



BOARD OF ADJUSTMENT MEETING NOTICE

Date: September 26th, 2025

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, October 08th, 2025 at 6:00 pm.**

This meeting will be held in-person at: **Development Services Department, 700 NW 19th Avenue, Fort Lauderdale, Florida 33311** to determine whether the following application should be granted.

To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-25070005
OWNER:	FLOWERS, ROBERT; ROBERT FLOWERS REV LIV TR
AGENT:	FLOWERS, NATALIE
ADDRESS:	2021 SOUTH WEST 38 AVENUE, FORT LAUDERDALE, FL 33312
LEGAL DESCRIPTION:	LOT 10, IN BLOCK X, OF "FAIRFAX BROLLIAR ADDITION, SECTION 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 37, PAGE 28, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA (SEE SURVEY)
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	3
REQUESTING:	<u>Sec 47-5.31 Table of dimensional requirements for the RS-8 district. (Note A)</u>

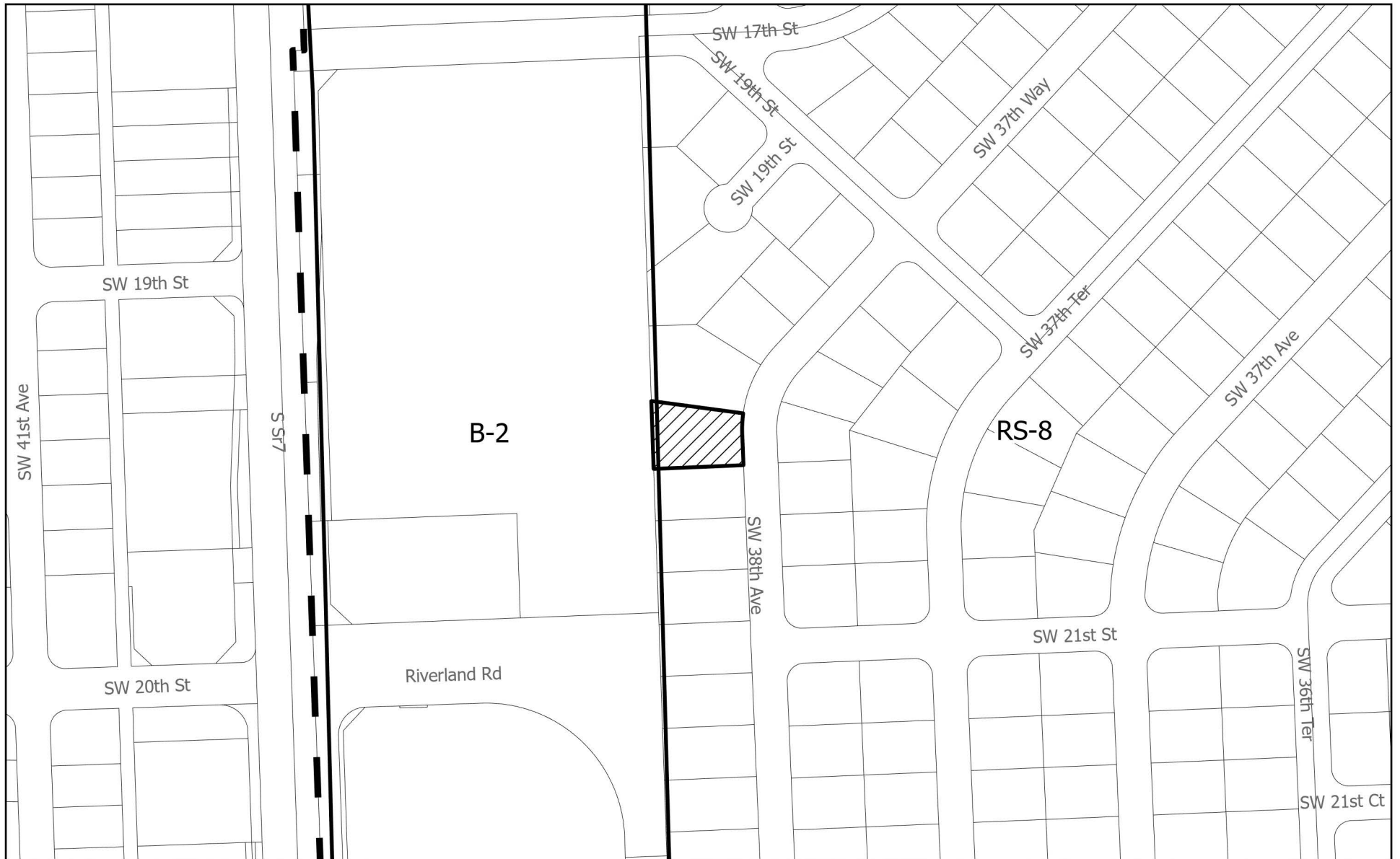
- Requesting a variance to permit an existing carport to have a side yard setback of 2.3 feet whereas the code requires a side setback of 5 feet, a total variance request of 2.7 feet.

