	CARRICK,WAYNE LEE	DIR YEGHYAIAN,KANARIA	1350 RIVER REACH DR #404	FORT LAUDERDALE	FL	33315
504209AC0570	LOCHMUELLER,WILFRIED F &	LOCHMUELLER,EILEEN J	1350 RIVER REACH DR #405	FORT LAUDERDALE	FL	33315
504209AC0580	HIGGINS,BOBBY WAYNE JR	CARMAN,PAULA A	1350 RIVER REACH DR #406	FORT LAUDERDALE	FL	33315
504209AC0590	OELERKING,GLENN & JUDY		1350 RIVER REACH DR #407	FORT LAUDERDALE	FL	33315
504209AC0600	ORCHOLSKI,TERRY & ANN		1350 RIVER REACH DRIVE UNIT 408	FORT LAUDERDALE	FL	33315
504209AC0610	MALLEY,LINDA J H/E	MALLEY/CLOUSER TR ETAL	1350 RIVER REACH DR #409	FORT LAUDERDALE	FL	33315
504209AC0620	KRZYZANIAK,KAREN		1350 RIVER REACH DR #410	FORT LAUDERDALE	FL	33315
504209AC0630	BECKFORD,BRENDON	BECKFORD,DENISE	7 WILLIAMSBURG DR	NORTHPORT	NY	11768
504209AC0640	D'ANTONIO,MICHAEL T	MCKENNEY,DORALD H	3 COOK ST APT 32	DOUGLAS	MA	01516
504209AC0650	BARRETO GOMES,ARIEL FAUSTINO	FONSECA,JOAN MARIE	1350 RIVER REACH DR #414	FORT LAUDERDALE	FL	33315
504209AC0660	SETLIFF,LYNN		1350 RIVER REACH DR #415	FORT LAUDERDALE	FL	33315
504209AC0670	MYERS,JEFFREY H		1350 RIVER REACH DR #416	FORT LAUDERDALE	FL	33315
504209AC0680	HARVEY,PIERRE	NADON,CHANTAL ETAL	328 WESTGATE W	*ROSEMERE QC	CA	J7A 2
504209AC0690	CORBETT,JOHN L		1350 RIVER REACH DRIVE #418	FORT LAUDERDALE	FL	33315
504209AC0700	ANGELIDES,PHILIPPA		1350 RIVER REACH DR #419	FORT LAUDERDALE	FL	33315
504209AC0710	DEAN,NANCY J	SCHAPER,ROBERT A	1350 RIVER REACH DR APT 504	FORT LAUDERDALE	FL	33315
504209AC0720	COLLVER,BARBARA A		1350 RIVER REACH DR APT 502	FORT LAUDERDALE	FL	33315
504209AC0730	URIBE,SANTIAGO	GIRALDO,ANDREA	511 SE 5 AVE #604	FORT LAUDERDALE	FL	33301
504209AC0740	SCHAPER,ROBERT A	DEAN,NANCY J	1350 RIVER REACH DR APT 504	FORT LAUDERDALE	FL	33315
504209AC0750	ZACZEK,JOHN S & SANDRA		1350 RIVER REACH DR #505	FORT LAUDERDALE	FL	33315
504209AC0760	SCATLIFFE,SIGRID		1350 RIVER REACH DR APT 506	FORT LAUDERDALE	FL	33315
504209AC0770	SCHIFFER,STEFFI	STEFFI SCHIFFER REV TR	1350 RIVER REACH DR #507	FORT LAUDERDALE	FL	33315
504209AC0780	VEIGA,LENE HOLANDA SADLER	VEIGA,MARCIO JOSE SADLER	1350 RIVER REACH DR #508	FORT LAUDERDALE	FL	33315
504209AC0790	LAMONNA,JACQUELINE L	KENDRA,KATHLEEN	1350 RIVER REACH DR # 509	FORT LAUDERDALE	FL	33315
504209AC0800	LEE,SARA C		1350 RIVER REACH DR #510	FORT LAUDERDALE	FL	33315
504209AC0810	MCNALLY,KENNETH J		1350 RIVER REACH DR #511	FORT LAUDERDALE	FL	33315
504209AC0820	STEFFI SCHIFFER REV TR	SCHIFFER,STEFFI TRSTEE	1350 RIVER REACH DR # 507	FORT LAUDERDALE	FL	33315
504209AC0830	JACOB,BAYLE SARAH		1350 RIVER REACH DR #514	FORT LAUDERDALE	FL	33315
504209AC0840	GILLESPIE,ANN T	ANN T GILLESPIE REV TR	1350 RIVER REACH DR UNIT 515	FORT LAUDERDALE	FL	33315
504209AC0850	VAN EVANS,KAREN		PO BOX 30061 RPO CHEMONG RD	*PETERBOROUGH ON	CA	K9H 7
504209AC0860	BONOMO,ANGELIQUE		1350 RIVER REACH DR #517	FORT LAUDERDALE	FL	33315

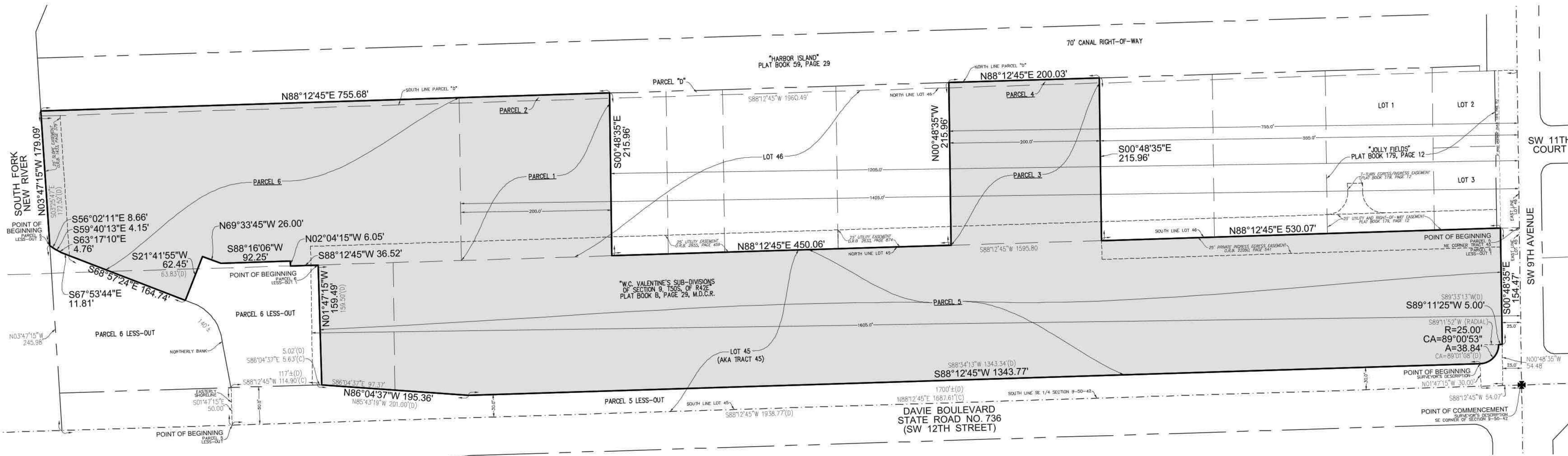
504209AC0870	BAILEY,ANNA		201 BROOKDALE CT	DRESHER	PA	19025
504209AC0880	SCIUGA,SALVATORE J JR	SCIUGA,KATHLEEN M	104 SHERFIELD DR	SOLVAY	NY	13209
504216AA0010	HESSMAN,ROBERT A & VERLA A	HESSMAN,KEVIN A	9517 BRIGHTWELL DR	INDIANAPOLIS	IN	46260
504216AA0020	MONUTEAUX,THERESA		900 SW 12 ST #101	FORT LAUDERDALE	FL	33315
504216AA0030	TROTTER,PATRICIA E H/E	BAKER,CHRISTOPHER & SANDRA	900 SW 12 ST #102	FORT LAUDERDALE	FL	33315
504216AA0040	FALZONE,JESSICA	FALZONE,MICHAEL	68 S AVE	REVERE	MA	02151
504216AA0050	WOLSKI,ALYCIA	WOLSKI,CONTANTINE III	1813 SW 14 ST	FORT LAUDERDALE	FL	33316
504216AA0060	KOPRIVA,DAVID WAYNE	KOPRIVA,NANCY RUTH ANN	900 SW 12 ST #105	FORT LAUDERDALE	FL	33315
504216AA0070	MARY ENNIS TR	DAY,ANN S TRSTEE	6150 SE OAKMONT PL	STUART	FL	34997
504216AA0080	NICHOLAS,SAMIR I & WENDY		900 SW 12 ST #107	FORT LAUDERDALE	FL	33315
504216AA0090	HOOVER,CHARLOTTE	HOOVER,CHARLOTTE TRSTEE	900 SW 12 ST APT 108	FORT LAUDERDALE	FL	33315
504216AA0100	LAI,ANDREW YUNGLIANG	SMITH,EARL LAIRD	900 SW 12 ST #109	FORT LAUDERDALE	FL	33315
504216AA0110	HOOVER,CHARLOTTE TRSTEE		900 SW 12 ST #110	FORT LAUDERDALE	FL	33315
504216AA0120	PAUL S JOHNSON REV TR	DEBORAH M JOHNSON REV TR	89 GROVE ST	SHREWSBURY	MA	01545
504216AA0130	MEADE,DANIEL	DOHERTY,ROBIN ETAL	80 COMMANDANTS WAY	CHELSEA	MA	02150
504216AA0140	HILL,KRISTINA		900 SW 12 ST #200	FORT LAUDERDALE	FL	33315
504216AA0150	DROBOT,ROBERTA		900 SW 12 ST APT 201	FORT LAUDERDALE	FL	33315
504216AA0160	GILMAN,SAMUEL		900 SW 12 ST #202	FORT LAUDERDALE	FL	33315
504216AA0170	WILSON,AMANDA		900 SW 12 ST APT 203	FORT LAUDERDALE	FL	33315
504216AA0180	JULIA HAINES TR	HAINES,JULIA ETAL	426 PREAKNESS RUN	NEWARK	DE	19702
504216AA0190	STEMLER,COLLINS B		900 SW 12 ST #205	FORT LAUDERDALE	FL	33315
504216AA0200	CHASE,JUSTIN R		900 SW 12 ST #206	FORT LAUDERDALE	FL	33315
504216AA0210	FERGUSON,SUSAN		900 SW 12 ST #207	FORT LAUDERDALE	FL	33315
504216AA0220	WESCOTT,TAYLOR RAE H/E	WESCOTT,VANESSA LEE	900 SW 12 ST #208	FORT LAUDERDALE	FL	33315
504216AA0230	SMITH,SYLVIA		900 SW 12 ST #209	FORT LAUDERDALE	FL	33315
504216AA0240	MANOSALVAS,EDITH	EDITH ALICIA MANOSALVAS TR	900 SW 12 ST #210	FORT LAUDERDALE	FL	33315
504216AA0250	LOPIANO,GINA		900 SW 12 ST #211	FORT LAUDERDALE	FL	33315
504216AA0260	IL GRANDE,LORA DANIELLE		900 SW 12 ST #212	FORT LAUDERDALE	FL	33315
504216AA0270	GUNAL,LALE		900 SW 12 ST APT 300	FORT LAUDERDALE	FL	33315
504216AA0280	BRUNO,LYNNE A		900 SW 12 ST APT 301	FORT LAUDERDALE	FL	33315
504216AA0290	LOY,GERALD A & SALLY A		256 RIVERSIDE DR	BINGHAMTON	NY	13905
504216AA0300	MARTIN,JAMES L & RANDALL		900 SW 12 ST #303	FORT LAUDERDALE	FL	33315
504216AA0310	KIMBLE,KENNETH ROBERT JR		900 SW 12 ST #304	FORT LAUDERDALE	FL	33315
504216AA0320	PHANORD,KYLE		2991 SW 137 TER	DAVIE	FL	33330
504216AA0330	ROBERTS,FAITH B		900 SW 12 ST #306	FORT LAUDERDALE	FL	33315
504216AA0340	CALVO,WAYNE		900 SW 12 ST APT 307	FORT LAUDERDALE	FL	33315
504216AA0350	JOHNSON,ERIK		900 SW 12 ST #308	FORT LAUDERDALE	FL	33315
504216AA0360	MARTINO,DANIEL		900 SW 12 ST #309	FORT LAUDERDALE	FL	33315
504216AA0370	MELAMED,BETSY A	BETSY A MELAMED REV LIV TR	900 SW 12 ST # 310	FORT LAUDERDALE	FL	33315
504216AA0380	BURKS,ANGELLA L		900 SW 12 ST #311	FORT LAUDERDALE	FL	33315
504216AA0390	HUGHES,BARRY A	BARRY A HUGHES LIV REV TR	900 SW 12 ST #312	FORT LAUDERDALE	FL	33315
504216AA0400	POSTYN,STAN	STANLEY POSTYN REV TR	900 SW 12 ST #314	FORT LAUDERDALE	FL	33315
504216AB0010	STRAUSS,RICHARD SCOTT		2595 NEWTOWN RD	CINCINNATI	OH	45244
504216AB0020	GIBSON,DEAN	SYDNOR,WILLIAM A	1000 SW 12 ST #101-B	FORT LAUDERDALE	FL	33315
504216AB0030	DIXON,IAN T H/E	DIXON,BRIAN G	1000 SW 12 STREET #102	FORT LAUDERDALE	FL	33315
504216AB0040	WUNSCH,TRACY		1000 SW 12 ST APT 103	FORT LAUDERDALE	FL	33315
504216AB0050	ROGERS,THERESA M		1000 SW 12 ST # 104	FORT LAUDERDALE	FL	33315
504216AB0060	RIO ESCAPE LLC		526 OLD POST RD	N ATTLEBORO	MA	02760
504216AB0070	WOTOCEK,JANE M		1000 SW 12 ST #106	FORT LAUDERDALE	FL	33315
504216AB0080	PEARLMAN,LUKAS GARRETT		1000 SW 12 ST #107	FORT LAUDERDALE	FL	33315
504216AB0090	WHITE,HELEN W	HELEN W WHITE REV TR	1000 SW 12 STREET #108	FORT LAUDERDALE	FL	33315
504216AB0100	O'BRIEN,KAITLIN		1000 SW 12 ST #109	FORT LAUDERDALE	FL	33315
504216AB0110	ROSAR,SANDRA L		1000 SW 12 ST # 110	FORT LAUDERDALE	FL	33315
504216AB0120	SUPPA,MARGARET ROSE		1000 SW 12 ST #111	FORT LAUDERDALE	FL	33315
504216AB0130	VAN LENTEN,DAVID M & P H/E	STONE,JOHN M II	1000 SW 12 ST UNIT 115	FORT LAUDERDALE	FL	33315

504216AB0140	DARVILLE,JUDY MARIE NEMBHARD	JUDY DARVILLE LIV TR	1000 SW 12 ST #200B	FORT LAUDERDALE	FL	33315
504216AB0150	BANIC,THOMAS T JR		1000 SW 12 ST #201	FORT LAUDERDALE	FL	33315
504216AB0160	ADAMS,TODD JUSTIN		1000 SW 12 ST #202	FORT LAUDERDALE	FL	33315
504216AB0170	DI BOSCIO,SOFIA	BOSCIO,MARIA DI	1000 SW 12 ST #203	FORT LAUDERDALE	FL	33315
504216AB0180	DALE A SADLER REV TR	SADLER,DALE A TRSTEE	15708 E ROCKY RIVER RD	DAVIDSON	NC	28036
504216AB0190	FRANCONE,ALPHONSE & ANN L		1000 SW 12 ST #205	FORT LAUDERDALE	FL	33315
504216AB0200	MARCINIAK,SHARI		1000 SW 12 ST #206	FORT LAUDERDALE	FL	33315
504216AB0210	GRIFFIN,JULIE		1000 SW 12 ST #207	FORT LAUDERDALE	FL	33315
504216AB0220	CAVANAUGH,NELIA		498 GRAFTON ST	SHREWSBURY	MA	01545
504216AB0230	SWAIN,CARY		1000 SW 12 ST APT 209	FORT LAUDERDALE	FL	33315
504216AB0240	SCHAD,TERRI D	SCHAD,TODD M	1000 SW 12 ST #210	FORT LAUDERDALE	FL	33315
504216AB0250	KEIMEL,KRISTOPHER S		1000 SW 12 ST #211	FORT LAUDERDALE	FL	33315
504216AB0260	PHIPPS,JAY		1000 SW 12 ST #215	FORT LAUDERDALE	FL	33315
504216AB0270	DUDAS,JOHN L		1000 SW 12 ST #300	FORT LAUDERDALE	FL	33315
504216AB0280	UWANAWICH,GEORGE		1000 SW 12 ST #301	FORT LAUDERDALE	FL	33315
504216AB0290	HESLI,KELLIE JEAN		1000 SW 12 ST #302	FORT LAUDERDALE	FL	33315
504216AB0300	STAR,RACHEL MAURA		1000 SW 12 ST #303	FORT LAUDERDALE	FL	33315
504216AB0310	POLLIO,NICHOLAS	NICHOLAS J POLLIO TR	1000 SW 12 ST #304	FORT LAUDERDALE	FL	33315
504216AB0320	WHEELER,MYO SOOK	MYO SOOK WHEELER LIV TR	1000 SW 12 ST APT B305	FORT LAUDERDALE	FL	33315
504216AB0330	RIESS,KRISTIN		1000 SW 12 ST UNIT 306	FORT LAUDERDALE	FL	33315
504216AB0340	LATSCH,KENNETH H/E	TROUT,GARY J	1000 SW 12 ST #307	FORT LAUDERDALE	FL	33315
504216AB0350	THORNTON,ROBERT K		1000 SW 12 STREET #308	FORT LAUDERDALE	FL	33315
504216AB0360	LEE,THOMAS C & C LYNNE		54 KINGSLEY RD	*CHRISTINA LAKE BC	CA	VOH 1
504216AB0370	KHAN,ZENA		1000 SW 12 ST #310	FORT LAUDERDALE	FL	33315
504216AB0380	MURSULI,ROBERT		1000 SW 12 STREET 311	FORT LAUDERDALE	FL	33315
504216AB0390	SHATROWSKAS,COURTNEY ANN		97 DUG RD	WYOMING	PA	18644
504216AB0400	LEWIS,CHARLOTTE		1000 SW 12 ST APT 315	FORT LAUDERDALE	FL	33315
504216AC0010	ZEFF,STEPHEN PHILLIP		1100 SW 12 ST #100	FORT LAUDERDALE	FL	33315
504216AC0020	AVRAM,GILI		1100 SW 12 ST #101	FORT LAUDERDALE	FL	33315
504216AC0030	LEWIS,SHELLEY		1100 SW 12 ST #102	FORT LAUDERDALE	FL	33315
504216AC0040	JOHNSON,GLENN M		1 CHATEAU MAGDELAINE	KENNER	LA	70065
504216AC0050	IORE,ELAINE M H/E	IORE,SCOTT M	1100 SW 12 STREET UNIT #104	FORT LAUDERDALE	FL	33315
504216AC0060	GASBARRO,ERICA LAUREN		1100 SW 12 ST #105	FORT LAUDERDALE	FL	33315
504216AC0070	FENTON,CATHERINE A	FENTON,MICHAEL D	1100 SW 12 ST UNIT 106	FORT LAUDERDALE	FL	33315
504216AC0080	CAPONE,CHARLES L	CAPONE,JENNIFER M	216 COCASSET STREET	FOXBORO	MA	02035
504216AC0090	LITTLE,MAJORIE B	MAJORIE B LITTLE REV TR ETAL	1100 SW 12 ST #108	FORT LAUDERDALE	FL	33315
504216AC0100	DE LA CRUZ,MICHELLE		1100 SW 12 ST #109	FORT LAUDERDALE	FL	33315
504216AC0110	SCALIA,CHRISTY	SCALIA,DINO & SCALIA,SALVATORE	30 MILANO COURT	*HAMILTON ON	CA	L9C 6
504216AC0120	AVRAM,LIOR		1100 SW 12 ST APT 111	FORT LAUDERDALE	FL	33315
504216AC0130	GREGORY,THOMAS E III H/E	GREGORY,THOMAS E JR	1100 SW 12 ST #115	FORT LAUDERDALE	FL	33315
504216AC0140	PAZUK,MARK S		1100 SW 12 ST #200	FORT LAUDERDALE	FL	33315
504216AC0150	FLYNN,ANN H/E	HEAD,MARIE	1100 SW 12 ST #201	FORT LAUDERDALE	FL	33315
504216AC0160	MATTHEWS,ROSEMARY		1100 SW 12 ST APT 202	FORT LAUDERDALE	FL	33315
504216AC0170	STORY,YVONNE F & ALONZO J		1100 SW 12 ST #203	FORT LAUDERDALE	FL	33315
504216AC0180	BAKER,MADGE ANN		1100 SW 12 ST APT 204	FORT LAUDERDALE	FL	33315
504216AC0190	BOCCADORO,DORA	BOCCADORO,STEVEN	1100 SW 12 ST #205	FORT LAUDERDALE	FL	33315
504216AC0200	BONKOWSKI,NICOLETTE H/E	BONKOWSKI,MARK & SHANNON	1100 SW 12 ST #206	FORT LAUDERDALE	FL	33315
504216AC0210	MASSAC,MAX		8401 NW 53 CT	LAUDERHILL	FL	33351
504216AC0220	SKIDMORE,CYNTHIA & PHILLIP		1100 SW 12 ST #208	FORT LAUDERDALE	FL	33315
504216AC0230	MAGUIRE,DANIEL J III H/E	MAGUIRE,DANIEL J IV	1100 SW 12 ST # 209	FORT LAUDERDALE	FL	33315
504216AC0240	TAYLOR,STEPHEN		1100 SW 12 ST #210	FORT LAUDERDALE	FL	33315
504216AC0250	DURLING,SUSAN M		1100 SW 12 ST #211	FORT LAUDERDALE	FL	33315
504216AC0260	KERR,KERRI J		1100 SW 12 ST #212	FORT LAUDERDALE	FL	33315
504216AC0270	VAN ONSELDER,DIRK		1100 SW 12TH ST APT 215	FORT LAUDERDALE	FL	33315
504216AC0280	IRELAND,JASON P	CAMPO,TATIANA	1100 SW 12 ST #300	FORT LAUDERDALE	FL	33315