To watch and listen to the Board of Adjustment Meeting:
www.fortlauderdale.gov/fltv , www.youtube.com/cityoffortlauderdale
Cable Television - Comcast Channel 78 and AT&T U-verse Channel 99

If you have any questions, please feel free to contact me directly at 954-828-6342.



MOHAMMED MALIK
ZONING ADMINISTRATOR
Florida Statutes, Sec. 286.0105

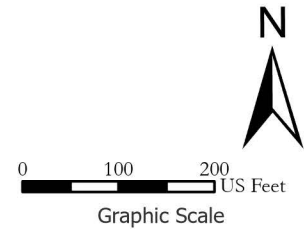
NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



PLN-BOA-25070005

LEGEND

-  Municipal Boundary
-  Subject Site



PLN-BOA-25070005

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height. 25 ft. when abutting a waterway Special side yard setbacks 7.5 ft.: Coral Ridge Country Club Addition 4, P.B. 53	For a building with a height no greater than 12 ft.- 5 ft. For a building with a height greater than 12 ft. - 7.5 ft. That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height

	<p>P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J. Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16. Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T. Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.</p>			<p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>	
Minimum rear yard	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1</p>			<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as provided in RS-8</p>	
Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>

	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501— 12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

Note A: Dimensional requirements may be subject to additional regulations, see [Section 47-23](#), Specific Location Requirements, and [Section 47-25](#), Development Review Criteria.

*Allowances for modifications of lot widths may be permitted in accordance with the requirements of [Section 47-23.10](#), Specific Location Requirements.

**An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see [Section 47-24.2](#).

***All other regulations relating to district RS-8 shall apply to RS-8A.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-26, § 1, 4-20-99; Ord. No. C-99-62, § 1, 9-21-99; Ord. No. C-04-67, § 1, 1-4-05; Ord. No. C-08-05, § 3, 2-5-08)

Record

Showing 1-15 of 15

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-25070005	Requesting a zoning variance to allow the existin...	Variance Request for Existin...	Z- Board of Adjustment (BOA)	0		2021	SW	38	AVE		Open
<input type="checkbox"/>	BE24070176	DRIVEWAY CARPORT STRUCTURE AND BACK YARD BUILDING...	DRIVEWAY CARPORT STRUCTURE A...	Bui ding Code Case	0	Preston Mark I	2021	SW	38	AVE		Specia M
<input type="checkbox"/>	BLD-WIN-20050067	REPLACE 15 WINDOWS/6 DOORS W/IMPACT	REPLACE 15 WINDOWS/6 DOORS W...	Window and Door Permit	0		2021	SW	38	AVE		Comp ete I
<input type="checkbox"/>	CE17121943	SUNSET - BULK TRASH PILE WAS FOUND ON THE SWALE O...	FLOWERS,ROBERT	Bu k Trash Case I	0		2021	SW	38	AVE		C osed
<input type="checkbox"/>	VIO-CE17121943 1	SUNSET - BULK TRASH PILE WAS FOUND ON THE SWALE OF	FLOWERS,ROBERT	Bu k Trash Case I	0		2021	SW	38	AVE		C osed
<input type="checkbox"/>	CE15111260	BARKING DOGS LOT OF NOISE DAY AND NIGHT. FENCE, B...	FLOWERS,ROBERT	Code Case	0		2021	SW	38	AVE		C osed
<input type="checkbox"/>	VIO-CE15111260 1		FLOWERS,ROBERT	Vio ation-CODE Hearing	0		2021	SW	38	AVE		C osed
<input type="checkbox"/>	VIO-CE15111260 2		FLOWERS,ROBERT	Vio ation-CODE Hearing	0		2021	SW	38	AVE		C osed
<input type="checkbox"/>	PM-11111552	INSTALL BURGLAR ALARM SYSTEM 1 PANEL 5 DEVICES	BURGLAR ALARM SYSTEM 1 PANEL...	E ectrica Burg ar A arm	0		2021	SWI	38	AVE		Comp ete
<input type="checkbox"/>	PM-06112602	REROOF 2000SF FLAT & SHINGLE ~B-REV.TURBINE VENT...	REROOF 2000SF FLAT & SHINGLE	Re-Roof Permit	0		2021	SW	38	AVE		Comp ete
<input type="checkbox"/>	PM-06041084	repair tiebeams/ stucco repair north ~side of ho...	repair tiebeams/Stucco repai...	Residentia A teration Permit	0		2021	SW	38	AVE		Comp ete
<input type="checkbox"/>	PM-05070974	INSTALL CHAINLINK FENCE GATE 3X13	INSTALL C/L FENCE/ GATE 3X13	Fence Permit	0		2021	SW	38	AVE		Comp ete
<input type="checkbox"/>	PM-05052976	ATF:REMODEL PLAY ROOM ~I~SIGNED CO P/U BY CONTR...	ATF:REMODEL PLAY ROOM	Residentia A teration Permit	0		2021	SW	38	AVE		Comp ete
<input type="checkbox"/>	PM-05052980	ATF:ELECTRIC TO REMODEL #05052976	ATF:ELECTRIC TO REMODEL #050...	E ectrica Residentia Permit	0		2021	SW	38	AVE		Comp ete I
<input type="checkbox"/>	PM-05052983	ATF:PLUMBING TO REMODEL #05052976	ATF:PLUMB. FOR REMODEL #0505...	P umbing Residentia Permit	0		2021	SWI	38	AVE		Comp ete I



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: October 08th, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25070005

Sec 47-5.31 Table of dimensional requirements for the RS-8 district. (Note A)

- **Requesting a variance to permit an existing carport to have a side yard setback of 2.3 feet whereas the code requires a side setback of 5 feet, a total variance request of 2.7 feet.**

**MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (LOBBY)
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506**

**TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale
To view more information about this item, please visit:
www.fortlauderdale.gov/government/BOA**

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO.

PLN-BOA-25070005

APPLICANT:

Robert Flowers

PROPERTY:

2021 SW 38 Ave, Fort Lauderdale, 33312

PUBLIC HEARING DATE:

October 9th 2025

BEFORE ME, the undersigned authority, personally appeared Robert Flowers, who upon being duly sworn and cautioned, under oath deposes and says:

- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULD, I will forfeit my sign deposit: (initial here)

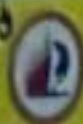
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 23 day of September, 2025



Maria Mendez
Comm.: # HH 318429
Expires: November 13, 2026
Notary Public - State of Florida

NOTARY PUBLIC
MY COMMISSION EXPIRES:



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: October 08th, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25070005

Sec. 47-5.31 Table of dimensional requirements for the RS-8 district. (Note A)

- Requesting a variance to permit an existing carport to have a side yard setback of 2.3 feet whereas the code requires a side setback of 5 feet, a total variance request of 2.7 feet.

FOR MORE INFORMATION CONTACT THE PLANNING DEPARTMENT
30 N.W. 1ST AVENUE, SUITE 200
FORT LAUDERDALE, FL 33301
TELEPHONE: 784-639-4444

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING WITH
REAL TIME TRANSLATION VISIT: www.fortlauderdale.gov/government/BOA
www.youtube.com/fortlauderdalepln
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FIREWORKS
REGULATED BY THE FLORIDA DEPARTMENT OF LAW ENFORCEMENT
ALL FIREWORKS ARE PROHIBITED IN FLORIDA
FOR MORE INFORMATION, VISIT WWW.FLORIDAFLAREWORKS.COM





 CITY OF JACKSONVILLE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: October 18th 2023 TIME: 6:00 P.M. CASE: 2023-024-2003903

Re: A & Z: Variance of dimensional requirements to the R5-B District, District 10

Requesting a variance to permit an existing carport to have a side set back of 2.7 feet whereas the code requires a side setback of 3 feet. A 1000 variance required of 2.7 feet.