504216AC0290	POMEROY,CARLY ELISE		1100 SW 12 ST #301	FORT LAUDERDALE	FL	33315
504216AC0300	NELSON,R EVA		3870 NW 4 CT	COCONUT CREEK	FL	33066
504216AC0310	WOODCOX,VIRGINIA		1100 SW 12 ST #303	FORT LAUDERDALE	FL	33315
504216AC0320	TYSENN,DIANE E	DIANE TYSENN LIV TR	1100 SW 12 ST APT 304	FORT LAUDERDALE	FL	33315
504216AC0330	FETTEN,JOHANNES ALEXANDER		1100 SW 12 ST #305	FORT LAUDERDALE	FL	33315
504216AC0340	TROIANI,LEDA		74 MAIN ST	WALTHAM	MA	02453
504216AC0350	CELMER,ALBERT B		1100 SW 12 ST APT 307	FORT LAUDERDALE	FL	33315
504216AC0360	KENNY,KARA H/E	KENNY,EILEEN & JOHN	1100 SW 12 ST #308	FORT LAUDERDALE	FL	33315
504216AC0370	DUMONT,CAROL V		1100 SW 12 ST APT 309	FORT LAUDERDALE	FL	33315
504216AC0380	ADLER,ISAAC BENZI	VAN DER VOORT,NIKITA ANNE	1100 SW 12 ST #310	FORT LAUDERDALE	FL	33315
504216AC0390	GIACOBAZZI,JAKE H/E	GIACOBAZZI,JANICE L	1100 SW 12 ST #311	FORT LAUDERDALE	FL	33315
504216AC0400	BORUD,ERIK		1100 SW 12 ST # 312	FORT LAUDERDALE	FL	33315
504216AC0410	SMITH,HALEY E H/E	UDVARDY,LOIS A	1100 SW 12 STREET #315	FORT LAUDERDALE	FL	33315
504216AD0010	NICHOLAS,SAMIR I & WENDY		900 SW 12 ST #107	FORT LAUDERDALE	FL	33315
504216AD0020	JOINER,BONNIE JEAN	BONNIE JEAN JOINER FAM REV TR	1200 SW 12 ST #101	FORT LAUDERDALE	FL	33351
504216AD0030	CONINGSBY,RUSSELL WARD II		1200 SW 12 ST #102	FORT LAUDERDALE	FL	33315
504216AD0040	NIGHTINGALE,DONNA M		1200 SW 12 ST UNIT 103	FORT LAUDERDALE	FL	33315
504216AD0050	GREGORIO,JOHN M DI		1200 SW 12 ST UNIT 104	FORT LAUDERDALE	FL	33315
504216AD0060	DONKIN,ANDREA L		1200 SW 12 ST APT 105	FORT LAUDERDALE	FL	33315
504216AD0070	O'NEAL,REBECCA L		10001 E 48 AVE	SPOKANE VALLEY	WA	99206
504216AD0080	MARTELL,MICHAEL R		1200 SW 12 ST #107	FORT LAUDERDALE	FL	33315
504216AD0090	THOMAS,AUBREE L		1259 CORDOVA RD	FORT LAUDERDALE	FL	33316
504216AD0100	BAKER,DOUGLAS CRAIG	RIO NUEVO D CONDO TR	1200 SW 12 ST #211	FORT LAUDERDALE	FL	33315
504216AD0110	TAYLOR,ANDREW		1200 SW 12 ST #110	FORT LAUDERDALE	FL	33315
504216AD0120	JANNEY,BRYAN		1412 LAKE AVE	WEST PALM BCH	FL	33401
504216AD0130	ALVAREZ,CLAUDIA		1200 SW 12 ST #112	FORT LAUDERDALE	FL	33315
504216AD0140	PETERSON,CHARLES R	CHARLES R PETERSON TR	1200 SW 12 STREET #114	FORT LAUDERDALE	FL	33315
504216AD0150	ROSARIO,EDGARDO A H/E	ALFARO,MARIA	1200 SW 12 ST #115	FORT LAUDERDALE	FL	33315
504216AD0160	HASHEMI,STEVEN H/E	HASHEMI,MOJTAB & SANTORIO,GIULIA	1200 DAVIE BLVD #117	FORT LAUDERDALE	FL	33315
504216AD0170	ALTOBELL,JOHNNY B	JOHNNY B ALTOBELL REV TR	1200 SW 12 ST #200	FORT LAUDERDALE	FL	33315
504216AD0180	FREGA,GLORIA M	RALPH B & GLORIA M FREGA REV TR	1200 SW 12 ST #201	FORT LAUDERDALE	FL	33315
504216AD0190	LANE,BARBARA WILDER H/E	LANE,WILLIAM HOWARD	1200 SW 12 ST UNIT 202	FORT LAUDERDALE	FL	33315
504216AD0200	AIREY,DAVID E &	COLLE,ROBERT L	3630 LAKEVIEW DR	SEBRING	FL	33870
504216AD0210	ALMANZA LONDONO,LISA		1200 SW 12 ST #204	FORT LAUDERDALE	FL	33315
504216AD0220	CHASE,PHILIP A		1200 SW 12 ST #205	FORT LAUDERDALE	FL	33315
504216AD0230	PASARIN,ANTHONY STEPHEN		1200 SW 12 ST #206	FORT LAUDERDALE	FL	33315
504216AD0240	BEE,DANA SUSAN		1200 SW 12 ST #207	FORT LAUDERDALE	FL	33315
504216AD0250	BUCKINGHAM,VERONICA L &	BUCKINGHAM,STEPHEN D	1200 SW 12 ST APT 208	FORT LAUDERDALE	FL	33315
504216AD0260	HACKWORTH,RANDALL & REGINA		1200 SW 12 ST # 209	FORT LAUDERDALE	FL	33315
504216AD0270	MCKEON,ROBERT W		1200 SW 12 ST #210	FORT LAUDERDALE	FL	33315
504216AD0280	BAKER,DOUGLAS CRAIG	DOUGLAS CRAIG BAKER REV LIV TR	1200 SW 12 ST #211	FORT LAUDERDALE	FL	33315
504216AD0290	HOFFMAN,JEREMY S		1200 SW 12 ST #212	FORT LAUDERDALE	FL	33315
504216AD0300	PHANORD,KEVIN R		3350 SW 134 TERR	DAVIE	FL	33330
504216AD0310	GARCIA,JORGE ANSELMO		16894 SW 1 PL	PEMBROKE PINES	FL	33027
504216AD0320	PEREZ,CARLOS MANUEL		1200 SW 12 ST #216	FORT LAUDERDALE	FL	33315
504216AD0330	DOUCETTE,MELANY		1200 SW 12 ST #217	FORT LAUDERDALE	FL	33315
504216AD0340	SUTTON,JAMES E	PO,IZABEL TAN ETAL	1200 SW 12 ST #300	FORT LAUDERDALE	FL	33315
504216AD0350	DEMERS,PHILIP R		1200 SW 12 ST APT 301	FORT LAUDERDALE	FL	33315
504216AD0360	ELDER,JULIE A H/E	SCHLICHTE,JENNIFER WALDMAN ETAL	1200 SW 12 ST #302	FORT LAUDERDALE	FL	33315
504216AD0370	SIEFERT,KENNETH & FORD,TERESA		1200 SW 12 ST #303	FORT LAUDERDALE	FL	33315
504216AD0380	SINGH,PRAMIT H/E	SHRESTHA,KALPANA	1200 SW 12 ST #304	FORT LAUDERDALE	FL	33315
504216AD0390	VANEK,ROBERT		1200 SW 12 ST #305	FORT LAUDERDALE	FL	33315
504216AD0400	TIZON,MARTHA TERESA		1200 SW 12 ST #306	FORT LAUDERDALE	FL	33315
504216AD0410	TODD & INGRID RIPLEY LIV TR	RIPLEY,TODD LEWIS TRSTEE ETAL	1026 SHORE END DR	CROWNSVILLE	MD	21032
504216AD0420	HOFMANN,JAMES A		26 RIVER RD	STANHOPE	NJ	07874

504216AD0430	MATTERN,MARIA RUTH OLIVEIRA EST		1200 SW 12 ST APT 309	FORT LAUDERDALE	FL	33315
504216AD0440	ROEPKE,STEPHEN & SYLVIA		1200 SW 12 ST #310	FORT LAUDERDALE	FL	33315
504216AD0450	JORDAN,JOSEPH	JORDAN,LISA	1200 SW 12 ST #311	FORT LAUDERDALE	FL	33315
504216AD0460	BLACKISTON,ANTHONY		1200 SW 12 ST #312	FORT LAUDERDALE	FL	33315
504216AD0470	TAMMA,GEORGIA		1200 SW 12 ST #314	FORT LAUDERDALE	FL	33315
504216AD0480	FOLSOM,TYLER ANDREW		1200 SW 12 ST #315	FORT LAUDERDALE	FL	33315
504216AD0490	DIDLOFF,MARILYN JOAN	DORNING,WARREN	303 SE 22 ST	FORT LAUDERDALE	FL	33316
504216AD0500	HOLZER,BLAINE HAMILTON		1200 SW 12 ST #317	FORT LAUDERDALE	FL	33315
NEW-						
504209010177	CITY OF FORT LAUDERDALE		528 NW 2 ST	FORT LAUDERDALE	FL	33311
504209010270	HARRIS,JILL H		1401 SW 11 PL	FORT LAUDERDALE	FL	33312
504209050040	COLLETTE,KARLA P		1110 SW 14 TER	FORT LAUDERDALE	FL	33312
504209290030	HIERSCHE,NICHOLAS		1020 SW 14 TER	FORT LAUDERDALE	FL	33312
504209290031	CHURCH OF JESUS CHRIST OF LATTER	-DAY SAINTS TAX ADMINISTRATION	50 E NORTH TEMPLE ST	SALT LAKE CITY	UT	84150
504209290032	KETCHUM,JOHN PATRICK		1030 SW 14 TER	FORT LAUDERDALE	FL	33312
504209290040	OKKO,KOUSSAY		1100 SW 14 TER	FORT LAUDERDALE	FL	33312
504209320190	RIVER REACH INC		949 RIVER REACH DR	FORT LAUDERDALE	FL	33315
504209AD0010	MARIE E RUSSO REV TR	RUSSO,MARIE E TRSTEE	22 HOMER ST #2	WATERTOWN	MA	02472
504209AD0020	ORR,MELANIE E		1301 RIVER REACH DR #102	FORT LAUDERDALE	FL	33315
504209AD0030	BIRKEL,KAREN A H/E	BIRKEL,THOMAS A	1301 RIVER REACH DR #103	FORT LAUDERDALE	FL	33315
504209AD0040	HERNANDEZ,LUCY		1301 RIVER REACH DR UNIT 104	FORT LAUDERDALE	FL	33315
504209AD0060	BAEZA,DEA JIMENA		3991 NW 82 AVE APT 418	PEMBROKE PINES	FL	33024
504209AD0070	COOPER,LAURA DINATALE		1770 NE 50 CT	FORT LAUDERDALE	FL	33334
504209AD0080	MITCHINSON,DAVID J		1301 RIVER REACH DR #109	FORT LAUDERDALE	FL	33315
504209AD0090	GODWIN,KAREN H/E	RANNO,JULIA A & INGUI,VINCENT L	1301 RIVER REACH DR #110	FORT LAUDERDALE	FL	33315
504209AD0100	MAGGI,ALEJANDRO H/E	GONZENBACH,ERIKA	1301 RIVER REACH DR #111	FORT LAUDERDALE	FL	33315
504209AD0110	ROJAS GALLO,DAMIAN		1301 RIVER REACH DR #114	FORT LAUDERDALE	FL	33315
504209AD0120	CLAM BAY HOLDINGS LLC		763 NW 30 AVE #A	DELRAY BEACH	FL	33445
504209AD0130	SCHMIDT,MARGARET H/E	SCHWEITZER,JOHN	1301 RIVER REACH DR #116	FORT LAUDERDALE	FL	33315
504209AD0140	JOAN READDING REV LIV TR	READING,JOAN TRSTEE	1301 RIVER REACH DR #404	FORT LAUDERDALE	FL	33315
504209AD0150	J BURR BARTRAM JR REV TR	BARTRAM,BARBARA H TRSTEE ETAL	1301 RIVER REACH DR #118	FORT LAUDERDALE	FL	33315
504209AD0160	LANCIOTTI,NICHOLAS H/E	LANCIOTTI,DANELL & JOHN	1301 RIVER REACH DR #119	FORT LAUDERDALE	FL	33315
504209AD0170	TILLINGHAST,HELGA M		7705 PINE ISLE COURT	CINCINNATI	OH	45244
504209AD0180	COLE,PATRICIA M	PATRICIA MEREDITH COLE REV TR	1301 RIVER REACH DR UNIT 202	FORT LAUDERDALE	FL	33315
504209AD0190	BYRNE,JEFFREY J & LINDA A		6 BRYANT RD	GLEN COVE	NY	11542
504209AD0200	NOBLES,JAMES	NOBLES,SUSAN	8608 MELVIN DR	BALDWINVILLE	NY	13027
504209AD0210	REED,JEFFREY P	JEFFREY P REED REV LIV TR	1301 RIVER REACH DR #205	FORT LAUDERDALE	FL	33315
504209AD0220	LEBUS,ORIE		1301 RIVER REACH DR # 206	FORT LAUDERDALE	FL	33315
504209AD0230	EFFORD,MICHAEL D		1301 RIVER REACH DR #207	FORT LAUDERDALE	FL	33315
504209AD0240	OLMARA LLC		3808 SAN SIMEON CIR	WESTON	FL	33327
504209AD0250	BREEN,TONY F		1301 RIVER REACH DR APT 209	FORT LAUDERDALE	FL	33315
504209AD0260	CAVANAGH,BRIAN THOMAS		1301 RIVER REACH DR #210	FORT LAUDERDALE	FL	33315
504209AD0270	GOLDSTEIN,JUSTIN	GOLDSTEIN,MARIBEL F	11055 BOCA WOODS LN	BOCA RATON	FL	33428
504209AD0280	DOTY,MARGARET S		1301 RIVER REACH DR #212	FORT LAUDERDALE	FL	33315
504209AD0290	MEDINA,JEFF R		2149 2 AVE #2A	NEW YORK	NY	10029
504209AD0300	LEONARD,CRAIG G & SHIRLEY M		1301 RIVER REACH DR APT 215	FORT LAUDERDALE	FL	33315
504209AD0310	FINCH,VEVILA S		1301 RIVER REACH DR # 216	FORT LAUDERDALE	FL	33315
504209AD0320	GRACIE,JACLYN & MATTHEW		1301 RIVER REACH DR #217	FORT LAUDERDALE	FL	33315
504209AD0330	DESCANO,CHRISTINA	GARCIA,RAFAEL J	1301 RIVER REACH DR #218	FORT LAUDERDALE	FL	33315
504209AD0340	LELLO,JOSEPH R & DANA D		1301 RIVER REACH DR UNIT 219	FORT LAUDERDALE	FL	33315
504209AD0350	FILION,MICHEL	FILION,VALERIE	178 RUE DE LACOLLE	*ST-JEAN-SUR-RICHELIEU QC CA	J2X 5	
504209AD0360	HARRINGTON,MARK & KAREN		3848 HENNEBERRY ROAD	JAMESVILLE	NY	13078
504209AD0370	TOOMEY,JOYCE	JOYCE TOOMEY REV TR	1301 RIVER REACH DR #303	FORT LAUDERDALE	FL	33315

504209AD0380	GONZALEZ,ANALIA B	SALVADOR,EDGAR M	1301 RIVER REACH DR #304	FORT LAUDERDALE	FL	33315
504209AD0390	DENTON,JACK K & LILIANA V		1301 RIVER REACH DR #305	FORT LAUDERDALE	FL	33315
504209AD0400	SALVADOR,EDGAR		1301 RIVER REACH DR #304	FORT LAUDERDALE	FL	33315
504209AD0410	MCCUISTON,WALTER R	EVANS,JANE I	1301 RIVER REACH DR APT 307	FORT LAUDERDALE	FL	33315
504209AD0420	JACK TOOTLE TR	TOOTLE,JOHN S TRSTEE ETAL	PO BOX 4345	PLS VRDS PNSL	CA	90274
504209AD0430	ARMSTRONG,PAIGE ELIZABETH H/E	ARMSTRONG,SHARON M & STEVEN J	1301 RIVER REACH DR #309	FORT LAUDERDALE	FL	33315
504209AD0440	GIALLUCA,SHELLEY		1301 RIVER REACH DR #310	FORT LAUDERDALE	FL	33315
504209AD0450	MARLOW,DAN		1316 W 200 N	SALT LAKE CITY	UT	84116
504209AD0460	LAGIOS,VANESSA		200 S ANDREWS AVE #703	FORT LAUDERDALE	FL	33301
504209AD0470	NILSSON,ERICK O & CASSANDRA P		1301 RIVER REACH DR #314	FORT LAUDERDALE	FL	33315
504209AD0480	DIBIASIO,CHRISTOPHER H/E	ALTUVE,ADA	1301 RIVER REACH DR #315	FORT LAUDERDALE	FL	33315
504209AD0490	TRETHEWEY,JAMES SCOTT		1301 RIVER REACH DR #316	FORT LAUDERDALE	FL	33315
504209AD0500	SMITH,CARL W	SMITH,DONNA J	1301 RIVER REACH DR #317	FORT LAUDERDALE	FL	33315
504209AD0510	JACKERSON,CATHY & JEFFREY	CATHY B JACKERSON REV TR	1301 RIVER REACH DR #318	FORT LAUDERDALE	FL	33315
504209AD0520	HOMMEL,ROBERT H		1301 RIVER REACH DR #319	FORT LAUDERDALE	FL	33315
504209AD0530	CHALFANT,MICHELE A	CHALFANT,AMANDA R	1301 RIVER REACH DR #401	FORT LAUDERDALE	FL	33315
504209AD0540	D'ALONZO,MARIA		10-A MULLON AVE	PORT WASHINGTON	NY	11050
504209AD0550	MERCURE,ROGER	BROWN-MERCURE,LISE	606 RUE DORSET	*MASCOCHE QC	CA	J7L 3
504209AD0560	READDING,JOAN	JOAN READDING REV LIV TR	1301 RIVER REACH DR APT 404	FORT LAUDERDALE	FL	33315
504209AD0580	MACDONALD,JULIANA	MACDONALD LAND TR	1301 RIVER REACH DR UNIT 406	FORT LAUDERDALE	FL	33315
504209AD0590	HAND,MICHAEL D &	SUOJA HAND,JO ANN	1301 RIVER REACH DR #407	FORT LAUDERDALE	FL	33315
504209AD0600	DORIA,ANDREA		1301 RIVER REACH DRIVE #408	FORT LAUDERDALE	FL	33315
504209AD0610	SANTANGELO,MICHAEL A		1301 RIVER REACH DR APT 409	FORT LAUDERDALE	FL	33315
504209AD0620	MARTAKOUCHE,KINDA		1301 RIVER REACH DR APT 410	FORT LAUDERDALE	FL	33315
504209AD0630	DARVILLE,JUDY MARIE	DARVILLE,STANLEY R	1301 RIVER REACH DR #411	FORT LAUDERDALE	FL	33315
504209AD0640	CARRICK,WAYNE L	DIR YEGHYAIAN,KANARIA	1350 RIVER REACH DR #404	FORT LAUDERDALE	FL	33315
504209AD0650	FATERSIK,PAULA J		84 BROAD REACH UNIT 402B	N WEYMOUTH	MA	02191
504209AD0660	BLANCO,MARIA FERNANDA	MARIA FERNANDA BLANCO REV LIV TR	1301 RIVER REACH DR #415	FORT LAUDERDALE	FL	33315
504209AD0670	YALKUT,LISA ROBIN		1301 RIVER REACH DR #416	FORT LAUDERDALE	FL	33315
504209AD0680	ANGIOLILLO,THERESA		1301 RIVER REACH DR #417	FORT LAUDERDALE	FL	33315
504209AD0690	HAMMERS,DAVID		8 LEANDER RD	HAMPTON BAYS	NY	11946
504209AD0700	BAKER,ROBERT N & KATHI L		79 SEAVIEW TER	NORTHPORT	NY	11768
504209AD0710	SULLIVAN,GRACE B		1301 RIVER REACH DR APT 501	FORT LAUDERDALE	FL	33315
504209AD0720	MINATEL,HALEY	MINATEL,VICTOR A	411 WALNUT ST #3870	GREEN COVE SPRINGS	FL	32043
504209AD0730	SILVERMAN,ALLAN J		341 PORTLAND ST STE 17	*HALIFAX NOVA SCOTIA QC	CA	B2Y 1
504209AD0740	E S-SCHMITZ IRREV ASSET MGMT TR	R S IRREV ASSET MGMT TR ETAL	1301 RIVER REACH DR #504	FORT LAUDERDALE	FL	33315
504209AD0750	LELLO,DANA D & JOSEPH R		1301 RIVER REACH DR #505	FORT LAUDERDALE	FL	33315
504209AD0760	SILVERMAN,ALLAN	SADLER,EVANGELINE ETAL	1301 RIVER REACH DR #503	FORT LAUDERDALE	FL	33315
504209AD0770	KASIMAN,RONNY M		1301 RIVER REACH DR #507	FORT LAUDERDALE	FL	33315
504209AD0780	BAIER,HANS J & LINDA M		1301 RIVER REACH DR APT 508	FORT LAUDERDALE	FL	33315
504209AD0790	METCALFE,DAVID N		1301 RIVER REACH DR UNIT 509	FORT LAUDERDALE	FL	33315
504209AD0800	JAROS,PAVEL		900 RIVER REACH DR #219	FORT LAUDERDALE	FL	33315
504209AD0810	JEFFERS,ANNE E		1301 RIVER REACH DRIVE #511	FORT LAUDERDALE	FL	33315
504209AD0820	DATLEN,CHARLES P & TRACY A		1301 RIVER REACH DR #512	FORT LAUDERDALE	FL	33315
504209AD0830	SUNFEST HOLDINGS LLC		763 NW 30 AVE #A	DELRAY BEACH	FL	33445
504209AD0840	VALDERRAMA,ELISA LILA	FUENTES CAMEJO,ANTOLIN	1301 RIVER REACH DR #515	FORT LAUDERDALE	FL	33315
504209AD0850	WEIGHTMAN,MANDY	MJW LIV TR	1301 RIVER REACH DR #516	FORT LAUDERDALE	FL	33315
504209AD0860	GALVIN,MARTIN J & PAULA F		1301 RIVER REACH DR #517	FORT LAUDERDALE	FL	33315
504209AD0870	MILLER,JANICE K H/E	JOHNSTON,DOUGLAS & TOBY	1301 RIVER REACH DR #518	FORT LAUDERDALE	FL	33315
504209AD0880	JANUSZ,MARK A	GOODY,ALEXANDRA	3848 ILLONA LN	OCEANSIDE	NY	11572



LEGAL DESCRIPTION (BY SURVEYOR):

A PORTION OF LOTS 45 AND 46, "W.C. VALENTINE'S SUBDIVISION OF SECTION 9, T50S, OF R42E", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 29, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, AND PORTIONS OF PARCEL "D", "HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 59, PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 9; THENCE SOUTH 88°12'45" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER (1/4) OF SAID SECTION 9, ALSO BEING THE SOUTH LINE OF SAID LOT 45, FOR 54.07 FEET; THENCE NORTH 01°47'15" WEST 30.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°12'45" WEST ALONG A LINE 30.00 FEET NORTH OF AND PARALLEL WITH SAID SOUTH LINE OF LOT 45 FOR 1343.77 FEET; THENCE NORTH 86°04'37" WEST 195.36 FEET; THENCE NORTH 03°47'15" WEST ALONG SAID EAST RIGHT-OF-WAY LINE AND THE WEST LINE OF SAID PARCEL "D", "HARBOR ISLAND", 179.09 FEET TO THE NORTHWEST CORNER OF SAID PARCEL "D"; THENCE NORTH 88°12'45" EAST ALONG THE NORTH LINE OF SAID PARCEL "D" 755.68 FEET TO A POINT ON A LINE 1205.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 46; THENCE SOUTH 00°48'35" EAST ALONG SAID PARALLEL LINE 215.96 FEET TO THE NORTH LINE OF SAID LOT 45 ALSO BEING THE SOUTH LINE OF SAID LOT 46; THENCE NORTH 88°12'45" EAST ALONG SAID NORTH AND SOUTH LINES 450.06 FEET TO A POINT ON A LINE 755.00 FEET WEST OF AND PARALLEL WITH SAID EAST LINE OF LOT 46; THENCE NORTH 00°48'35" WEST ALONG SAID PARALLEL LINE 215.96 FEET TO A POINT ON SAID NORTH LINE OF PARCEL "D"; THENCE NORTH 88°12'45" EAST ALONG SAID NORTH LINE 200.03 FEET TO A POINT ON A LINE 555.00 FEET WEST OF AND PARALLEL WITH SAID EAST LINE OF LOT 46; THENCE SOUTH 00°48'35" EAST ALONG SAID PARALLEL LINE 215.96 FEET TO A POINT ON SAID NORTH LINE OF LOT 45 ALSO BEING THE SOUTH LINE OF SAID LOT 46; THENCE NORTH 88°12'45" EAST ALONG SAID NORTH AND SOUTH LINES 530.07 FEET TO A POINT ON A LINE 25.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 45; THENCE SOUTH 00°48'35" EAST ALONG SAID PARALLEL LINE 154.47 FEET; THENCE SOUTH 89°11'25" WEST 5.00 FEET TO A POINT ON THE ARC OF A CIRCULAR CONCAVE NORTHWESTERLY FROM WHICH A RADIAL LINE BEARS SOUTH 89°11'52" WEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 89°00'53", FOR AN ARC DISTANCE OF 38.84 FEET TO THE POINT OF BEGINNING.

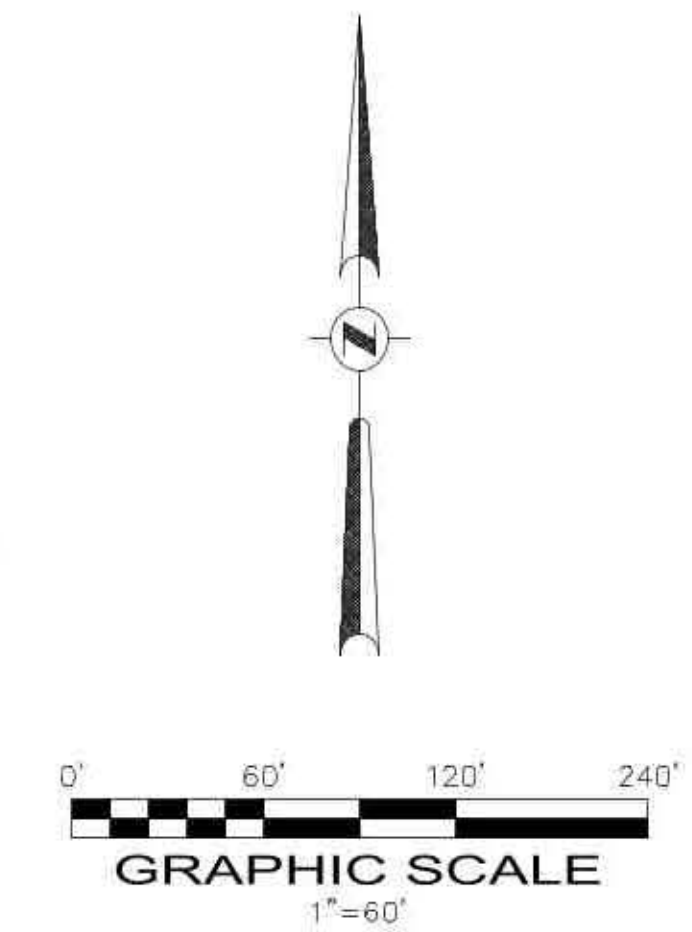
SAID LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING 11.111 ACRES, MORE OR LESS.

NOTES:

- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- FLOOD ZONE: AE/AH/AK; BASE FLOOD ELEVATION: 5 FEET/5 FEET/NONE; PANELS #12011C0556H & #12011C0557H; COMMUNITY #125105; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 9, TOWNSHIP 50 SOUTH RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE, WITH THE NORTH LINE OF LOT 46 BEING N88°12'45".
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: LEEWARD CAPITAL PARTNERS.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A TITLE CERTIFICATE, SEARCH NUMBER 23-806-1, PREPARED BY PARAMOUNT TITLE SERVICES INC, SEARCH ENDED FEBRUARY 13TH, 2023 AT 11:00 PM. THE FOLLOWING ITEMS ARE EASEMENTS AND RIGHT-OF-WAY DOCUMENTS OF SAID CERTIFICATE:
 ITEM 1: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH IN PLAT BOOK B, PAGE 29, APPLY TO THIS SITE BUT THERE ARE NO PLATTABLE EASEMENTS.
 ITEM 2: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH IN PLAT BOOK 59, PAGE 29, APPLY TO THIS SITE BUT THERE ARE NO PLATTABLE EASEMENTS.
 ITEM 3: EASEMENT DEED IN DEED BOOK 549, PAGE 361 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 ITEM 4: EASEMENT DEED IN DEED BOOK 549, PAGE 361 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 ITEM 5: WARRANTY DEED IN O.R.B. 838, PAGE 53, APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 ITEM 6: CERTIFICATE OF PAYMENT IN O.R.B. 1369, PAGE 143 DOES NOT APPLY TO THIS SITE.
 ITEM 7: DEED IN O.R.B. 1399, PAGE 50 DOES NOT APPLY TO THIS SITE.
 ITEM 8: SLOPE EASEMENT IN O.R.B. 1399, PAGE 51 DOES NOT APPLY TO THIS SITE.
 ITEM 9: QUIT CLAIM DEED IN O.R.B. 1399, PAGE 53 DOES NOT APPLY TO THIS SITE.
 ITEM 10: DEED IN O.R.B. 1399, PAGE 55 DOES NOT APPLY TO THIS SITE.
 ITEM 11: DEED IN O.R.B. 1433, PAGE 378 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 ITEM 12: SLOPE EASEMENT IN O.R.B. 1433, PAGE 379 APPLIES TO THIS SITE AS DEPICTED HEREON.
 ITEM 13: EASEMENT IN O.R.B. 1732, PAGE 475 APPLIES TO THE ADJACENT RIGHT-OF-WAY BUT CANNOT BE PLOTTED.
 ITEM 14: EASEMENT IN O.R.B. 2635, PAGE 874 APPLIES TO THIS SITE AS DEPICTED HEREON.
 ITEM 15: EASEMENT IN O.R.B. 2655, PAGE 459 APPLIES TO THIS SITE AS DEPICTED HEREON.
 ITEM 16: COUNTY DEED IN O.R.B. 2687, PAGE 474 DOES NOT APPLY TO THIS SITE.
 ITEM 17: EMINENT DOMAIN RESOLUTION OF THE SECRETARY OF TRANSPORTATION IN O.R.B. 16278, PAGE 509 DOES NOT APPLY TO THIS SITE.
- ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.
- THE FLOOD ZONE DESIGNATION LINES DEPICTED HEREON ARE PLACED IN APPROXIMATE LOCATIONS, AS SCALED FROM THE IMAGE FROM THE FEMA.ORG WEBSITE.