For more information on the Board of Adjustment process, please visit the City of Jacksonville website at www.jaxfl.gov.
If you have any questions, please contact the Planning Department at (904) 251-1234.



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type (Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/> Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/> Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/> Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input checked="" type="radio"/> Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/> Request for Continuance	\$954
<input type="radio"/> Request for Rehearing	\$318
<input type="radio"/> Rehearing Request before the board	\$1,219

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	Robert Flowers
Property Owner's Signature	
Address, City, State, Zip	2021 SW 38th Avenue, Ft. Lauderdale, FL 33312
E-mail Address	FlowersBob@Bellsouth.net
Phone Number	954-629-1032
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent PROPERTY OWNER, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	Natalie Flowers
Applicant / Agent's Signature	<i>Natalie Flowers</i>
Address, City, State, Zip	2021 SW 38th Avenue, Ft. Lauderdale, FL 33312
E-mail Address	N7Flow@gmail.com
Phone Number	954-593-0999
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Include ANY Related code case/permit #	BE24070176
Existing / New	Existing <input checked="" type="checkbox"/> New <input type="checkbox"/>
Project Address	Address 2021 SW 38th Avenue, Ft. Lauderdale, FL 33312
Legal Description	See survey
Tax ID Folio Numbers (For all parcels in development)	504218170910
Variance/Special Exception Request (Provide a brief description of your request)	Variance request to reduce east side yard setback from 5.0' to 2'-10" for the structural post, per ULDR 47.5.31.
Applicable ULDR Sections (Include all code sections)	47-5.31

Current Land Use Designation	Low Medium Residential
Current Zoning Designation	RS-8
Current Use of Property	Single-Family Residence
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25'	25'
Side	5'	2'-10" (post)
Side	5'	5'
Rear	20'	20'

Note: Variance requested for east interior side setback to allow existing carport to remain with post at 2'-10", in lieu of required 5.0' setback. See attached narrative for full justification and ULDR references.

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *if* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application form. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code. *- N.F.*
Requesting variance from ULDR 47-5 31 to Permit an existing carport and 2'-10" Post setback (5' required).

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4.

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

See attached page for full responses.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

See attached page for full responses.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

See attached page for full responses.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

See attached page for full responses.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

See attached page for full responses.

AFFIDAVIT: I, Robert Flowers the Owner/Agent of said property ATTEST that I am aware of the following:

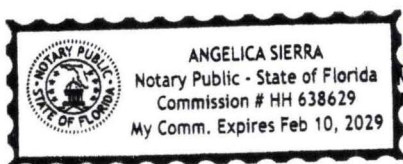
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

[Handwritten Signature]

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 4th day of August, 2025

(SEAL)



Amalicia Sierra

NOTARY PUBLIC
MY COMMISSION EXPIRES: Feb. 10, 2029

Attachment to Board of Adjustment Application – Variance Criteria Responses

Property Address: 2021 SW 38th Avenue, Fort Lauderdale, FL 33312

Applicant: Robert Flowers

Page 2a – Variance Request Criteria Responses

We are respectfully requesting a variance from **ULDR Section 47-5.31** to reduce the required **minimum side setback from 5.0 feet to 2'-10"** (from property line to the structural support column/post).

The variance is being requested to permit the continued existence of the carport structure as currently built, with no proposed expansion or further encroachment. This structure supports adequate vehicle coverage and roof drainage and is not detrimental to adjacent properties or the public right-of-way.

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property:

I have lived at this property since 1989 and am now 63 years old and retired. The home has always had a driveway in its current location, but there is no practical way to install a protective cover over it without encroaching slightly into the side yard setback. Several years ago, I added a modest, open-sided metal carport supported by four vertical posts to provide shade, storm protection, and safe access to the driveway.

The structure encroaches into the side setback. The support column is located 2 feet 10 inches (2'-10") from the property line.

Directly behind the carport is a previously permitted building structure, approved by the City, with a roofline that aligns closely with — and in some areas extends beyond — the carport roof. This demonstrates that the carport fits the existing built environment and does not present a new or unusual impact on the side yard or adjacent properties.

b. The alleged hardship is not self-created by the applicant:

The need for this variance stems directly from the property's fixed layout and long-standing configuration, not from any intentional action on my part. The driveway has been in the same location since I purchased the home in 1989.

When I installed the carport, I followed standard construction practices—placing the support posts based on structural spacing and safety requirements. The resulting 2'-2" encroachment was an **unintentional outcome**, not an attempt to bypass zoning rules.

I was unaware that the placement would require a variance, and acted in good faith. The structure is modest, visually unobtrusive, and aligns with a previously approved building directly behind it—further illustrating that this condition was not self-imposed, but rather a practical response to site-specific limitations.

c. The variance, if granted, is the minimum necessary to make reasonable use of the property:

This request is narrowly tailored to legalize the existing carport structure, which provides essential weather protection and vehicle access. The carport's footprint was designed solely to cover the existing paved area and does not encroach unnecessarily.

The only encroaching element is the support post, requiring a total variance of 2'-2". No additional construction, expansion, or changes are proposed.

Granting this minimal variance allows safe and continued use of the property, avoids unnecessary demolition, and corrects a minor encroachment without affecting public safety or neighbor enjoyment. This is the **least variance necessary** to maintain the structure's function.

d. Granting the variance will be in harmony with the general intent and purpose of the ULDR and will not be injurious to the neighborhood or public welfare:

The carport is open-sided, modest in scale, and consistent in character with other carport and covered parking structures in the neighborhood. It does not obstruct sightlines, encroach on adjacent driveways, or pose any hazards.

Its location beside an already permitted building maintains the site's visual cohesion and reinforces the existing layout. This minor adjustment poses no threat to the neighborhood aesthetic or public welfare.

Approving the variance supports practical zoning flexibility while preserving the goals of the ULDR and maintaining public confidence in fair enforcement.

e. The granting of the variance will not confer on the applicant any special privilege that is denied by the ULDR to other lands, buildings, or structures in the same zoning district:

This variance does not seek a special exemption or benefit. It simply addresses a **site-specific hardship** stemming from long-standing driveway placement and property geometry.

Many nearby homes in the RS-8 zoning district feature carports or covered parking that approach side property lines. The **modest encroachment** here is consistent with neighborhood development patterns and does not create any undue precedent.

Approval of this request would preserve the existing layout without compromising the fair and consistent application of the ULDR across similarly situated properties.

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE.** The applicant will need to meet with staff **PRIOR** to submitting the BOA application submittal via Lauderbuild.

*Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.

- Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: 3/26/25
- Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. **Page 4** of the BOA application is due **AFTER** sign(s) are posted.
- Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19TH Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I, Robert Flowers ("Owner") as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
property located at 2021 SW 38th Avenue, Fort Lauderdale, FL 33312 ("Property"), do hereby authorize
[Print Property Address]

Natalie Flowers ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]
of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and
location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special
exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to
accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding
all issues related to my pending variance/special exception application. I understand and agree that, as the
Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception
application, all required hearing appearances related to my variance/special exception application, and any
request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and
or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form, I understand and
agree, the City will mail or deliver all notices relating to my pending variance/special exception application to
my property address, as listed on my variance/special exception application. I further understand and agree,
the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized
Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,
and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before
the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS
AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



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relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

Witness Signature

Aitor Mendez

Print Name

8/4/2025

Date

Signature - Owner/Authorized Individual

Robert Flowers

Print Name - Owner/ Authorized Individual

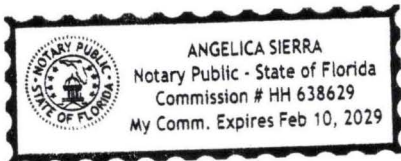
~~Natalie Flowers~~ Owner

Print Title - Authorized Individual

STATE OF Florida
COUNTY OF Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 4th day of August, 2025 by Robert Flowers, an individual who is personally known to me or has produced FL DL as identification

[NOTARY SEAL]



(Signature of Notary Public- State of Florida)

Feb. 10, 2029

My Commission Expires:

Angelica Sierra

Print, Type, or Stamp Commissioned Name of Notary Public)