LEGEND & ABBREVIATIONS

- ☉ CENTERLINE
- AKA ALSO KNOWN AS
- R= RADIUS
- CA= CENTRAL ANGLE
- A= ARC LENGTH
- M.D.C.R. MIAMI-DADE COUNTY RECORDS
- O.R.B. OFFICIAL RECORDS BOOK
- (D) DEED
- (C) CALCULATED



SHEET 1 OF 3

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THRU 3, INCLUSIVE.

NO.	REVISIONS	BY
1	#17023 ADD POLYDS - 11/23/25	M.M.M.
2	#17023 UPDATE FLOOD INFO - 11/23/25	M.M.M.
3	#17023 ADD POLYDS - 11/23/25	M.M.M.
4	#17023 LEGAL DESCRIPTION - 7/23/24	M.M.M.

RIVERSOUND
 DAVE BLVD & SW 9TH AVE
 FORT LAUDERDALE, FLORIDA 33315
 (CITY OF FORT LAUDERDALE, BROWARD COUNTY)

CERTIFICATION:

I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

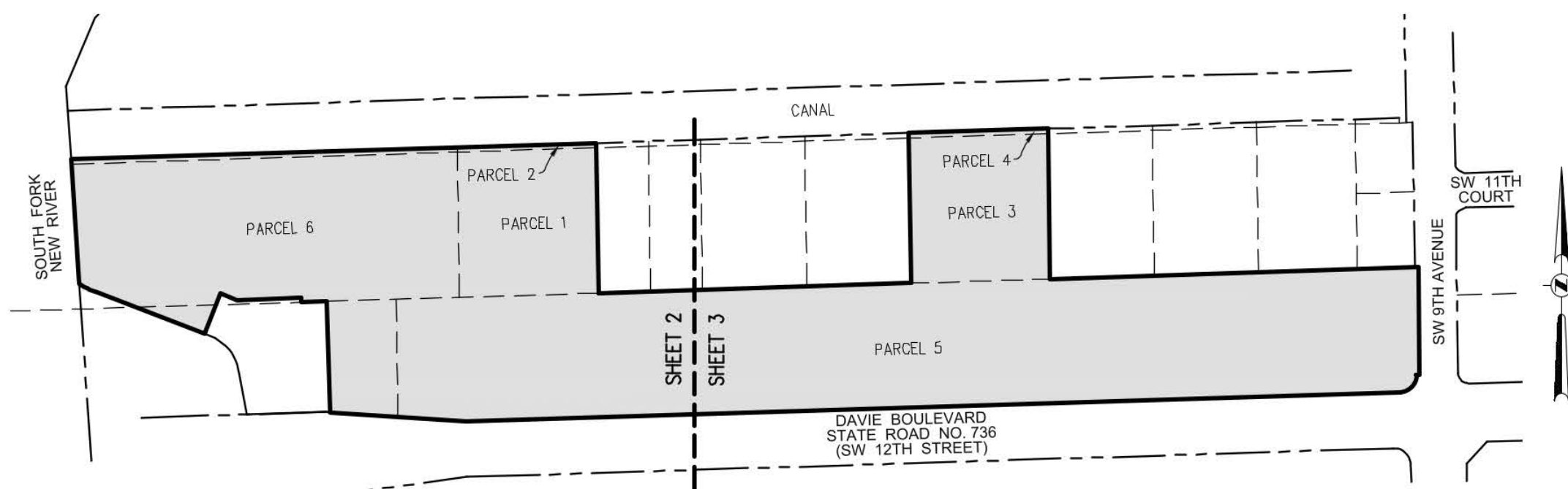
John F Pulice Digitally signed by John F Pulice
 Date: 2025.11.06 11:19:04 -05'00'

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 - ☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
 - ☐ DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290
- STATE OF FLORIDA



PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@pulicelandsurveyors.com
 WEBSITE: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3570

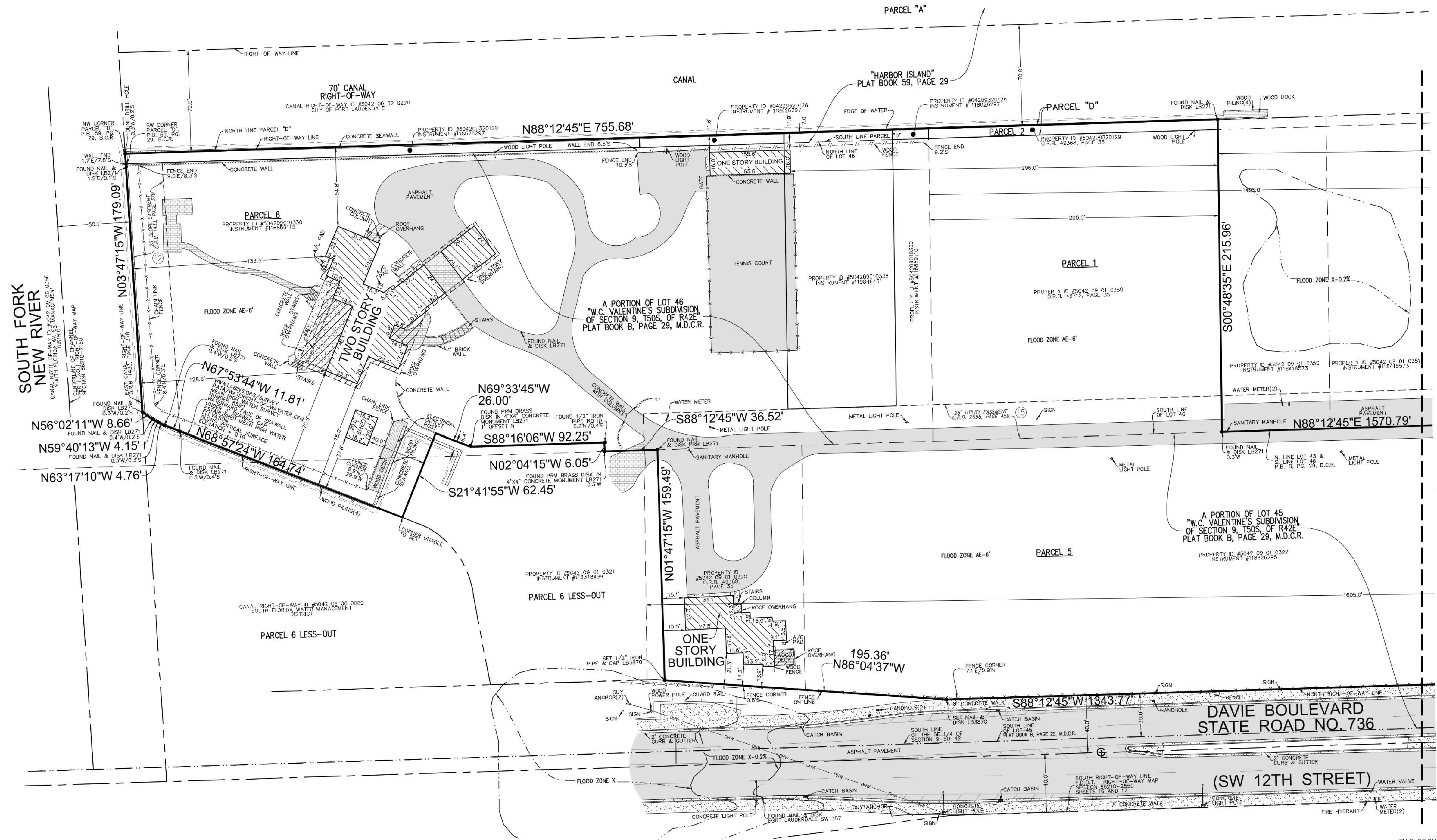
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CHECKED BY: J.F.P.	SURVEY DATE: 12/12/22	ORDER NO.: 70723



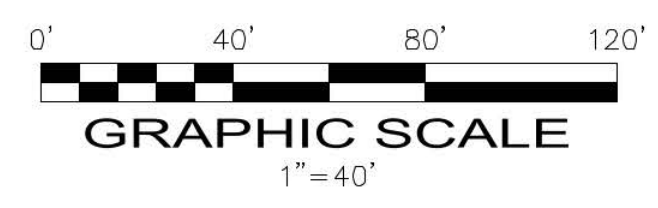
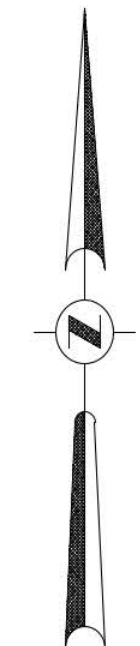
VICINITY MAP
NOT TO SCALE

LEGEND & ABBREVIATIONS

- CONCRETE
- ASPHALT PAVEMENT
- BRICK PAVERS
- OVERHEAD WIRES
- NON-VEHICULAR ACCESS LINE
- A/C AIR CONDITIONING
- ⊙ CENTERLINE
- R= RADIUS
- CA= CENTRAL ANGLE
- A= ARC LENGTH
- FPL FLORIDA POWER & LIGHT COMPANY
- LB LICENSED BUSINESS
- M.D.C.R. MIAMI-DADE COUNTY RECORDS
- O.R.B. OFFICIAL RECORDS BOOK
- Ⓢ TITLE COMMITMENT NUMBER
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)



MATCH LINE
SEE SHEET 3



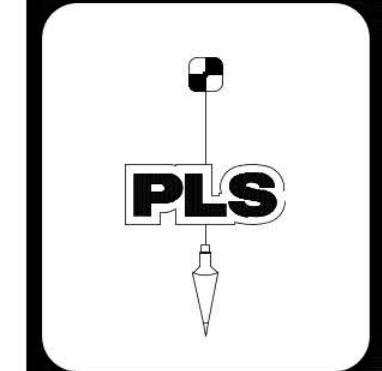
TRACT "A"
"RIO NUEVO ISLE"
PLAT BOOK 60, PAGE 19
RIO NUEVO A CONDOMINIUMS
O.R.B. 3336, PAGE 19

SHEET 2 OF 3

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE
WITHOUT SHEETS 1 THRU 3, INCLUSIVE.

RIVERSOUND
DAVIE BLVD. & SW 9TH AVE.
FORT LAUDERDALE, FLORIDA 33315
(CITY OF FORT LAUDERDALE, BROWARD COUNTY)

BOUNDARY SURVEY

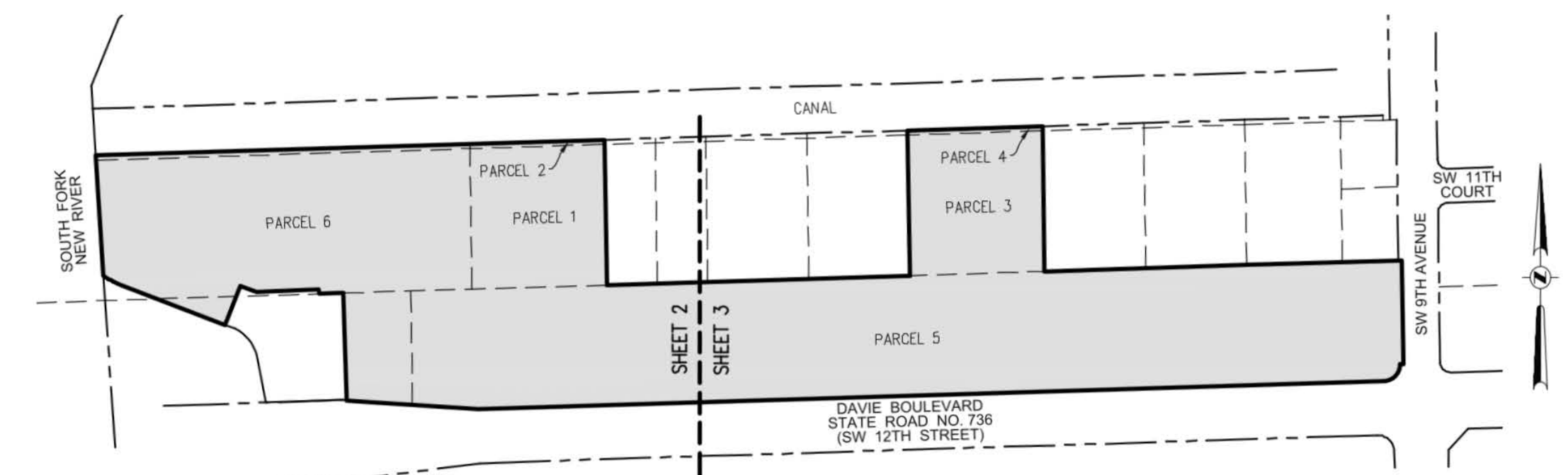


PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
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TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

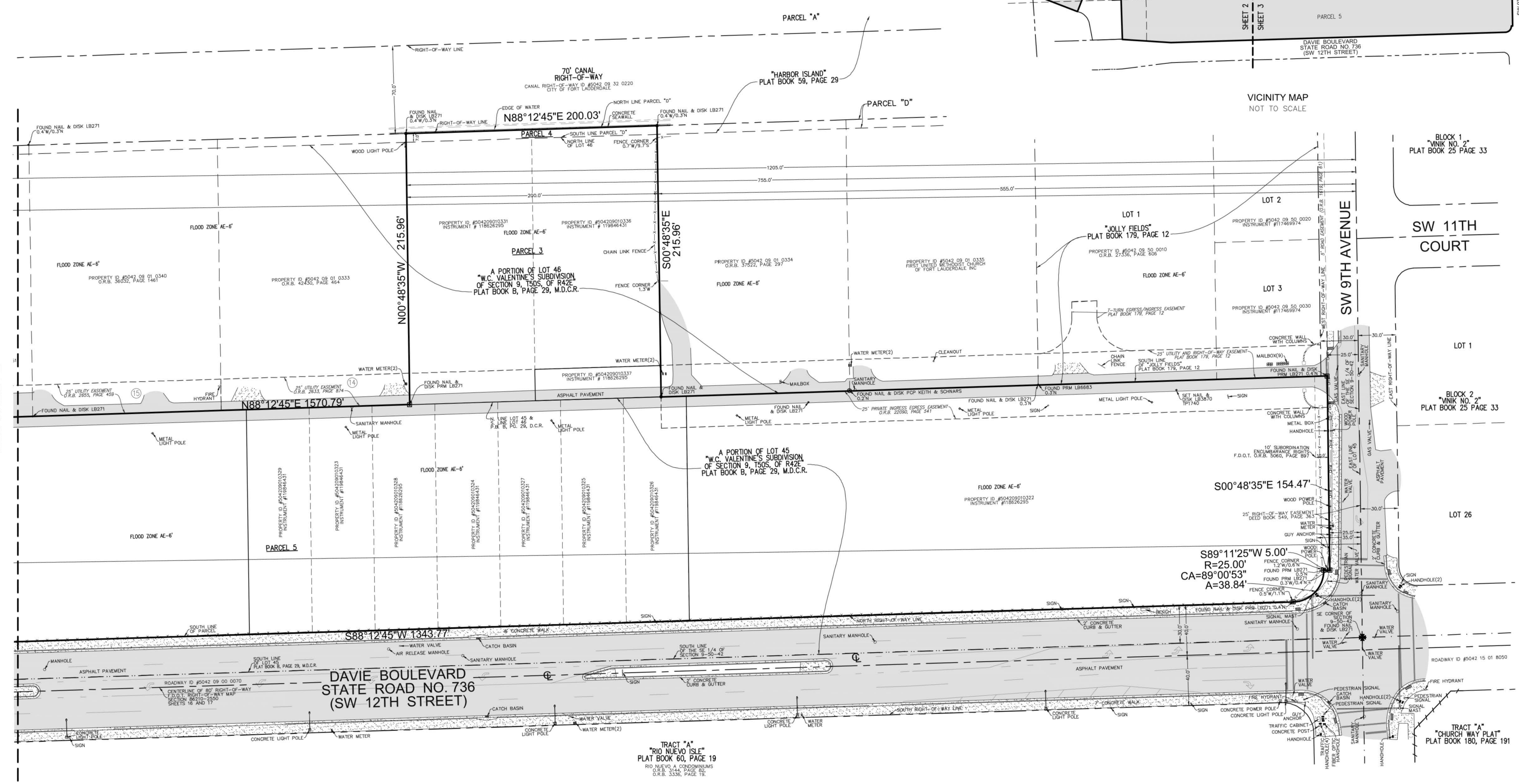
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CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 12/12/22

CLIENT: LEEWARD CAPITAL PARTNERS
ORDER NO.: 70723



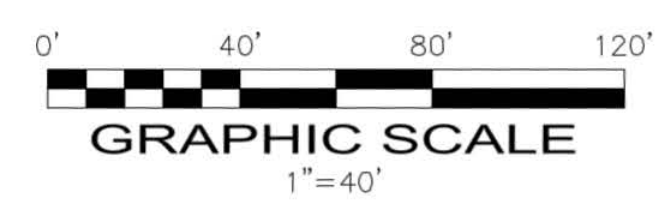
VICINITY MAP
NOT TO SCALE



MATCH LINE
SEE SHEET 2

LEGEND & ABBREVIATIONS

	CONCRETE
	ASPHALT PAVEMENT
	BRICK PAVERS
	OVERHEAD WIRES
	NON-VEHICULAR ACCESS LINE
A/C	AIR CONDITIONING
⊕	CENTERLINE
R=	RADIUS
CA=	CENTRAL ANGLE
A=	ARC LENGTH
FPL	FLORIDA POWER & LIGHT COMPANY
LB	LICENSED BUSINESS
M.D.C.R.	MIAMI-DADE COUNTY RECORDS
O.R.B.	OFFICIAL RECORDS BOOK
Ⓢ	TITLE COMMITMENT NUMBER
TP	TRAVERSE POINT (FOR FIELD INFORMATION ONLY)



SHEET 3 OF 3

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE
WITHOUT SHEETS 1 THRU 3, INCLUSIVE

RIVERSOUND
DAVIE BLVD. & SW 9TH AVE.
FORT LAUDERDALE, FLORIDA 33315
(CITY OF FORT LAUDERDALE, BROWARD COUNTY)

BOUNDARY SURVEY



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CERTIFICATE OF AUTHORIZATION LB#33570

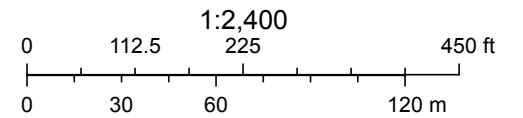
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CHECKED BY: J.F.P.

SCALE: 1" = 40'
SURVEY DATE: 12/12/22

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ORDER NO.: 70723

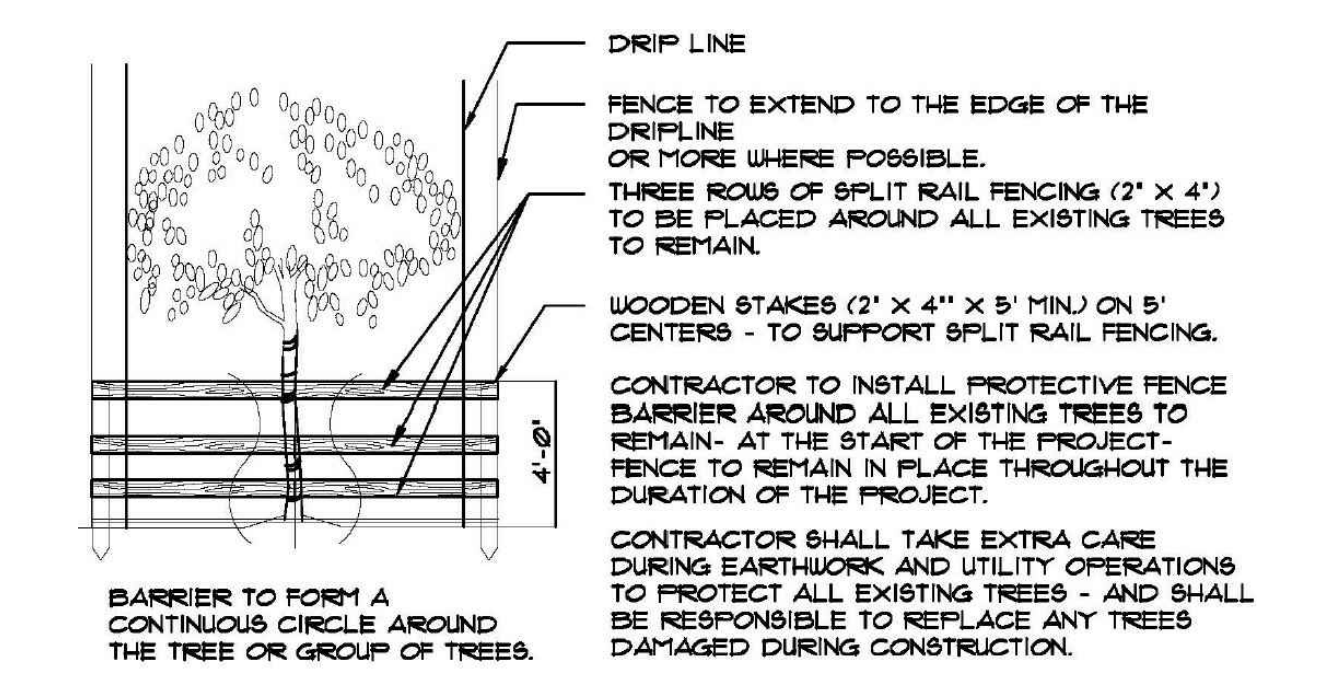


October 29, 2025

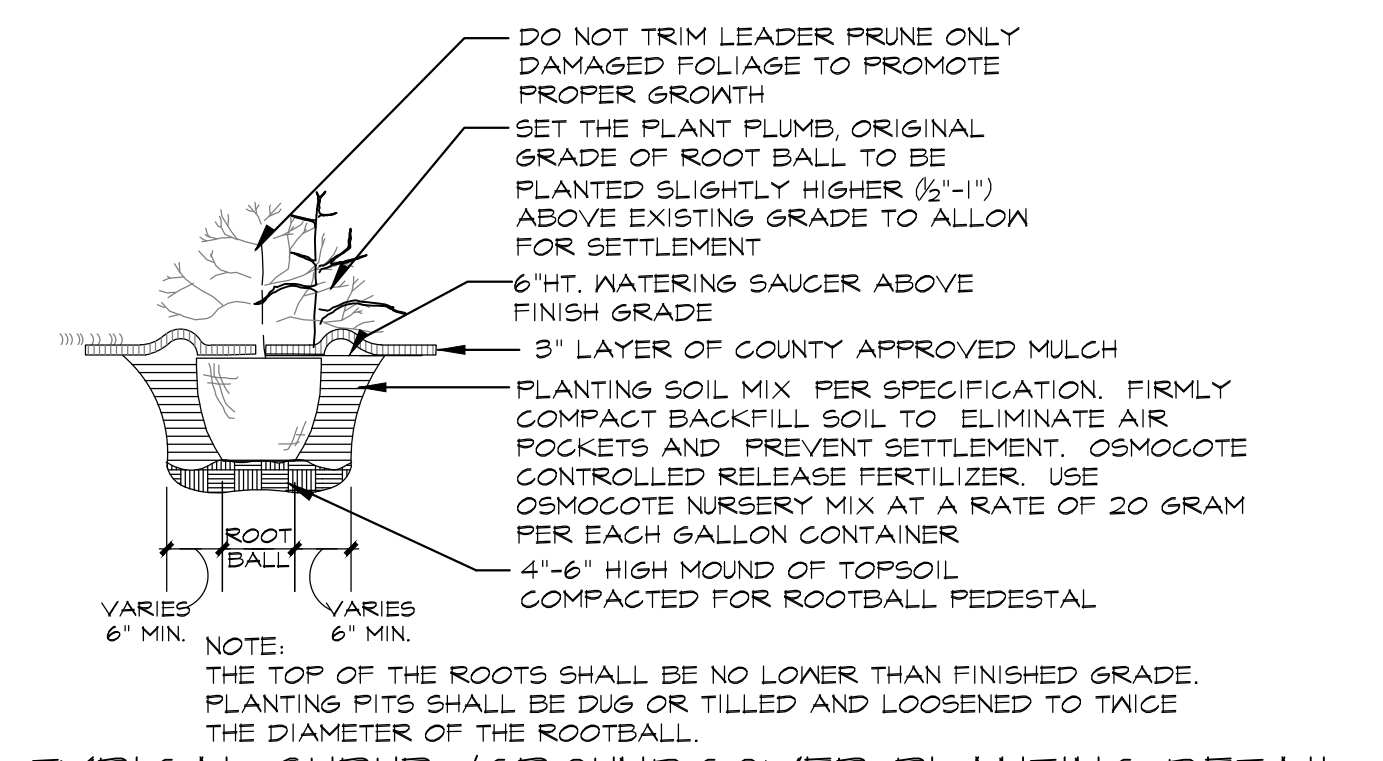


LANDSCAPE REQUIREMENTS (RS 4.4) (SINGLE FAMILY RESIDENCES) - LOTS : 1 - 30 - PERIMETER WALL CODE
 APPROVED: 6/13/2025
 PERIMETER TREES- DAVIE BLVD. (17' 40" - 30' 0") PROPOSED : (CE) + EXISTING TREES & PALMS
 PERIMETER TREES- SW 9TH AVE. (17' 20" - 119' - 5' 650208) PROPOSED (CES) + (I) EXISTING LIVE OAK
 NATIVE TREES (40% MIN.) 45 X 40% = 18 (44) PROPOSED : (CE) & (CES)

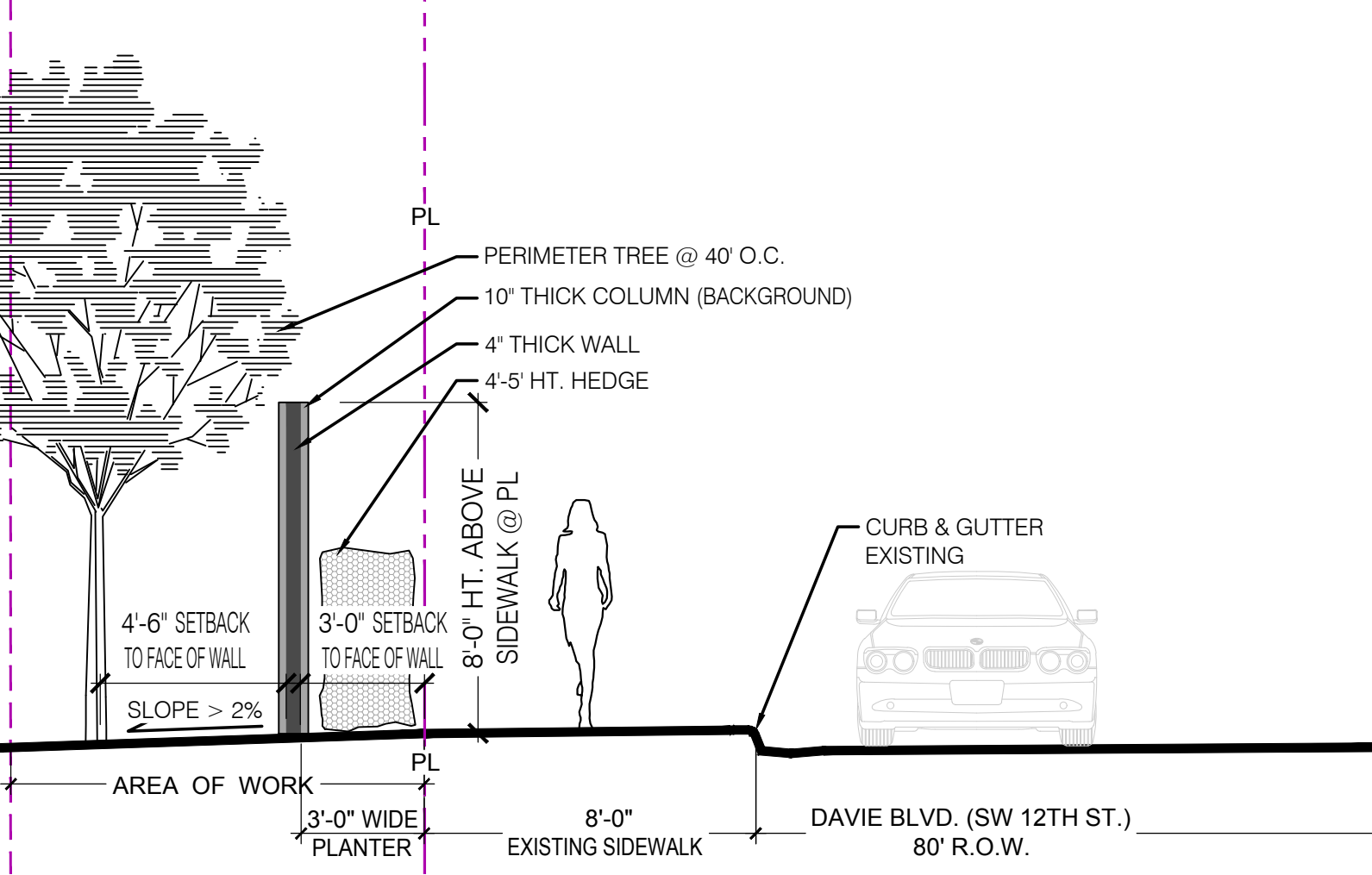
- GENERAL PLANTING NOTES**
- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", 2022, State of Florida Department of Agriculture, Tallahassee, or thereto.
 - All Planted areas to be provided with a 100% overlap automatic irrigation system. Irrigation only required for the Front 21st St. and 3rd St. / Side yard. And against wall.
 - All landscaping and irrigation shall be installed in a sound workmanlike manner and according to accepted and proper planting procedures with the quality of plant materials described.
 - Specifications of plant materials as follows: Spread-indicates average spread to midpoint; Height (o.a.)-indicates overall height from top of root ball to midpoint of current season's growth; C.T.-indicates clear trunk measurement to first branching; Ft. of Wood-indicates measurement on palms from top of ball to top of stalks.
 - All trees shall be properly guyed and staked at the time of planting to ensure proper establishment.
 - Hedges shall be planted and maintained so as to form a continuous, unbroken, solid visual screen.
 - The planting soil for all planting areas shall be composed of a minimum of 50% horticulturally acceptable organic material. The minimum soil depth shall be six inches in all hedge and mass planting beds and 1/2 cu. yd. per tree. Palms to be planted in clean sand.
 - A minimum of three inches of shredded pine bark mulch shall be installed around each tree planting, including palm trees, and throughout hedge and shrub plantings.
 - The contractor is responsible for his own quantity count. Any discrepancy between drawings and plant list shall be considered as correct on the drawings.
 - Landscape Contractor shall provide a One Year Warranty for plant material



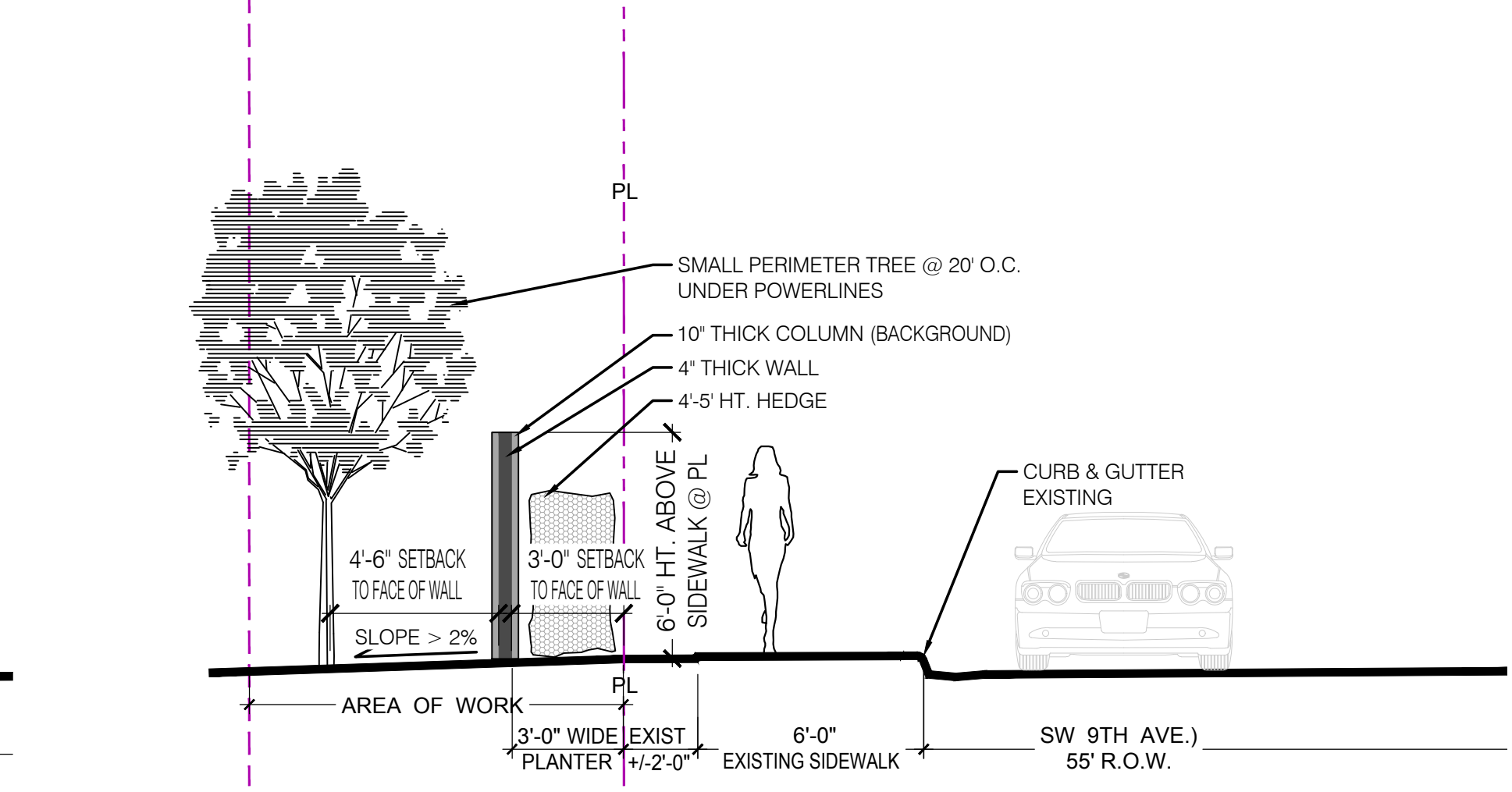
TREE PROTECTION DETAIL
 N.T.S.



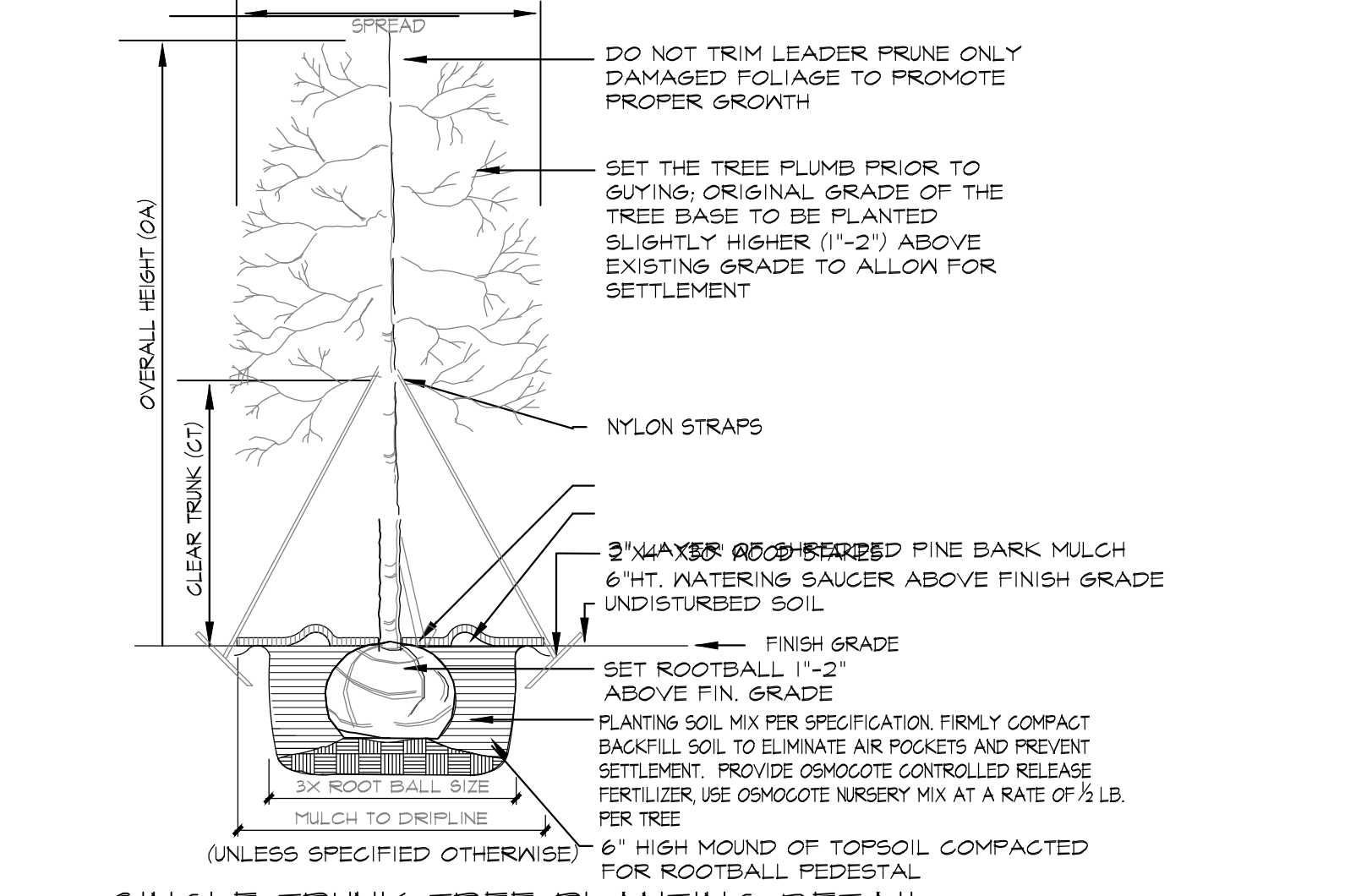
TYPICAL SHRUB / GROUND COVER PLANTING DETAIL
 N.T.S.



1 DAVIE BLVD. WALL & LANDSCAPE ELEVATION
 SCALE: 1/4"=1'-0"



2 SW 9TH AVE. WALL & LANDSCAPE ELEVATION
 SCALE: 1/4"=1'-0"



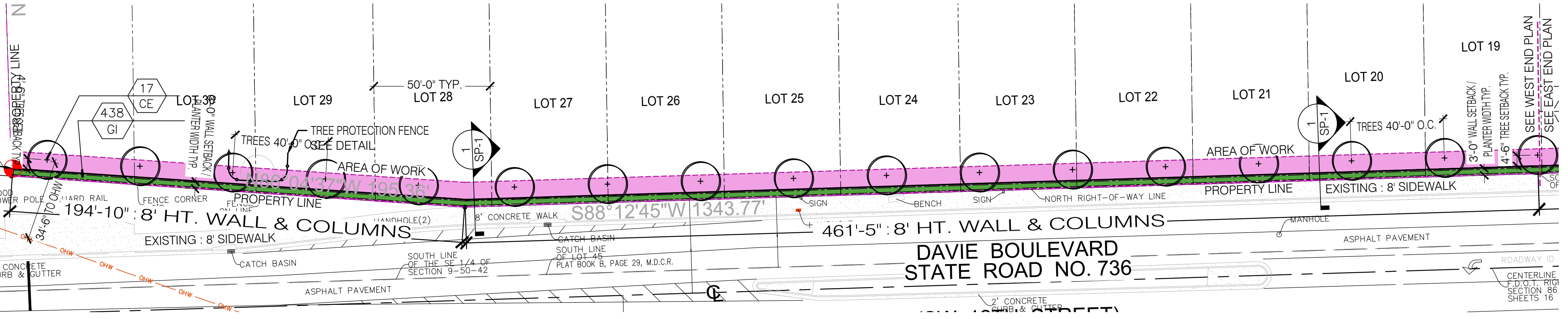
SINGLE TRUNK TREE PLANTING DETAIL
 N.T.S.

PLANTING SCHEDULE

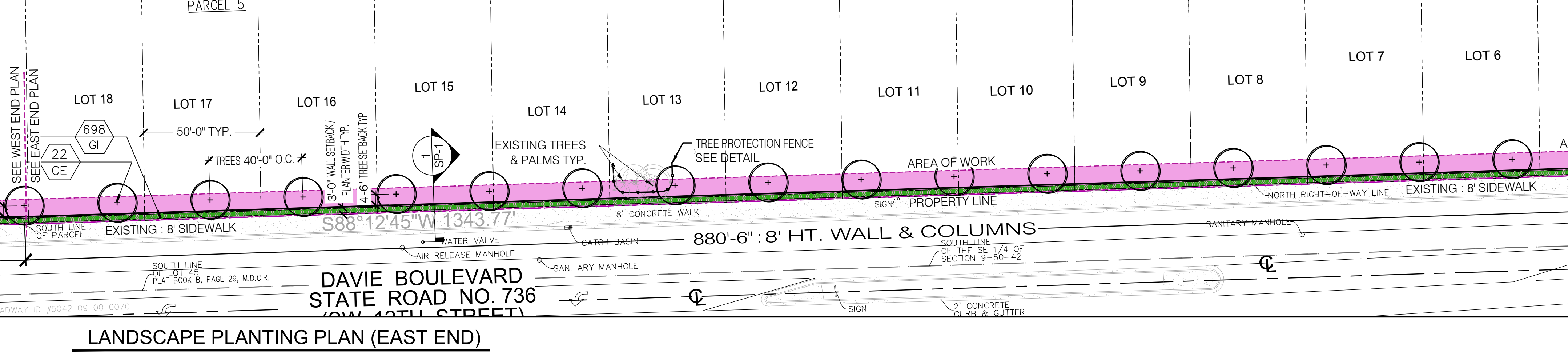
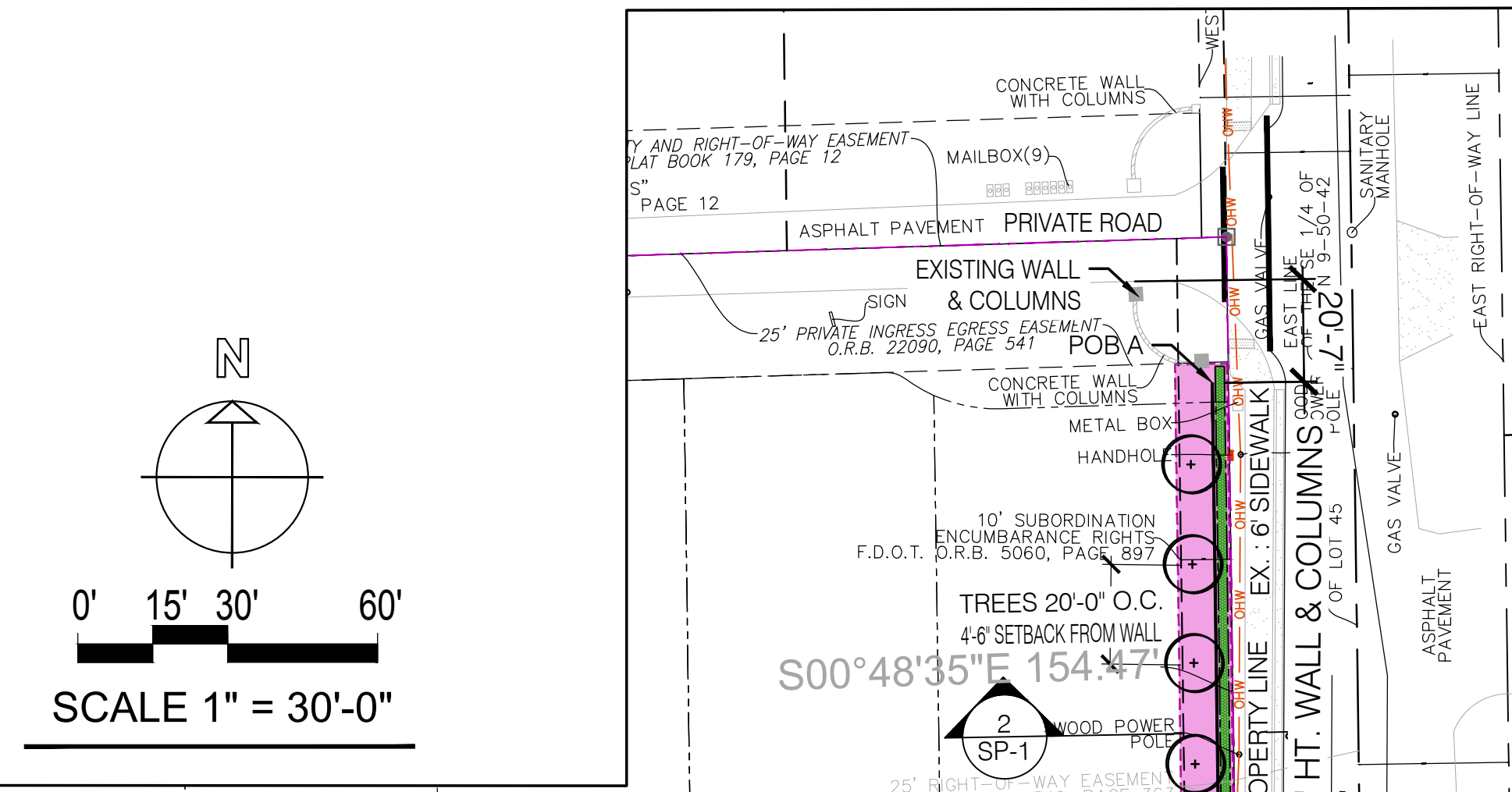
PROPOSED TREES						
KEY	QUAN.	SCIENTIFIC NAME	COMMON NAME	SPECIFICATION	REQUIREMENT	TOTAL MITIGATION
CE	39	* <i>Conocarpus erectus</i>	GREEN BUTTWOOD	12' HT. X 5' SPR. 2" DBH.	SITE NATIVE / MITIGATION	78" DBH
CES	5	* <i>Conocarpus erectus</i> 'sericeus'	SILVER BUTTWOOD	12' HT. X 5' SPR. 2" DBH.	SITE NATIVE UNDER OHW / MITIGATION	10" DBH

*DENOTES FLORIDA NATIVE PLANT

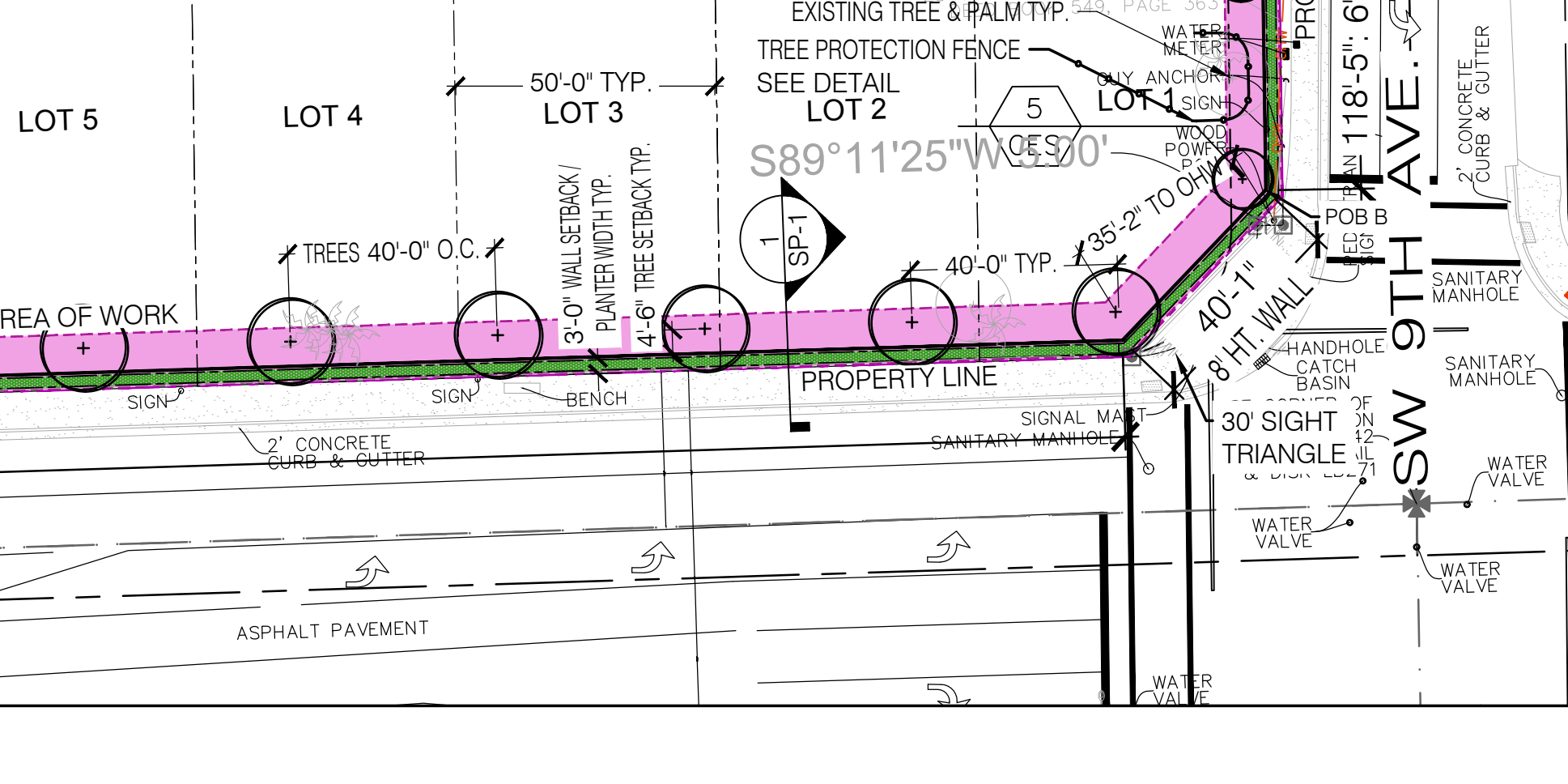
SHRUBS & GROUNDCOVERS			
KEY	QUAN.	PROPOSED MATERIAL	SPECIFICATION
GI	1136	<i>Ficus microcarpa</i> 'Green Island'	GREEN ISLAND FICUS 15" HT. x 18" SPR. / 18" O.C.



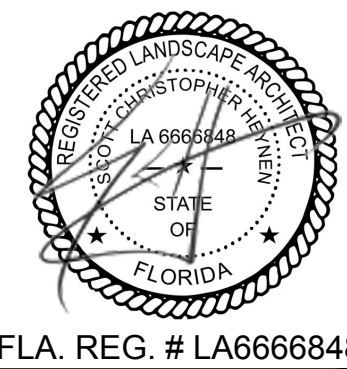
LANDSCAPE PLANTING PLAN (WEST END)



LANDSCAPE PLANTING PLAN (EAST END)



LANDSCAPE PLANTING PLAN (EAST END)



SCOTT C. HEYNE, RLA LLC
 LANDSCAPE ARCHITECTURE AND LAND PLANNING
 1627 Funston St., Hollywood, FL 33020
 PHONE 954-920-4945 scott@scottc.com

PERIMETER WALL : RIVERSOUND LOTS : #1-30
 Davie Blvd., Fort Lauderdale, Florida
 LANDSCAPE PLANTING PLAN, SCHEDULE, SPECS. & DETAILS
 SITE

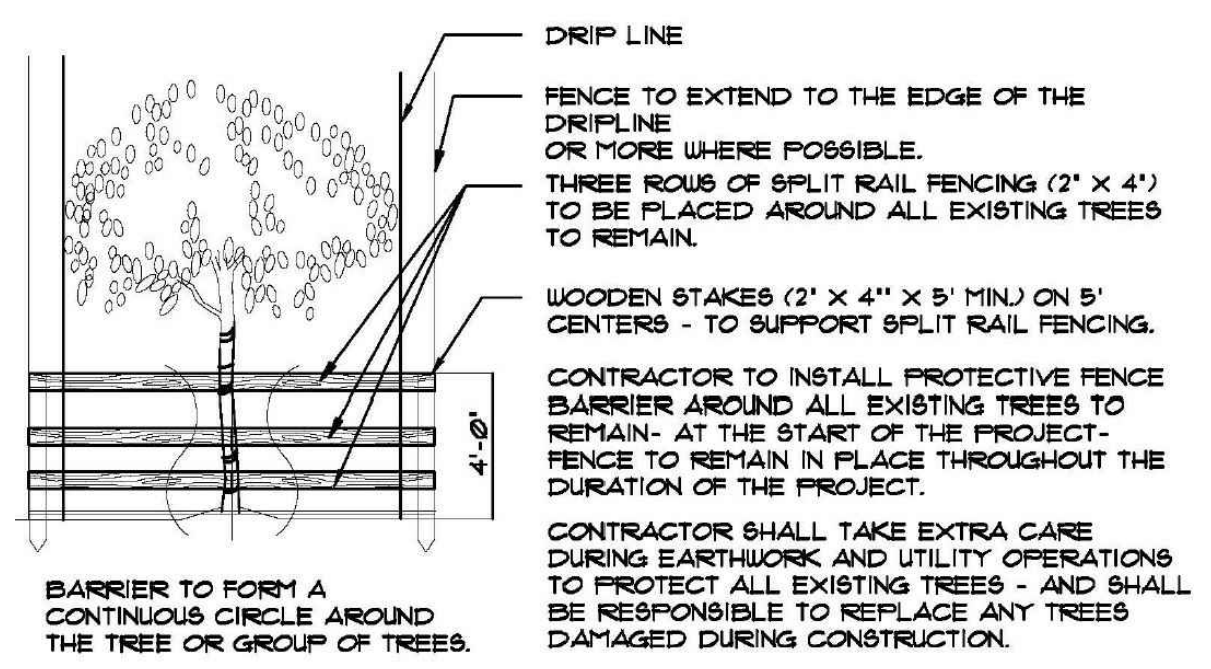
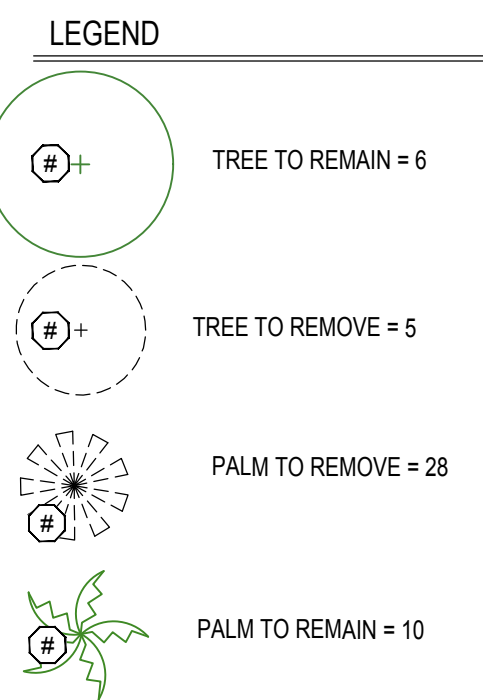
NO. REVISION DATE
 DATE: 8 MAY 2025
 DRAWING: PERMIT
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SHEET
L-1

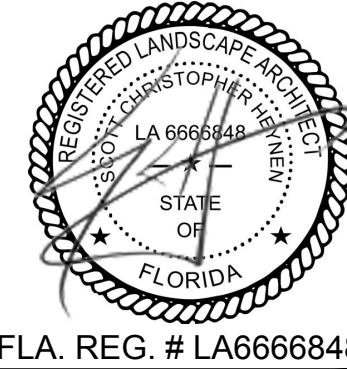
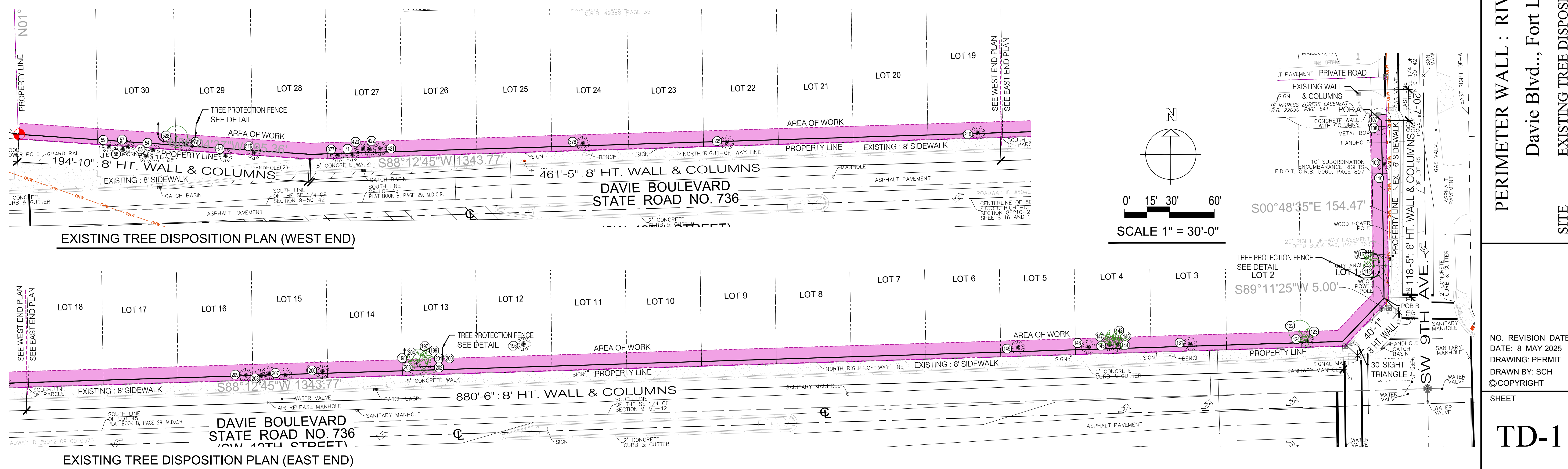
EXISTING TREE DISPOSITION CHART

No	Common / Botanical Name	Cal.	DBH	Height / Trunk	Spread	Cond. Rate %	Disposition	Tree Class	Mitigation
107	*GUMBO LIMBO / BURSEERA SIMARUBA	10"	25"	25'	20'	45	REMOVE	A= 100%	4.5" Cal. / \$1125
108	*GUMBO LIMBO / BURSEERA SIMARUBA	6"	3"	25'	20'	45	REMOVE	A= 100%	4.5" Cal. / \$1125
109	*SABAL PALM / SABAL PALMETTO	12"	14"	14'	50'	45	REMOVE		PALM / \$300
110	*SLASH PINE / PINUS ELLIOTTII	24"	30"	30'	30'	50	REMOVE	B= 80%	9.6" Cal. / \$2400
111	*SABAL PALM / SABAL PALMETTO	12"	14"	14'	15'	50	REMAIN		
112	*LIVE OAK / QUERCUS VIRGINIANA	38"	25"	25'			REMAIN		
122	*LIVE OAK / QUERCUS VIRGINIANA	14"	25"	25'			REMAIN		
123	*SABAL PALM / SABAL PALMETTO	12"	20"	20'	15'	25	REMAIN		
124	*SABAL PALM / SABAL PALMETTO	11"	17"	17'	15'	25	REMOVE		PALM / \$300
131	*SABAL PALM / SABAL PALMETTO	12"	15"	15'	15'	50	REMOVE		PALM / \$300
143	*SABAL PALM / SABAL PALMETTO	9"	18"	18'	14'	50	REMAIN		
144	*SABAL PALM / SABAL PALMETTO	8"	28"	28'	14'	50	REMOVE		PALM / \$300
145	*SABAL PALM / SABAL PALMETTO	9"	24"	24'	14'	50	REMOVE		PALM / \$300
146	*SABAL PALM / SABAL PALMETTO	12"	26"	26'	14'		REMAIN		
147	*SABAL PALM / SABAL PALMETTO	12"	28"	28'	14'		REMAIN		
148	*SABAL PALM / SABAL PALMETTO	12"	14"	14'	15'	50	REMOVE		Palm/ \$300
149	*SABAL PALM / SABAL PALMETTO	11"	22"	22'	14'	50	REMOVE		Palm/ \$300
196	*SABAL PALM / SABAL PALMETTO	12"	14"	14'	14'	40	REMOVE		Palm/ \$300
197	*SABAL PALM / SABAL PALMETTO	14"	24"	24'	14'	40	REMAIN		
198	*SABAL PALM / SABAL PALMETTO	14"	14"	14'	14'	50	REMAIN		
199	*LIVE OAK / QUERCUS VIRGINIANA	10"	22"	22'	22'	50	REMAIN		
200	*LIVE OAK / QUERCUS VIRGINIANA	14"	20"	20'	20'	45	REMAIN		
201	*LIVE OAK / QUERCUS VIRGINIANA	10"	20"	20'	20'	45	REMAIN		
202	*LIVE OAK / QUERCUS VIRGINIANA	12"	20"	20'	20'	45	REMOVE	A= 100%	5.4" Cal. / \$1350
203	*LIVE OAK / QUERCUS VIRGINIANA	8"	20"	20'	20'	45	REMOVE	A= 100%	3.6" Cal. / \$ 900
204	*LIVE OAK / QUERCUS VIRGINIANA	8"	20"	20'	20'	45	REMAIN		
206	*SABAL PALM / SABAL PALMETTO	12"	17"	17'	14'	45	REMOVE		PALM / \$300
207	*SABAL PALM / SABAL PALMETTO	14"	10"	10'	14'	45	REMOVE		PALM / \$300
208	*SABAL PALM / SABAL PALMETTO	12"	12"	12'	14'	45	REMOVE		PALM / \$300
209	*SABAL PALM / SABAL PALMETTO	6"	10"	10'	14'	45	REMOVE		PALM / \$300
210	*SABAL PALM / SABAL PALMETTO	10"	18"	18'	14'	45	REMOVE		PALM / \$300
365	*SABAL PALM / SABAL PALMETTO	12"	12"	12'	15'	50	REMOVE		PALM / \$300
376	*SABAL PALM / SABAL PALMETTO	12"	16"	16'	15'	45	REMOVE		PALM / \$300
421	*SABAL PALM / SABAL PALMETTO	12"	14"	14'	15'	45	REMOVE		PALM / \$300
422	*SABAL PALM / SABAL PALMETTO	12"	18"	18'	15'	45	REMOVE		PALM / \$300
423	*SABAL PALM / SABAL PALMETTO	12"	16"	16'	15'	45	REMOVE		PALM / \$300
71	*SABAL PALM / SABAL PALMETTO	12"	18"	18'	15'	45	REMOVE		PALM / \$300
877	*SABAL PALM / SABAL PALMETTO	12"	14"	14'	14'	45	REMOVE		PALM / \$300
516	*SABAL PALM / SABAL PALMETTO	12"	18"	18'	14'	45	REMOVE		PALM / \$300
51	*SABAL PALM / SABAL PALMETTO	10"	23"	23'	14'	45	REMOVE		PALM / \$300
72	*FISHTAIL PALM / CARYOTA MITIS	12"	22"	22'	15'	45	REMOVE		PALM / \$300
54	*SABAL PALM / SABAL PALMETTO	12"	20"	20'	15'	45	REMOVE		PALM / \$300
55	*SABAL PALM / SABAL PALMETTO	12"	20"	20'	15'	45	REMOVE		PALM / \$300
57	*SABAL PALM / SABAL PALMETTO	8"	18"	18'	15'	45	REMOVE		PALM / \$300
58	*SABAL PALM / SABAL PALMETTO	10"	20"	20'	15'	45	REMOVE		PALM / \$300
59	*SABAL PALM / SABAL PALMETTO	10"	23"	23'	15'	45	REMOVE		PALM / \$300

Mitigation = 28" Tree Cal. +
28 Palms = 10 : 2" Trees = 20"
Total Mitigation = 48" Cal.



TREE PROTECTION DETAIL
N.T.S.



FLA. REG. # LA6666848

SCOTT C. HEYENEN, RLA LLC
LANDSCAPE ARCHITECTURE AND LAND PLANNING
1627 Funston St., Hollywood, FL 33020
PHONE 954-920-4945 scottchland@gmail.com

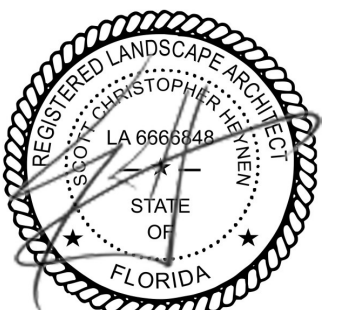
PERIMETER WALL : RIVERSOUND LOTS : #1-30
Davie Blvd., Fort Lauderdale, Florida
EXISTING TREE DISPOSITION PLAN, SCHEDULE & DETAIL
SITE

NO. REVISION DATE
DATE: 8 MAY 2025
DRAWING: PERMIT
DRAWN BY: SCH
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TD-1



DEVELOPMENT SERVICES DEPARTMENT
LANDSCAPE DIVISION
 APPROVED 6/13/2025
 LND-TREE-25050202
 CITY OF FORT LAUDERDALE



FLA. REG. # LA6666848

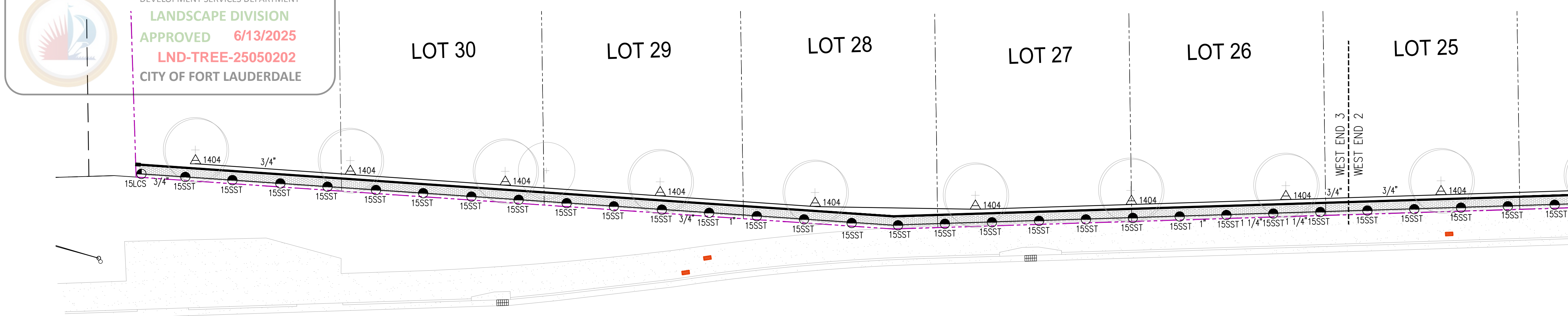
SCOTT C. HEYENEN, RLA LLC
 LANDSCAPE ARCHITECTURE AND LAND PLANNING
 1627 Funston St., Hollywood, FL 33020
 PHONE 954-920-4945 scotcheiland@gmail.com

PERIMETER WALL : RIVERSOUND LOTS : #1-30
 Davie Blvd., Fort Lauderdale, Florida
 LANDSCAPE IRRIGATION PLAN
 SITE

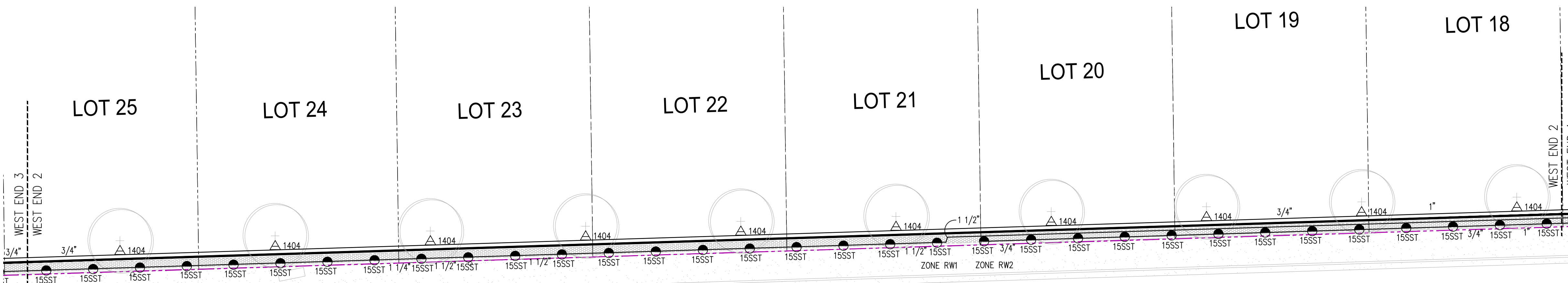
NO. REVISION DATE
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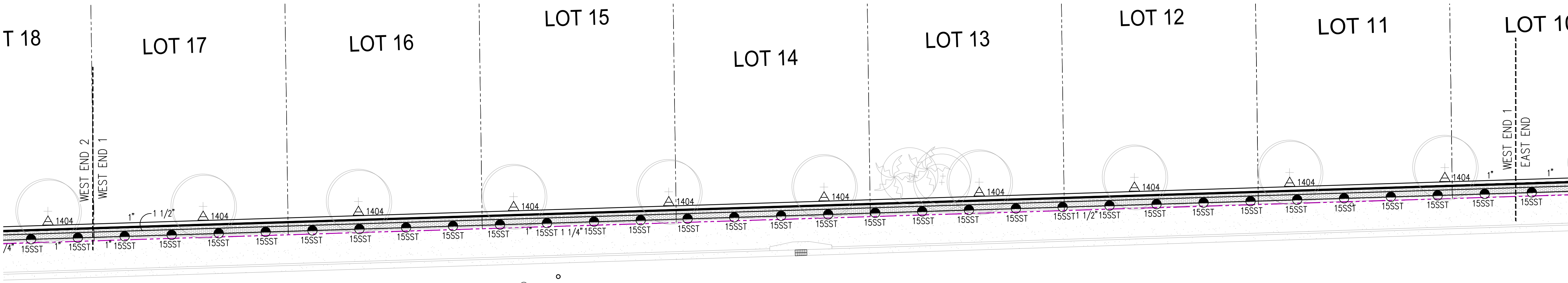
IR-1



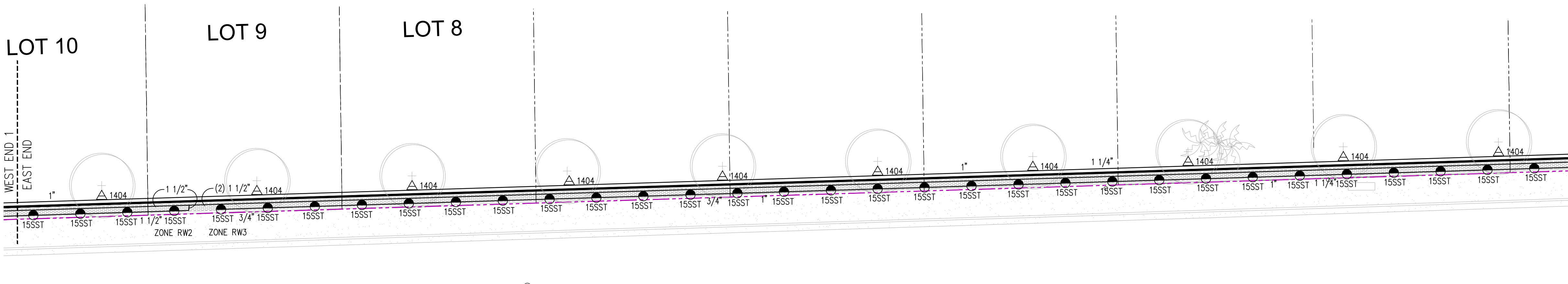
LANDSCAPE IRRIGATION PLAN (WEST END 3)



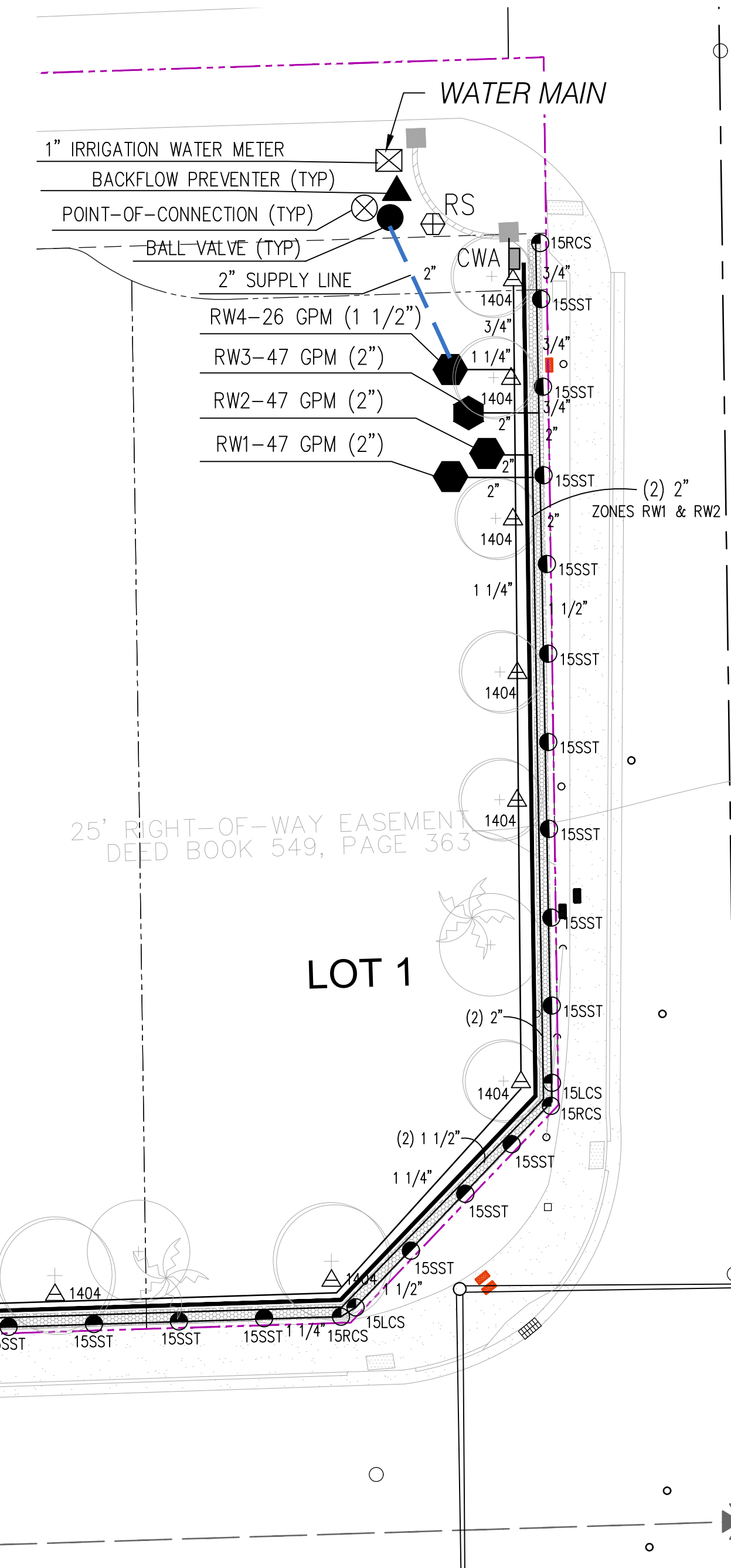
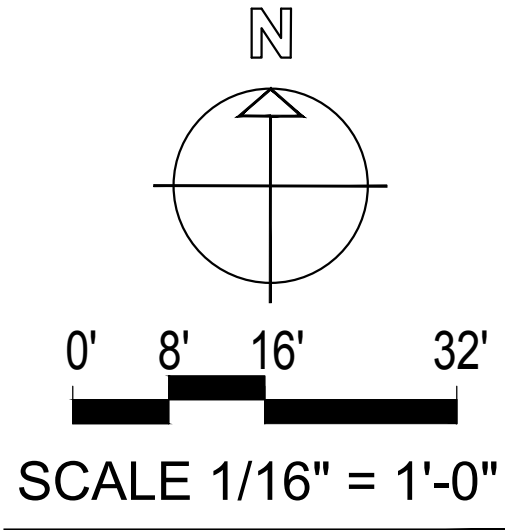
LANDSCAPE IRRIGATION PLAN (WEST END 2)



LANDSCAPE IRRIGATION PLAN (WEST END 1)



LANDSCAPE IRRIGATION PLAN (EAST END)





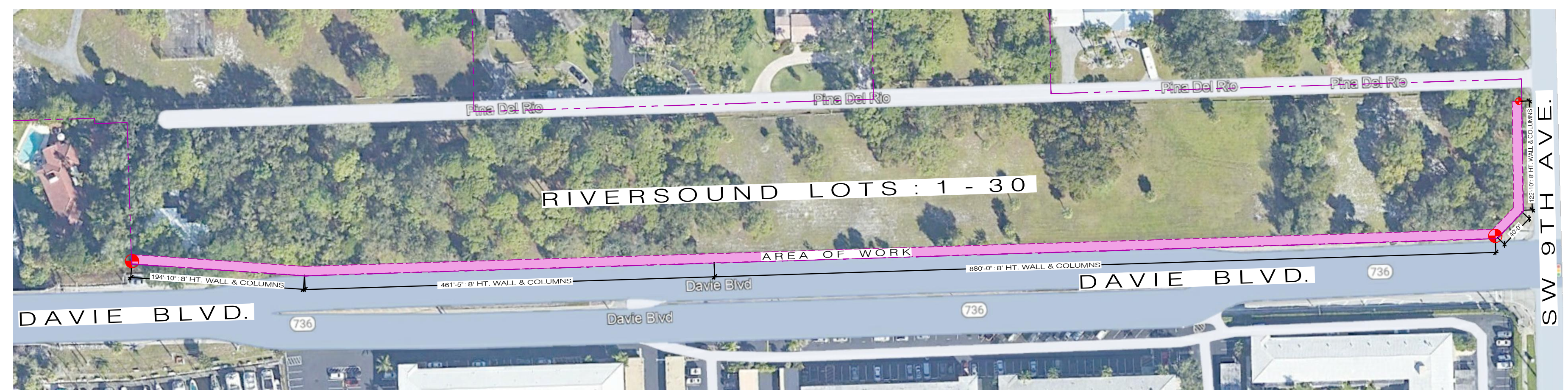
- NOTES - SEE PERMACAST WALL ENGINEERING DRAWINGS FOR PERMITTING & CONSTRUCTION INFORMATION :**
- WALL & COLUMN GENERAL NOTES
 - WALL & COLUMN LAYOUT DIMENSIONS
 - WALL & COLUMN COMPONENT DIMENSIONS & DETAILS
 - WALL & COLUMN STRUCTURAL & FOUNDATION



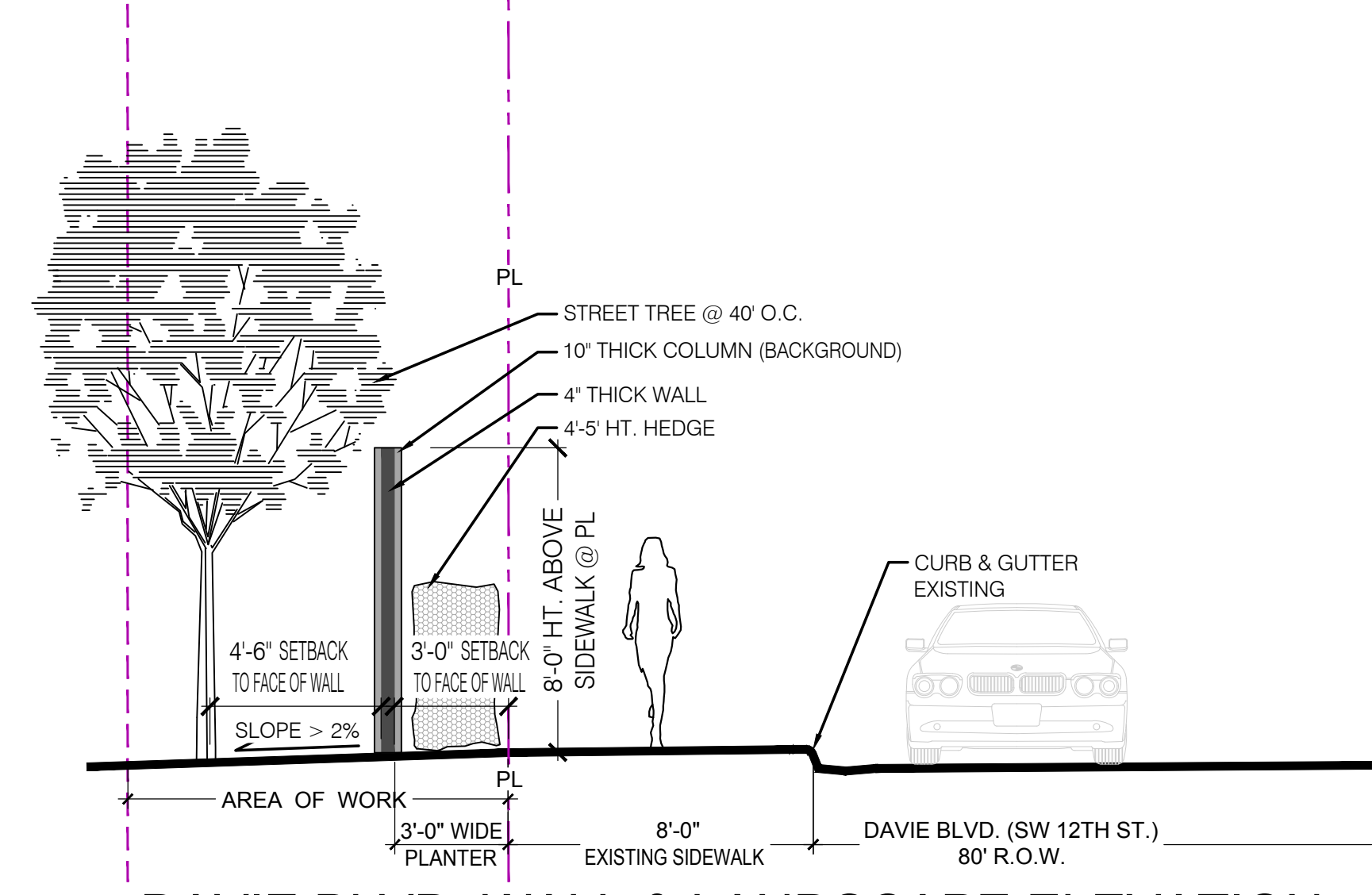
Stacked Stone

STYLE / FINISH / COLOR IMAGE : 8' & 6' HT. WALL & COLUMNS @ 19'-6" O.C. (NTS)

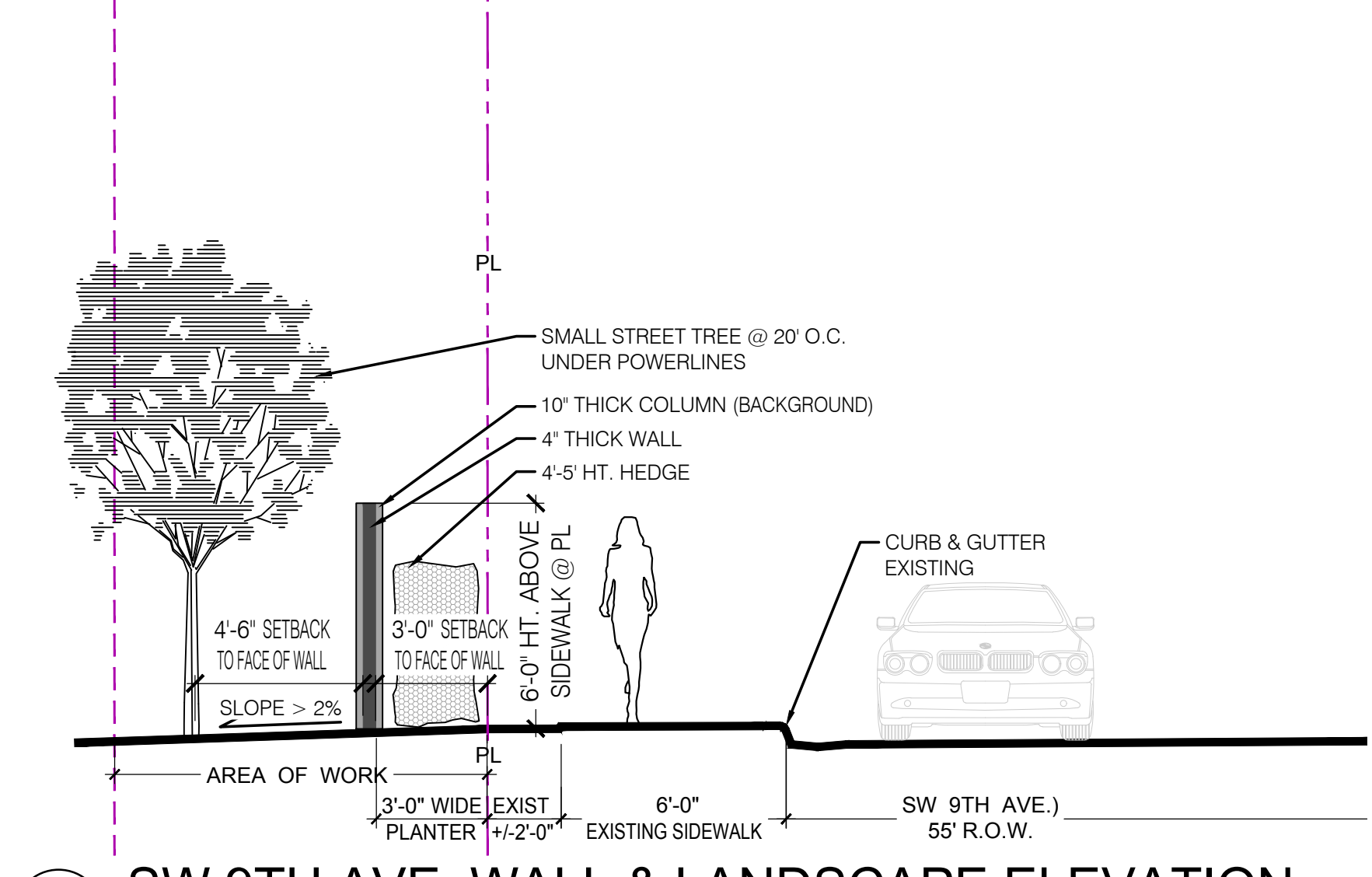
MFR. PERMACAST : PRECAST CONCRETE FENCE
 STYLE : PERMAWALL 2.0 - STACKED STONE



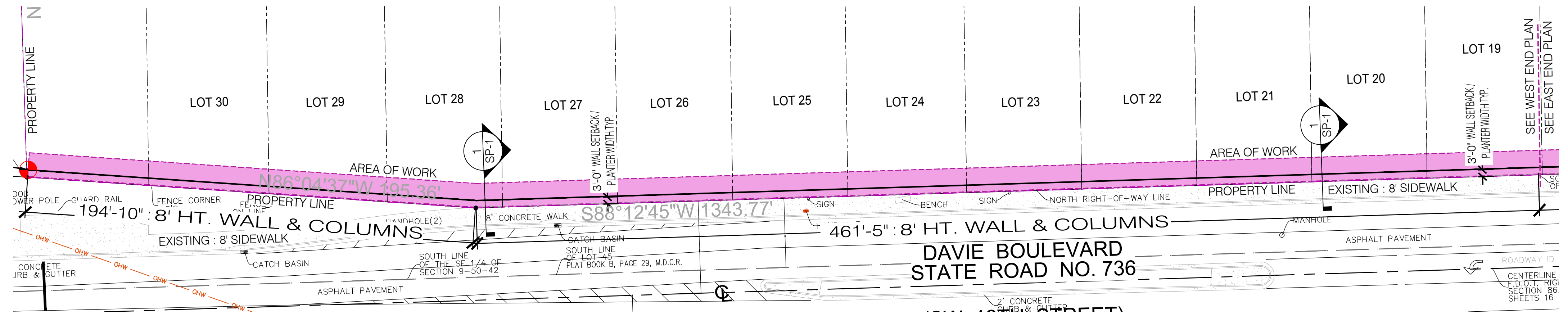
PROJECT LOCATION (NTS)



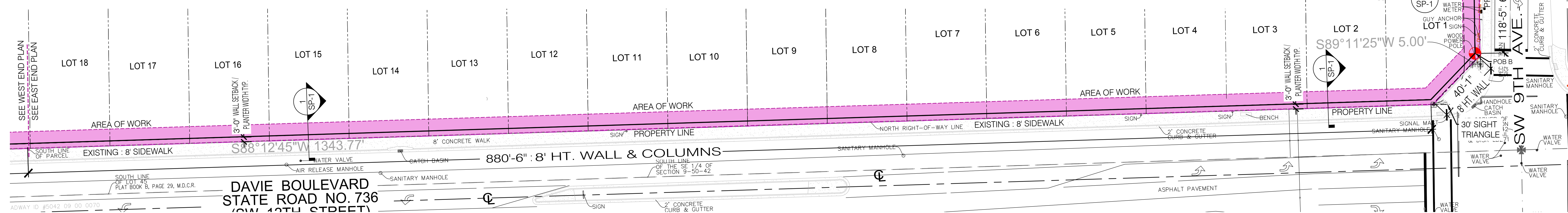
1 DAVIE BLVD. WALL & LANDSCAPE ELEVATION
 SCALE: 1/4"=1'-0"



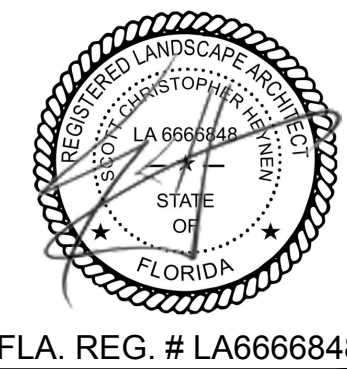
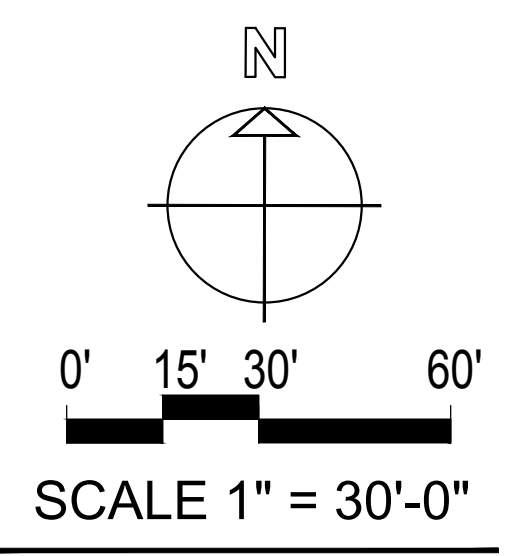
2 SW 9TH AVE. WALL & LANDSCAPE ELEVATION
 SCALE: 1/4"=1'-0"



SITE PLAN : 8' HT. WALL & COLUMNS LAYOUT (WEST END)



SITE PLAN : 8' HT. WALL & COLUMNS LAYOUT (EAST END) OF DAVIE BLVD. - STEPPED DOWN TO 6' HT. WALL PARALLEL TO SW 9TH AVE.



FLA. REG. # LA6666848
SCOTT C. HEYENEN, RLA LLC
 LANDSCAPE ARCHITECTURE AND LAND PLANNING
 1627 Funston St., Hollywood, FL 33020
 PHONE 954-920-4945 scottchland@gmail.com

PERIMETER WALL : RIVERSOUND LOTS : #1-30
Davie Blvd., Fort Lauderdale, Florida
 SITE SITE PLAN : WALL LAYOUT, EXAMPLE IMAGE, SPECS. & DETAIL

NO. REVISION DATE
 DATE: 8 MAY 2025
 DRAWING: PERMIT
 DRAWN BY: SCH
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SP-1

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Revised 11-17-2022

Select One Trade: Building Electrical Plumbing Mechanical Other _____

Application Number: _____ Application Date: **05/05/2025**

1

Job Address: **1151 SW 9th Ave** Unit: _____ City: **FORT LAUDERDALE**

Tax Folio No.: **504209010322** Flood Zn: _____ BFE: _____ Floor Area: _____ Job Value: **224,750**

Building Use: _____ Construction Type: **Type IA** Occupancy Group: _____

Present Use: **00 - Vacant residential** Proposed Use: _____

Description of Work: **Installing 175' LF of 6'H and 1550' LF of 8'H precast concrete wall.**

New Addition Repair Alteration Demolition Revision Other: _____

Legal Description: VALENTINES SUB B-29 D E 1495.80 OF TRACT 45, LESS R/W & LESS LOTS 11 THRU 17 AS DESCIN INSTR # 119846431 Attachment

2

Property Owner: **New River Point LLC** Phone: **954-760-4888** Email: **lwalker@flagerduval.com**

Owner's Address: **717 Middle River Dr** City: **Fort Lauderdale** State: **FL** Zip: **33304**

3

Contracting Co.: **Permacast LLC** Phone: **888-977-9255** Email: **permitting@permacastwalls.com**

Company Address: **6015 21st St E** City: **Bradenton** State: **FL** Zip: **34203**

Qualifier's Name: **Gary Craddock** Owner-Builder License Number: **CBC1256823**

4

Architect/Engineer's Name: _____ Phone: _____ Email: _____

Architect/Engineer's Address: _____ City: _____ State: _____ Zip: _____

Bonding Company: _____

Bonding Company's Address: _____ City: _____ State: _____ Zip: _____

Fee Simple Titleholder's Name (if other than the owner) _____

Fee Simple Titleholder's Name (if other than the owner) _____ City: _____ State: _____ Zip: _____

Mortgage Lender's Name: _____

Mortgage Lender's Address: _____ City: _____ State: _____ Zip: _____

BROWARD COUNTY UNIFORM BUILDING PERMIT APPLICATION

Job Address: 1151 SW 9th Ave Unit: City: FORT LAUDERDALE

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

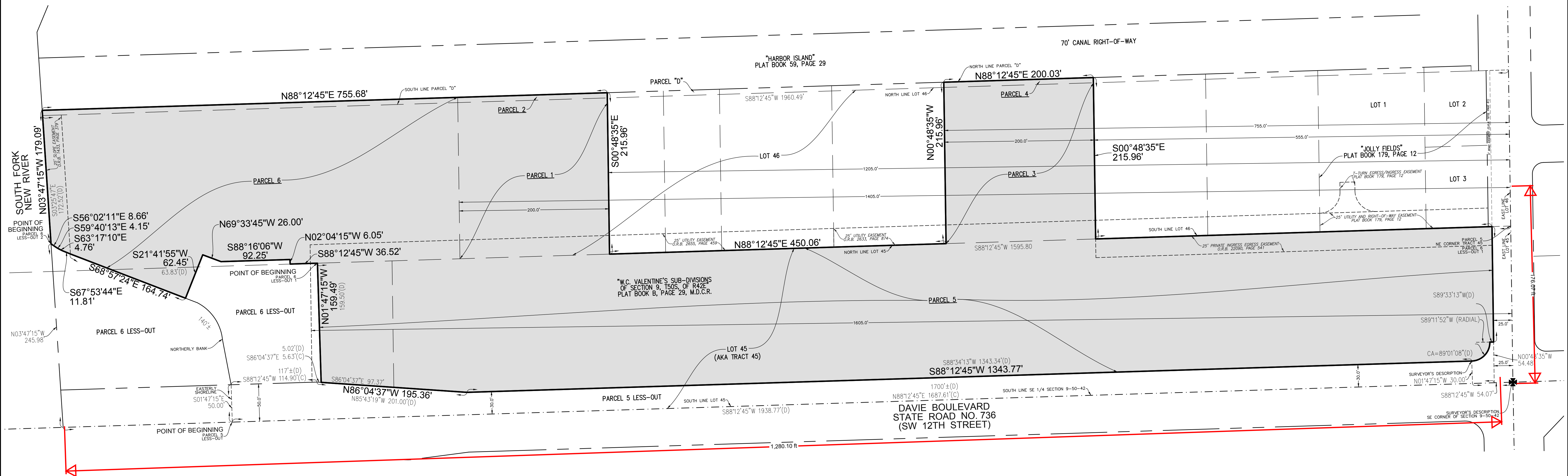
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Notary section containing two columns for signatures and identification. Left column: Signature of Property Owner or Agent (Including Contractor), State of Florida, County of, Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this day of, 20 by, (Type/Print Property Owner or Agent Name), NOTARY'S SIGNATURE as to Owner or Agent's Signature, Notary Name, (Print, Type or Stamp Notary's Name), Personally Known, Produced Identification, Type of Identification Produced. Right column: Signature of Qualifier, State of Florida, County of MANATEE, Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization, this 5 day of May, 2025 by Gary Craddock, (Type/Print Qualifier or Agent Name) LISA M. SHUMWAY, Commission # HH 210956, Expires April 22, 2026, NOTARY'S SIGNATURE as to Qualifier or Agent's Signature, Notary Name Lisa Shumway, (Print, Type or Stamp Notary's Name), Personally Known X, Produced Identification, Type of Identification Produced.

APPROVED BY: Permit Officer Issue Date: Code in Effect: FOR OFFICE USE ONLY

A jurisdiction may use a supplemental page requesting additional information and citing other conditions, please inquire.

Note: If any development work as described in FS 380.04 Sec. 2 a-g is to be performed, a development permit must be obtained prior to the issuance of a building permit.



LEGAL DESCRIPTION (BY SURVEYOR):

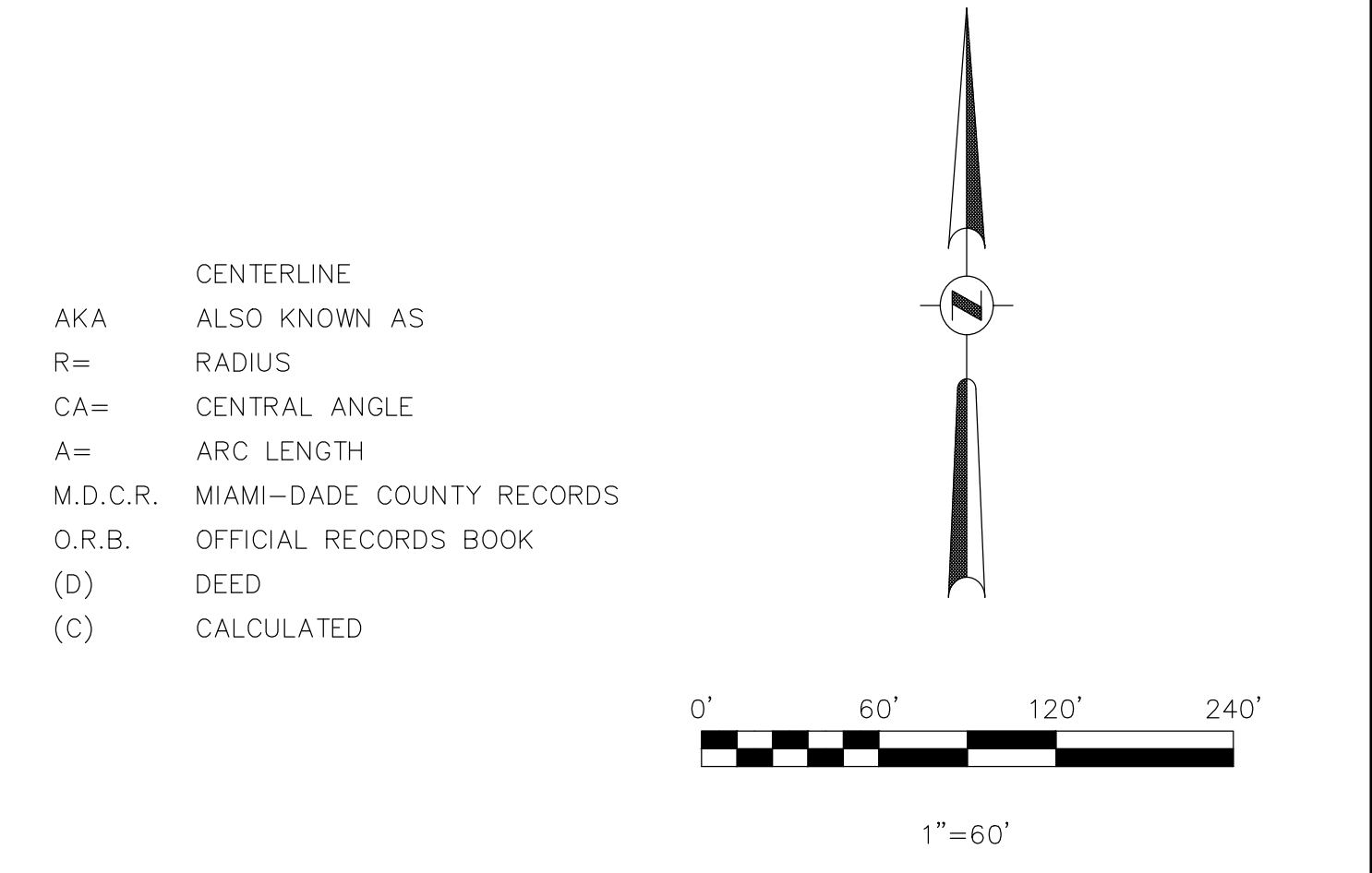
A PORTION OF LOTS 45 AND 46, "VALENTINE'S SUBDIVISION OF SECTION 9, TOWNSHIP 50 SOUTH, RANGE 42 EAST", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 29, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND PORTIONS OF PARCEL "D", "HARBOR ISLAND", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 59, PAGE 29, OF THE PUBLIC RECORDS OF BROWARD COUNTY, ALL BEING FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 9; THENCE SOUTH 88°12'45" WEST ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER (1/4) OF SAID SECTION 9, ALSO BEING THE SOUTH LINE OF SAID LOT 45, FOR 54.07 FEET; THENCE NORTH 01°47'15" WEST 30.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°12'45" WEST ALONG A LINE 30.00 FEET NORTH OF AND PARALLEL WITH SAID SOUTH LINE OF LOT 45 FOR 1343.77 FEET; THENCE NORTH 86°04'37" WEST 195.36 FEET; THENCE NORTH 01°47'15" WEST ALONG A LINE PERPENDICULAR TO THE NORTH LINE OF SAID LOT 45 FOR 159.49 FEET TO A POINT ON SAID NORTH LINE OF LOT 45 BEING 159.80 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT 45 AS MEASURED ALONG THE NORTH LINE THEREOF; THENCE SOUTH 88°12'45" WEST ALONG SAID NORTH LINE 36.52 FEET; THENCE NORTH 02°04'15" WEST 6.05 FEET; THENCE SOUTH 88°16'06" WEST 92.25 FEET; THENCE NORTH 69°33'45" WEST 26.00 FEET; THENCE SOUTH 21°41'55" WEST 62.45 FEET TO THE MEAN HIGH WATER LINE OF SOUTH FORK NEW RIVER AS FILED WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF SURVEYING AND MAPPING NUMBER 5590; THENCE ALONG SAID MEAN HIGH WATER LINE THE FOLLOWING FIVE (5) COURSES AND DISTANCES: 1) NORTH 68°57'24" WEST 164.74 FEET; 2) NORTH 67°53'44" WEST 11.81 FEET; 3) NORTH 63°17'10" WEST 4.76 FEET; 4) NORTH 59°40'13" WEST 4.15 FEET; 5) NORTH 56°02'11" WEST 8.66 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE WEST LINE OF SAID PARCEL "D", "HARBOR ISLAND"; THENCE NORTH 03°47'15" WEST ALONG SAID SOUTHERLY EXTENSION AND SAID WEST LINE 179.09 FEET TO THE NORTHWEST CORNER OF SAID PARCEL "D"; THENCE NORTH 88°12'45" EAST ALONG THE NORTH LINE OF SAID PARCEL "D" 755.68 FEET TO A POINT ON A LINE 1205.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 46; THENCE SOUTH 00°48'35" EAST ALONG SAID LINE 215.96 FEET TO THE NORTH LINE OF SAID LOT 45; THENCE NORTH 88°12'45" EAST ALONG SAID NORTH LINE 450.06 FEET TO A POINT ON A LINE 755.00 FEET WEST OF AND PARALLEL WITH SAID EAST LINE OF LOT 46; THENCE NORTH 00°48'35" WEST ALONG SAID LINE 215.96 FEET TO A POINT ON SAID NORTH LINE OF TRACT "D"; THENCE NORTH 88°12'45" EAST ALONG SAID NORTH LINE 200.03 FEET TO A POINT ON A LINE 555.00 FEET WEST OF AND PARALLEL WITH SAID EAST LINE OF LOT 46; THENCE SOUTH 00°48'35" EAST ALONG SAID LINE 215.96 FEET TO A POINT ON SAID NORTH LINE OF LOT 45; THENCE NORTH 88°12'45" EAST ALONG SAID NORTH LINE 530.07 FEET TO A POINT ON A LINE 25.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID LOT 45; THENCE SOUTH 00°48'35" EAST ALONG SAID LINE 154.47 FEET; THENCE SOUTH 89°11'25" WEST 5.00 FEET TO A POINT ON THE ARC OF A CIRCULAR CONCAVE NORTHWESTERLY FROM WHICH A RADIAL LINE BEARS SOUTH 89°11'52" WEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 89°00'53", FOR AN ARC DISTANCE OF 38.84 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING 483,989 SQUARE FEET (11.111 ACRES), MORE OR LESS.

NOTES:

- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- FLOOD ZONE: AE/AH/X; BASE FLOOD ELEVATION: 5 FEET/5 FEET/NONE; PANELS #12011C0556H & #12011C0557H; COMMUNITY #125105; MAP DATE: 8/18/14.
- THIS SITE LIES IN SECTION 9, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 1990 ADJUSTMENT, FL-E ZONE, WITH THE NORTH LINE OF LOT 46 BEING N88°12'45".
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: LEeward CAPITAL PARTNERS.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A TITLE CERTIFICATE, SEARCH NUMBER 23-806-1, PREPARED BY PARAMOUNT TITLE SERVICES INC, SEARCH END DATED FEBRUARY 13TH, 2023 AT 11:00 PM. THE FOLLOWING ITEMS ARE EASEMENTS AND RIGHT-OF-WAY DOCUMENTS OF SAID CERTIFICATE:
 - ITEM 1: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH IN PLAT BOOK B, PAGE 29, APPLY TO THIS SITE BUT THERE ARE NO PLOTTABLE EASEMENTS.
 - ITEM 2: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS SET FORTH IN PLAT BOOK 59, PAGE 29, APPLY TO THIS SITE BUT THERE ARE NO PLOTTABLE EASEMENTS.
 - ITEM 3: EASEMENT DEED IN DEED BOOK 549, PAGE 361 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 4: EASEMENT DEED IN DEED BOOK 549, PAGE 361 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 5: WARRANTY DEED IN O.R.B. 838, PAGE 53, APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 6: CERTIFICATE OF PAYMENT IN O.R.B. 1369, PAGE 143 DOES NOT APPLY TO THIS SITE.
 - ITEM 7: DEED IN O.R.B. 1399, PAGE 50 DOES NOT APPLY TO THIS SITE.
 - ITEM 8: SLOPE EASEMENT IN O.R.B. 1399, PAGE 51 DOES NOT APPLY TO THIS SITE.
 - ITEM 9: QUIT CLAIM DEED IN O.R.B. 1399, PAGE 53 DOES NOT APPLY TO THIS SITE.
 - ITEM 10: DEED IN O.R.B. 1399, PAGE 55 DOES NOT APPLY TO THIS SITE.
 - ITEM 11: DEED IN O.R.B. 1433, PAGE 378 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
 - ITEM 12: SLOPE EASEMENT IN O.R.B. 1433, PAGE 379 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 13: EASEMENT IN O.R.B. 1732, PAGE 475 APPLIES TO THE ADJACENT RIGHT-OF-WAY BUT CANNOT BE PLOTTED.
 - ITEM 14: EASEMENT IN O.R.B. 2633, PAGE 874 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 15: EASEMENT IN O.R.B. 2655, PAGE 459 APPLIES TO THIS SITE AS DEPICTED HEREON.
 - ITEM 16: COUNTY DEED IN O.R.B. 2687, PAGE 474 DOES NOT APPLY TO THIS SITE.
 - ITEM 17: EMINENT DOMAIN RESOLUTION OF THE SECRETARY OF TRANSPORTATION IN O.R.B. 16278, PAGE 509 DOES NOT APPLY TO THIS SITE.
- ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS, UNLESS OTHERWISE NOTED.
- THE FLOOD ZONE DESIGNATION LINES DEPICTED HEREON ARE PLACED IN APPROXIMATE LOCATIONS, AS SCALED FROM THE IMAGE FROM THE FEMA.ORG WEBSITE.



5	
4	
3	
2	
1	

RIVERSOUND

CERTIFICATION:

I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

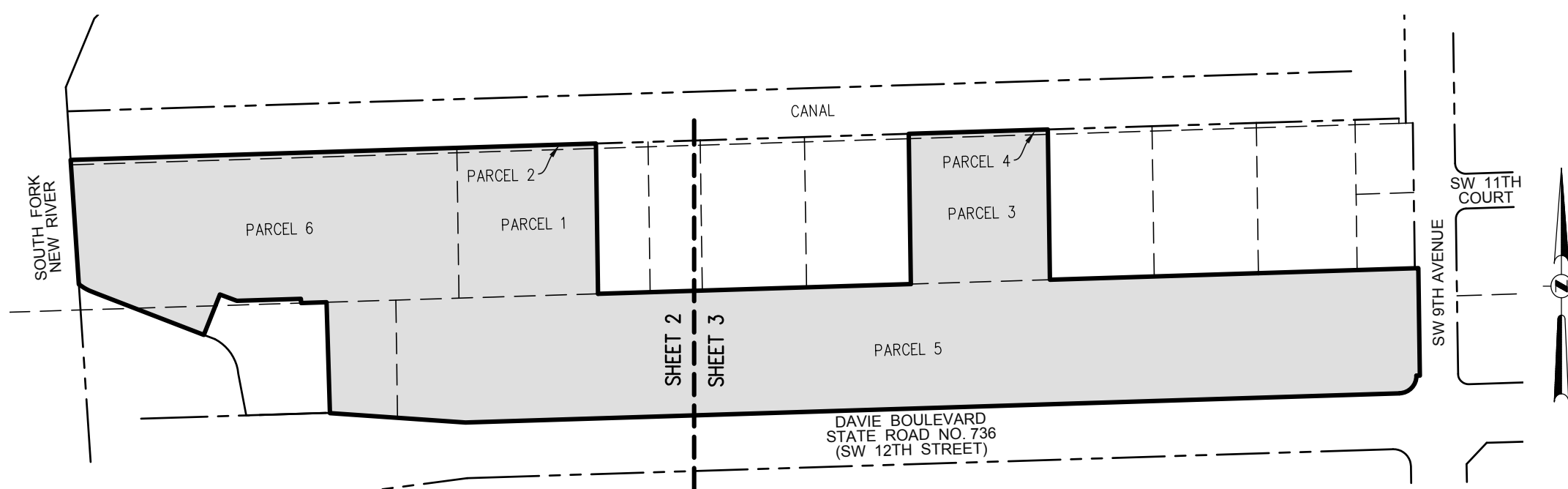
BOUNDARY SURVEY

PULICE LAND SURVEYORS, INC.

TELEPHONE: (954) 572-1777
 FAX: (954) 572-1778
 E-MAIL: surveys@puliceandsurveyors.com
 WEBSITE: www.puliceandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB#3870

STATE OF FLORIDA

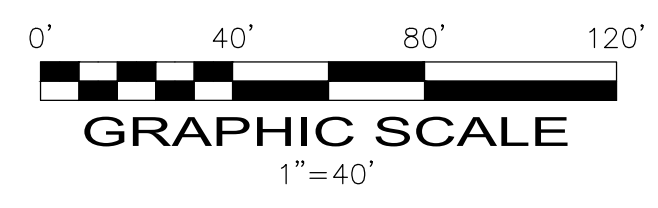
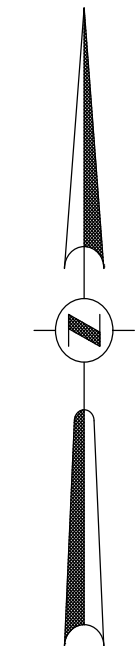
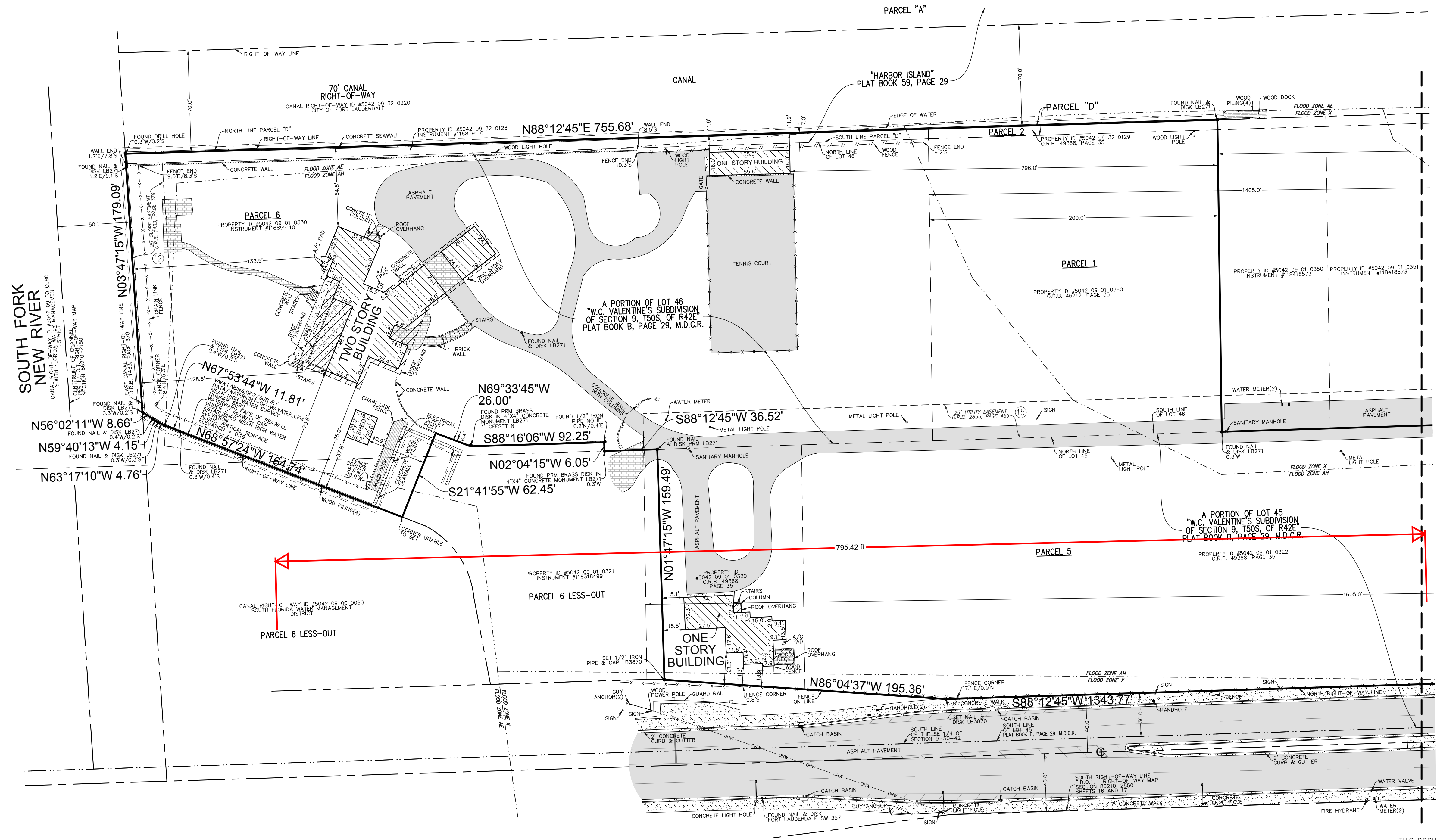
- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- DONNA C. WEST, PROFESSIONAL SURVEYOR AND MAPPER LS4290



VICINITY MAP
NOT TO SCALE

LEGEND & ABBREVIATIONS

- CONCRETE
- ASPHALT PAVEMENT
- BRICK PAVERS
- OVERHEAD WIRES
- NON-VEHICULAR ACCESS LINE
- A/C AIR CONDITIONING
- CENTERLINE
- R= RADIUS
- CA= CENTRAL ANGLE
- A= ARC LENGTH
- FPL FLORIDA POWER & LIGHT COMPANY
- LB LICENSED BUSINESS
- M.D.C.R. MIAMI-DADE COUNTY RECORDS
- O.R.B. OFFICIAL RECORDS BOOK
- TITLE COMMITMENT NUMBER
- TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)



TRACT "A"
"RIO NUEVO ISLE"
PLAT BOOK 60, PAGE 19
RIO NUEVO, A CONDOMINIUM
O.R.B. 3144, PAGE 50
O.R.B. 3336, PAGE 19

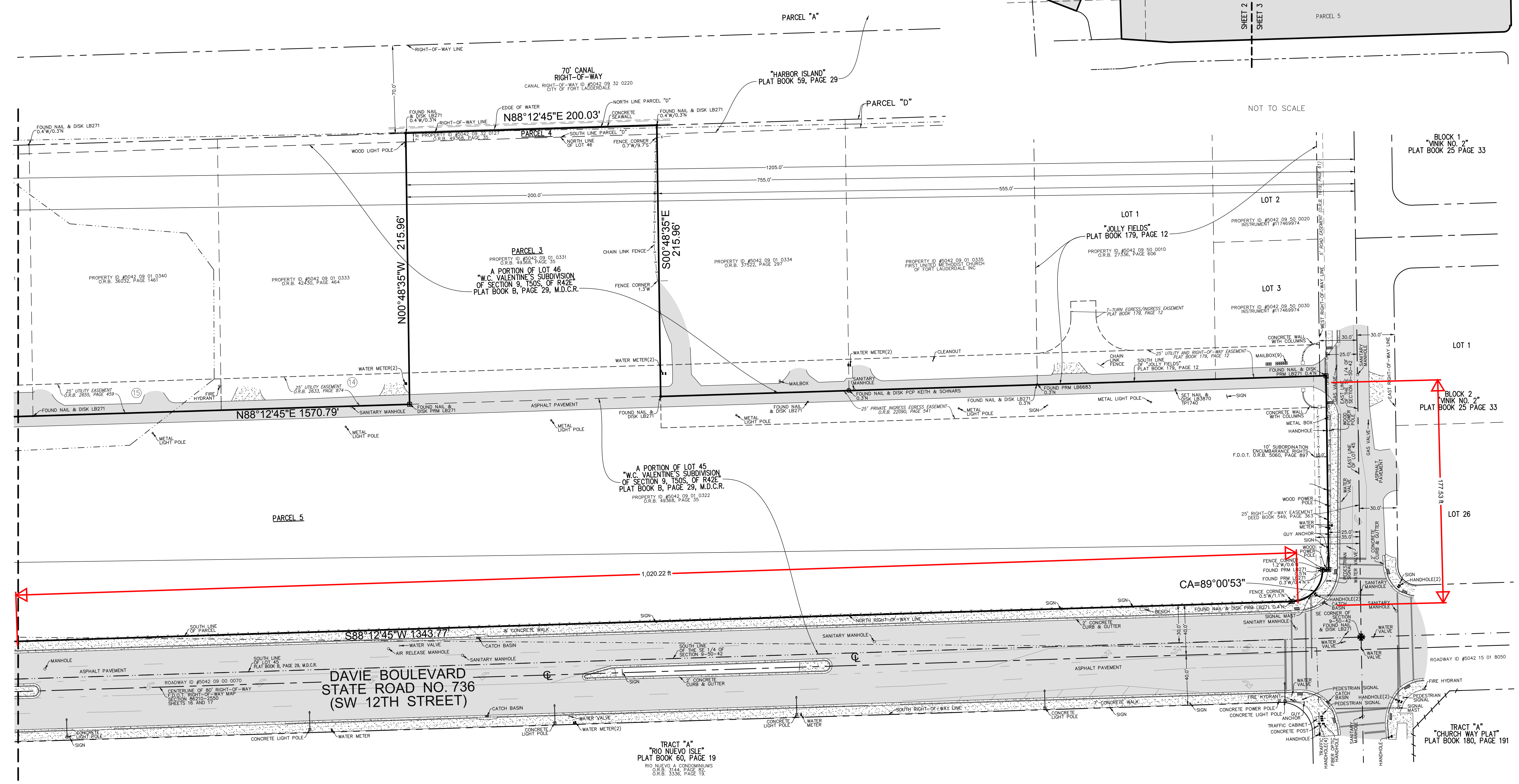
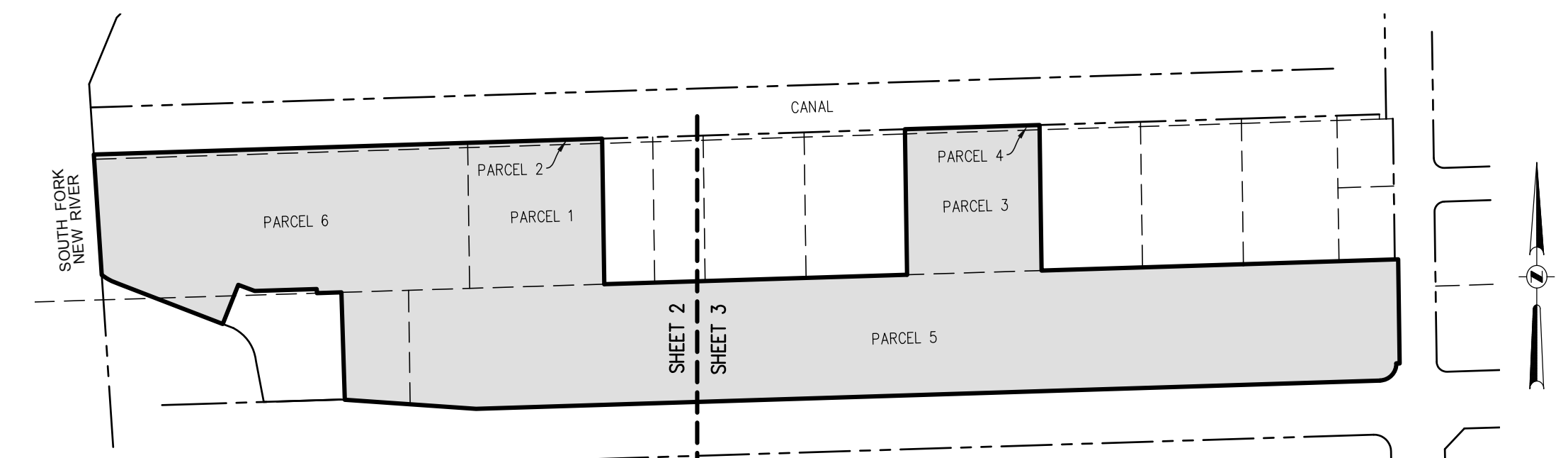
THIS DOCUMENT IS NEITHER FULL NOR COMPLETE
WITHOUT SHEETS 1 THRU 3, INCLUSIVE

RIVERSOUND

BOUNDARY SURVEY

PULICE LAND SURVEYORS, INC.

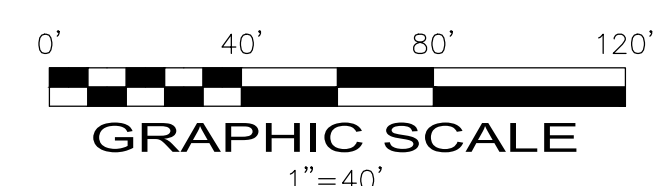
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FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870



NOT TO SCALE

MATCH LINE
SEE SHEET 2

- LEGEND & ABBREVIATIONS**
- CONCRETE
 - ASPHALT PAVEMENT
 - BRICK PAVERS
 - OVERHEAD WIRES
 - NON-VEHICULAR ACCESS LINE
 - A/C AIR CONDITIONING
 - CENTERLINE
 - R= RADIUS
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RIVERSOUND

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WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

Issues for record BLD-GEN-25050106

Job Address: 1151 SW 9 AVE, FORT LAUDERDALE FL 33315

Job Description: INSTALLING 175' LF OF 6'H AND 1550' LF OF 8'H PRECAST CONCRETE WALL. *THE PRECAST CONCRETE COLUMN WITH INTEGRAL FOOTING WILL BE EMBEDDED DIRECTLY INTO THE GROUND, WITH SOIL BACKFILLED AND PNEUMATICALLY COMPACTED AROUND IT TO PROVIDE STABILITY. NO CONCRETE FOOTING WILL BE POURED ON SITE.**

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Engineering	Open	Wall vs Chain-link fence Is the wall going to replace the chain-link fence in-kind?		Roger Lemieux	Roger Lemieux	Yes
Landscape	Open	Continuous planting w/ mulch required Fences facing the street are required to be setback a minimum of 3 feet from the property line and must be planted with continuous Shrubs or groundcover, AND trees in that area between property line and fence. These plantings shall be planted between the street and the property line as per ULDR 47-19.5C. a. Shrubs to be 2 feet tall planted 2 feet apart. b. Groundcover to be 6 inches tall planted 6 inches apart. c. Trees to be standard or flowering at 10 feet tall, or palms at 8 feet clear trunk, planted an average of 1 tree per 20 feet or portion thereof. d. Mulch with an appropriate organic material to a minimum depth of two (2) inches e. Please clearly note and illustrate this on plans.		Kelley Shafer	Kelley Shafer	Yes
Building	Open	Zoning See Zoning notes		Michael Rinkus	Michael Rinkus	Yes
Zoning	Open	TSA ULDR Sec. 47-39.A.1.b. Temporary Structures Affidavit recorded with Broward county required for all fencing encroaching into the utility easements.		Michael Rinkus	Michael Rinkus	Yes
Zoning	Open	Zoning Affidavit ULDR Sec. 47-24.1.F.3 Please provide notarized Zoning Affidavit.		Michael Rinkus	Michael Rinkus	Yes

Discipline	Status	Details	Attached To	Created By	Last Updated By	Modifications Required
Zoning	Open	<p>Sight Triangle ULDR Sec. 47-2.2.Q. Provide sight triangle for unobstructed visibility of motorists entering or leaving a street or driveway intersection in which nothing, whether stationary or moveable (i.e., vehicles, vehicular maneuvering area, signs, landscaping or objects of any kind) is permitted to be located between a height of two and one-half (2½) and eight (8) feet above the elevation of the adjoining edge of pavement. The triangle can be calculated at Twenty-five (25) feet from the intersection point of the extended property lines at a street and a street.</p>		Michael Rinkus	Michael Rinkus	Yes
Zoning	Open	<p>Setback ULDR Sec. 47-19.5 Fencing along the property line abutting a street must be minimum average of 3' from the property line.</p>		Michael Rinkus	Michael Rinkus	Yes
Zoning	Open	<p>Separate Permits Separate permits required for each folio.</p>		Michael Rinkus	Michael Rinkus	Yes
Zoning	Open	<p>Site Plan/Location FBC BCA 107.2.5 Digital application for permit shall include a site plan that clearly shows all dimensions from the new and existing structures to the adjacent property lines. ULDR Sec. 47-19.5.B Fencing shall be within the property line. Show fencing and fencing foundations to be within and not on top of the property lines.</p>		Michael Rinkus	Michael Rinkus	Yes



GENERAL NOTES:

CODES AND STANDARDS

- STRUCTURAL DESIGN BASED ON THE 8TH EDITION OF THE 2023 FLORIDA BUILDING CODE.

DESIGN

- WIND SPEED = 160 MPH (3 SEC GUST)
- EXPOSURE - C
- Kd = 0.85
- CONSTRUCTION TYPE - I OR II (NONCOMBUSTIBLE MATERIALS)

SOIL

- DESIGN BASED ON DRY - MEDIUM DENSE SANDY SOIL

CONCRETE STRENGTH

- MINIMUM 28 DAY COMPRESSIVE STRENGTH OF PRECAST ELEMENTS F'c=5,500 PSI

MATERIALS:

- CEMENT PER ASTM C-595 TYPE 1L

AGGREGATES FOR CONCRETE:

- NORMAL WEIGHT AGGREGATE: FINE AND COARSE AGGREGATE PROVISIONS AND TEST METHODS SHALL MEET ASTM C33. MAXIMUM AGGREGATE SIZE OF 3/4".

ADMIXTURES:

- NO ADMIXTURES SHALL CAUSE AN INCREASE IN SHRINKAGE WHEN TESTED IN ACCORDANCE WITH ASTM C494 AND C157

STEEL

- REINFORCING STEEL FOR PANELS TO BE ASTM A1064 GRADE 80.
- ALL OTHER STEEL TO BE ASTM A615 GRADE 60.



THE PRECAST CONCRETE COLUMN WITH INTEGRAL FOOTING WILL BE EMBEDDED DIRECTLY INTO THE GROUND, WITH SOIL BACKFILLED AND PNEUMATICALLY COMPACTED AROUND IT TO PROVIDE STABILITY. NO CONCRETE FOOTING WILL BE Poured ON SITE.

April 7, 2025
 Prepared By
PERMACAST, LLC.
 6015 21st Street East, Bradenton, FL 34203
 TEL: 888.977.9255

Jose A. Hernandez, P.E.
 Florida Registration No. 88551

CUSTOMER

Flagler Duval Management

PROJECT

SW 9th Ave & Davie Blvd Project
 SW 9th Ave & Davie Blvd
 Fort Lauderdale, FL 33315

PROJECT: JD 7399

WALL TYPE:

6' PermaWall 2.0 (Stacked Stone)
 8' PermaWall 2.0 (Stacked Stone)

WIND DESIGN: 160 MPH (3 Second Gust)

EXPOSURE: C

RISK CATEGORY: 1

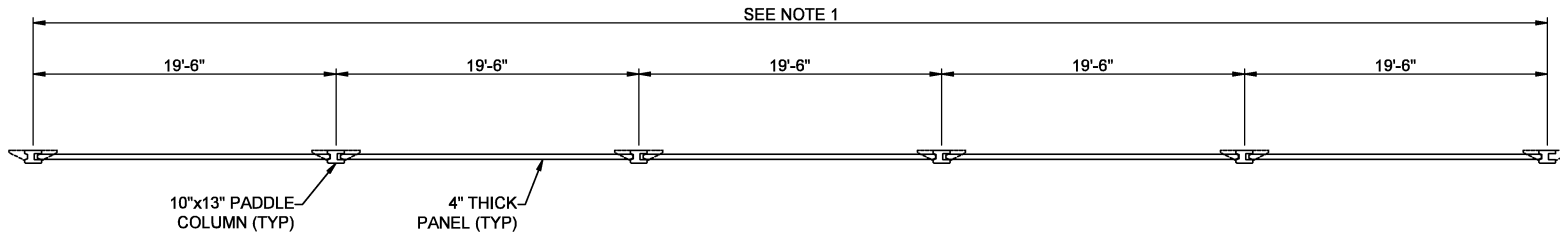
Digitally signed by Jose A Hernandez
 Date: 2025.04.08 07:53:46 -04'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSE A. HERNANDEZ ON THE DATE ADJACENT TO THE SEAL.

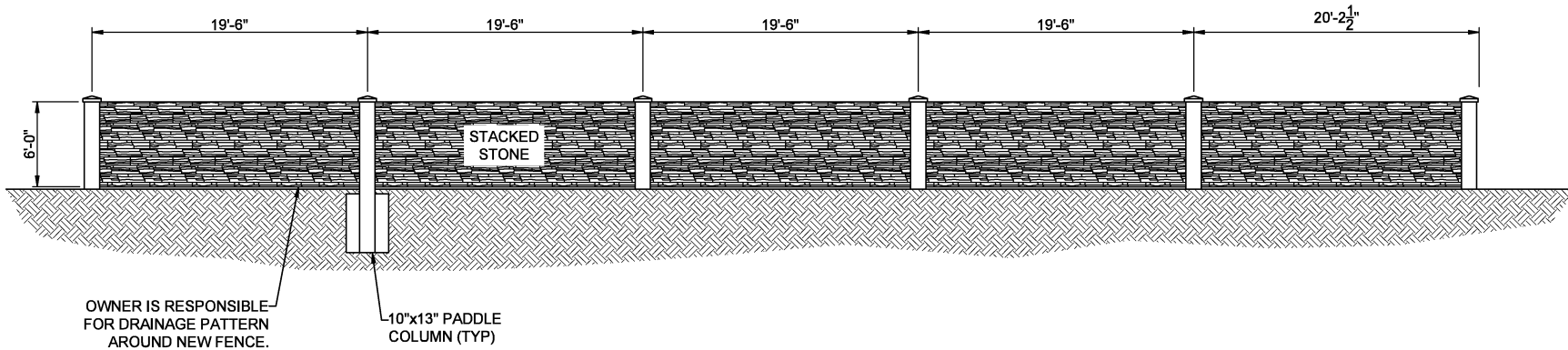
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DRAWING INDEX

DWG. NO.	TITLE
SHEET 1	COVER SHEET & GENERAL NOTES
SHEET 2	6' GENERAL WALL DIMENSIONS
SHEET 3	8' GENERAL WALL DIMENSIONS
SHEET 4	6' PADDLE COLUMN & PANEL DETAILS
SHEET 5	8' PADDLE COLUMN & PANEL DETAILS
SHEET 6	6' OPTIONAL FOUNDATION DETAILS
SHEET 7	8' OPTIONAL FOUNDATION DETAILS



WALL PLAN VIEW - GENERAL DIMENSIONS
SCALE: 1/4" = 1'-0"



TYPICAL 6' x 2.0 WALL ELEVATION - GENERAL DIMENSIONS
SCALE: 1/4" = 1'-0"

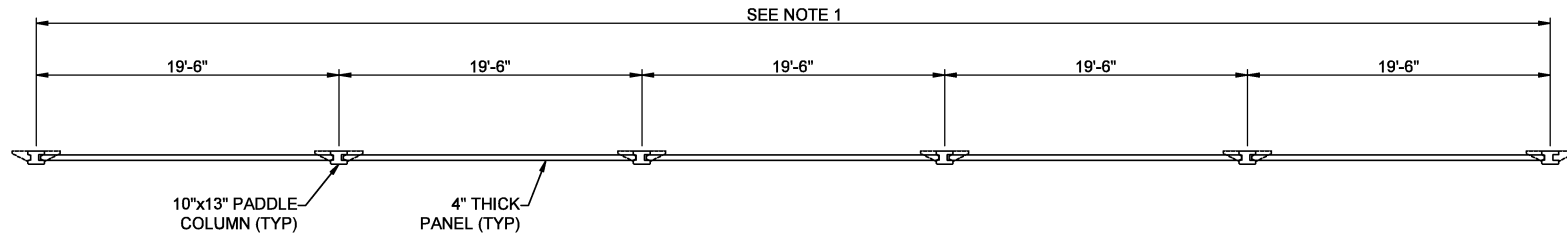
NOTES:

1. COLUMN CENTER-TO-CENTER SPACING VARIES BASED ON COLUMN KEYWAY(S).
 - 1.a. LARGE KEYWAY TO LARGE KEYWAY: 19'-5"
 - 1.b. SMALL KEYWAY TO LARGE KEYWAY: 19'-6"
 - 1.c. SMALL KEYWAY TO SMALL KEYWAY: 19'-7"
2. CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR OVERALL WALL LAYOUT.

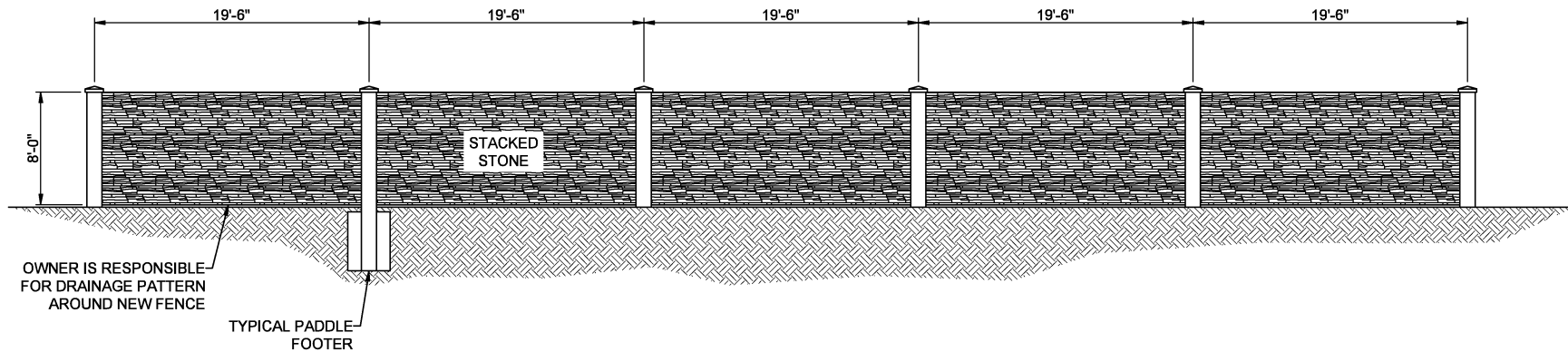
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										PRECAST CONCRETE WALL PERMAWALL		 PERMACAST <small>PERMANENT PRECAST CONCRETE WALLS</small>	
										6' GENERAL WALL DIMENSIONS			
										8075 21st Street East, Bradenton, FL 34203 Tel: 888.977.9255 www.permacastwalls.com		Jose A. Hernandez, P.E. P.E. #88551	
REFERENCE DRAWINGS <small>THIS DRAWING IS THE PROPERTY OF PERMACAST, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF PERMACAST, LLC IS STRICTLY PROHIBITED.</small>	NO.	DATE	REVISION	BY	CK	APP.	DESIGNED: CIVIL	DRAWN:	CHECKED:	PROJECT:	0 of 0	SHEET 2	0



WALL PLAN VIEW - GENERAL DIMENSIONS
SCALE: $\frac{1}{2}'' = 1'-0''$




TYPICAL 8 FT. x 2.0 WALL ELEVATION - GENERAL DIMENSIONS
SCALE: $\frac{1}{2}'' = 1'-0''$

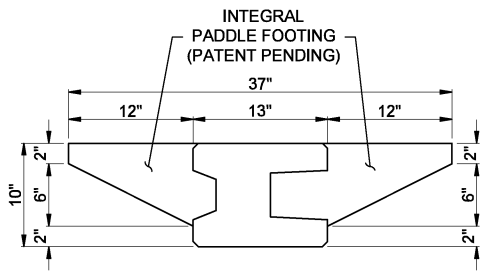
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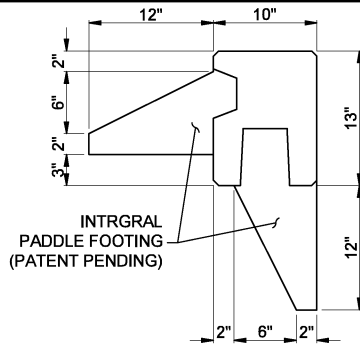
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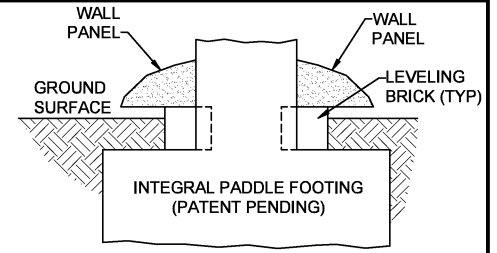
PRECAST CONCRETE WALL PERMAWALL 8' GENERAL WALL DIMENSIONS 8075 21st Street East, Bradenton, FL 34203 Tel: 888.977.9255 www.permacastwalls.com										 Jose A. Hernandez, P.E. P.E. #88551													
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REFERENCE DRAWINGS</th> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> <th>CK</th> <th>APP.</th> </tr> </thead> <tbody> <tr> <td> <small>THIS DRAWING IS THE PROPERTY OF PERMACAST, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING. IT IS TO BE KEPT IN THE POSSESSION OF THE CONTRACTOR AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PERMACAST, LLC.</small> </td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>											REFERENCE DRAWINGS	NO.	DATE	REVISION	BY	CK	APP.	<small>THIS DRAWING IS THE PROPERTY OF PERMACAST, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING. IT IS TO BE KEPT IN THE POSSESSION OF THE CONTRACTOR AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PERMACAST, LLC.</small>					
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CIVIL 0 of 0 SHEET 3 0										0													



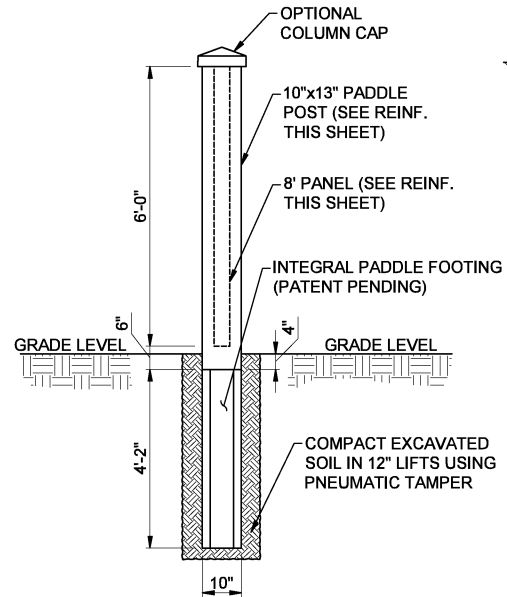
**PLAN VIEW
PADDLE COLUMN & FOOTER**
SCALE: 1" = 1'-0"



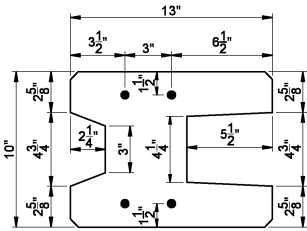
**PLAN VIEW
CORNER PADDLE COLUMN & FOOTER**
SCALE: 1" = 1'-0"



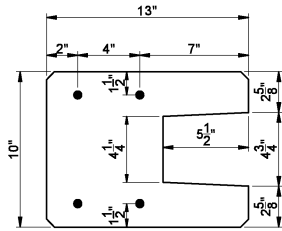
LEVELING BRICK DETAIL
SCALE: 3/4" = 1'-0"



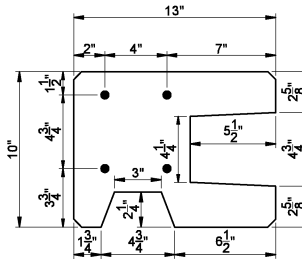
**TYPICAL EMBEDMENT FOR
6' PADDLE COLUMN**
SCALE: 3/8" = 1'-0"



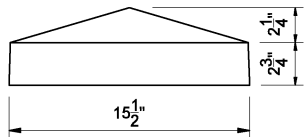
LINE PADDLE POST
SCALE: 1 1/2" = 1'-0"



END PADDLE POST
SCALE: 1 1/2" = 1'-0"



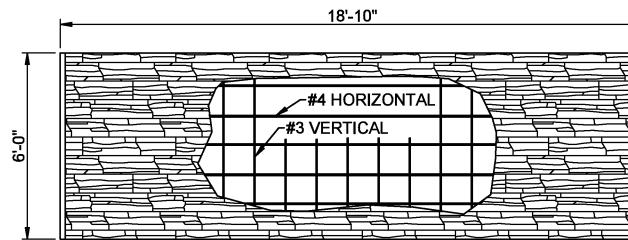
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SCALE: 1 1/2" = 1'-0"



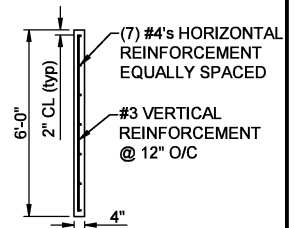
10"x13" COLUMN CAP
SCALE: 1 1/2" = 1'-0"

COLUMN REINFORCEMENT SCHEDULE

WALL HEIGHT	COLUMN REINF.
6' WALL @ 19.5' O.C.	(4) - #5 6 LBS. OF 1.5" FORTA FIBER PER YARD OF CONCRETE



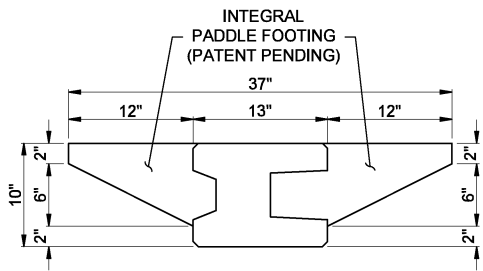
TYPICAL 6' (2.0) PERMAWALL PANEL
SCALE: 3/4" = 1'-0"



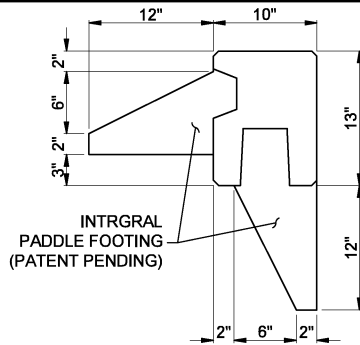
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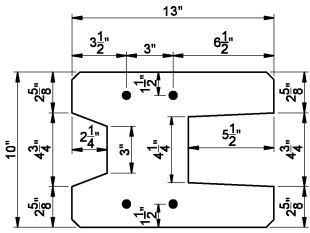
<p>PRECAST CONCRETE WALL PERMAWALL</p> <p>6' PADDLE COLUMN & PANEL DETAILS</p> <p>0115 21st Street East, Bradenton, FL 34203 Tel: 888.977.5255 www.permacastwalls.com</p>						<p>Jose A. Hernandez, P.E. P.E. #88551</p>	
<p>REFERENCE DRAWINGS</p> <p>DATE SCALE: AS NOTED AND FILED</p> <p>DATE: 10/15/2013</p> <p>SCALE: AS NOTED</p>	<p>NO. DATE REVISION</p>	<p>BY CK APP</p>	<p>DESIGNED: CIVIL</p>	<p>DRAWN: TFP</p>	<p>SHEET 4</p>	<p>0</p>	



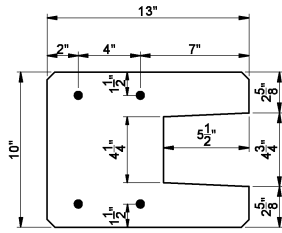
**PLAN VIEW
PADDLE COLUMN & FOOTER**
SCALE: 1" = 1'-0"



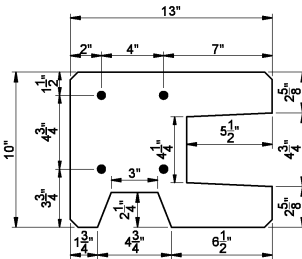
**PLAN VIEW
CORNER PADDLE COLUMN & FOOTER**
SCALE: 1" = 1'-0"



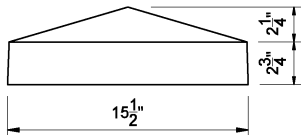
LINE PADDLE POST
SCALE: 1 1/2" = 1'-0"



END PADDLE POST
SCALE: 1 1/2" = 1'-0"



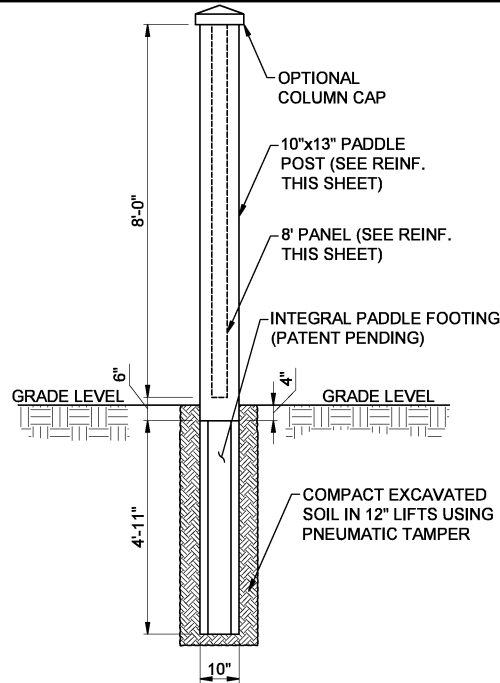
END PADDLE POST
SCALE: 1 1/2" = 1'-0"



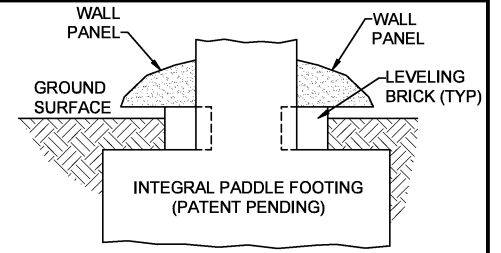
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SCALE: 1 1/2" = 1'-0"

COLUMN REINFORCEMENT SCHEDULE

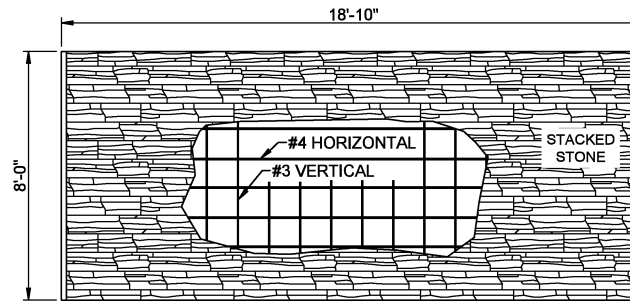
WALL HEIGHT	COLUMN REINF.
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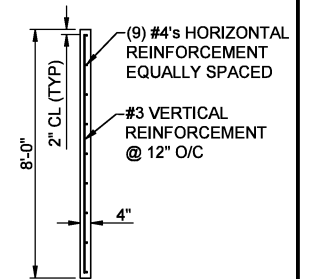
**TYPICAL EMBEDMENT FOR
8' PADDLE COLUMN**
SCALE: 3/8" = 1'-0"



LEVELING BRICK DETAIL
SCALE: 3/8" = 1'-0"



TYPICAL 8' (2.0) PERMAWALL PANEL
SCALE: 3/8" = 1'-0"



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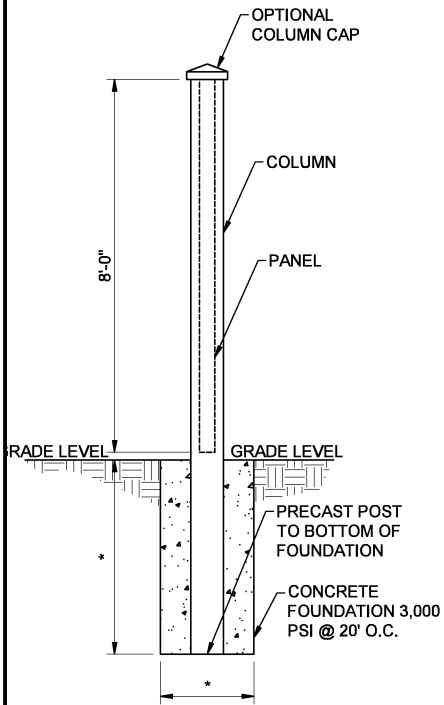
PRECAST CONCRETE WALL PERMAWALL						8' PADDLE COLUMN & PANEL DETAILS		 Jose A. Hernandez, P.E. P.E. #88551
REFERENCE DRAWINGS	NO.	DATE	REVISION	BY	CHK	APP	8015 21st Street East, Bradenton, FL 34203 Tel: 888.977.5255 www.permacastwalls.com	
DATE SIGNED IN THE PRESENCE OF A PROFESSIONAL SEALING AGENCY OR THE COUNTY CLERK OF THE COUNTY OF HILLSBOROUGH, FLORIDA. DATE OF SEALING: 12/15/2023 SEAL NO.: 1234567890 SEALING AGENCY: PERMACAST WALLS, INC.						CIVIL	0	SHEET 5 0

*** PIER FOUNDATION SCHEDULE**

WALL HEIGHT	DIAMETER	DEPTH
8' WALL HEIGHT ON 20' CENTERS	24"	64"

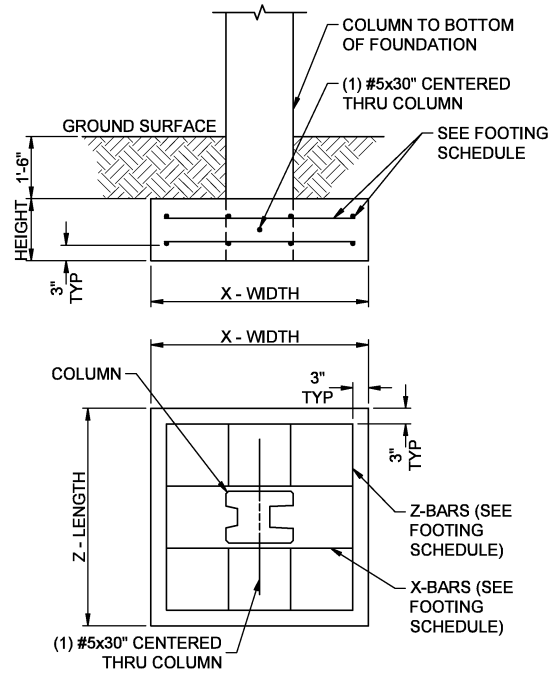
*** SPREAD FOOTING SCHEDULE**

WALL HEIGHT	WIDTH x LENGTH	HEIGHT	REINFORCEMENT
8' WALL HEIGHT ON 19.5' CENTERS	X - WIDTH: 5'-0"	20"	(6) #5 TOP & BOT.
	Z - LENGTH: 7'-0"		(8) #5 TOP & BOT.



OPTIONAL PIER FOOTER FOR 8' COLUMNS


SCALE: 1/2" = 1'-0"



OPTIONAL SPREAD FOOTER DETAIL

SCALE: 1/2" = 1'-0"

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PRECAST CONCRETE WALL PERMAWALL										
8' OPTIONAL FOUNDATION DETAILS										
										
Jose A. Hernandez, P.E. P.E. 888551										
REFERENCE DRAWINGS <small>THIS DRAWING IS THE PROPERTY OF PERMACAST, LLC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PERMACAST, LLC.</small>	NO.	DATE	REVISION	BY	CK	APP	8015 21st Street East, Bradenton, FL 34203 Tel: 888.977.9255 www.permacastwalls.com	CIVIL	0	SHEET 7