BROWARD COUNTY, FLORIDA 2023 REAL ESTATE NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS FOLIO / ALT KEY: 524421

ACCOUNT NUMBER	ESCROW CODE	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
504218-17-0910		104,830	SEE BELOW	SEE BELOW	0312

Legal Description:
 FAIRFAX BROLLIAR ADD SEC 3
 37-28 B
 LOT 10 BLK X

FLOWERS, ROBERT
 ROBERT FLOWERS REV LIV TR
 2021 SW 38 AVE
 FORT LAUDERDALE, FL
 33312-7020

PAYMENTS MUST BE IN U.S. FUNDS DRAWN
 ON/THROUGH A U.S. BANK.
PAY YOUR TAXES ONLINE AT:
broward.county-taxes.com

AD VALOREM TAXES

TAXING AUTHORITY	MILL RATE	ASSESSED VALUE	EXEMPTION VALUE	TAXABLE VALUE	TAXES LEVIED
BROWARD COUNTY GOVERNMENT					
COUNTYWIDE SERVICES	5.5492	104,830	50,000	54,830	304.26
VOTED DEBT	0.1198	104,830	50,000	54,830	6.57
BROWARD CO SCHOOL BOARD					
GENERAL FUND	4.9260	104,830	25,000	79,830	393.24
CAPITAL OUTLAY	1.5000	104,830	25,000	79,830	119.75
VOTER APPROVED DEBT LEVY	0.1896	104,830	25,000	79,830	15.14
SO FLORIDA WATER MANAGEMENT					
EVERGLADES C.P.	0.0327	104,830	50,000	54,830	1.79
OKEECHOBEE BASIN	0.1026	104,830	50,000	54,830	5.63
SPWMD DISTRICT	0.0948	104,830	50,000	54,830	5.20
NORTH BROWARD HOSPITAL	1.4307	104,830	50,000	54,830	78.45
CHILDREN'S SVCS COUNCIL OF BC	0.4500	104,830	50,000	54,830	24.67
CITY OF FORT LAUDERDALE					
FT LAUDERDALE OPERATING	4.1193	104,830	50,000	54,830	225.86
DEBT SERVICE	0.2737	104,830	50,000	54,830	15.01
FL INLAND NAVIGATION	0.0288	104,830	50,000	54,830	1.58

TOTAL MILLAGE 18.8172 TOTAL AD VALOREM TAXES 1,197.15

NON - AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	LEVYING AUTHORITY PHONE	AMOUNT
FT LAUDERDALE FIRE-RESCUE		338.00
FT LAUDERDALE STORMWATER CAT I		240.58
FT LAUDERDALE STORMWATER TRIP		43.52

TOTAL NON-AD VALOREM ASSESSMENTS 622.10

SEE REVERSE SIDE FOR
 IMPORTANT INFORMATION

COMBINED TAXES AND ASSESSMENTS 1,819.25

IF PAID BY	Nov 30, 2023	Dec 31, 2023	Jan 31, 2024	Feb 29, 2024	Mar 31, 2024
PLEASE PAY	\$1,746.48	\$1,764.67	\$1,782.86	\$1,801.06	\$1,819.25

SEE REVERSE SIDE FOR INSTRUCTIONS

TAXPAYER COPY

\$1,746.48 Paid Nov 7th 2023 Trust 1023



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representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns.



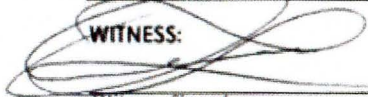
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WITNESS:


Witness Signature
Aitor Mendez
Print Name
8/4/2025
Date

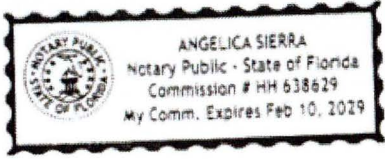


Signature - Owner/Authorized Individual
Robert Flowers
Print Name - Owner/ Authorized Individual
Owner RA
Print Title - Authorized Individual

STATE OF Florida
COUNTY OF Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 4th day of August, 2025, by Robert Flowers, an individual who is personally known to me or has produced FL DL as identification

[NOTARY SEAL]

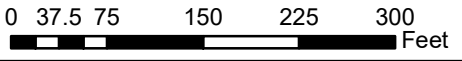
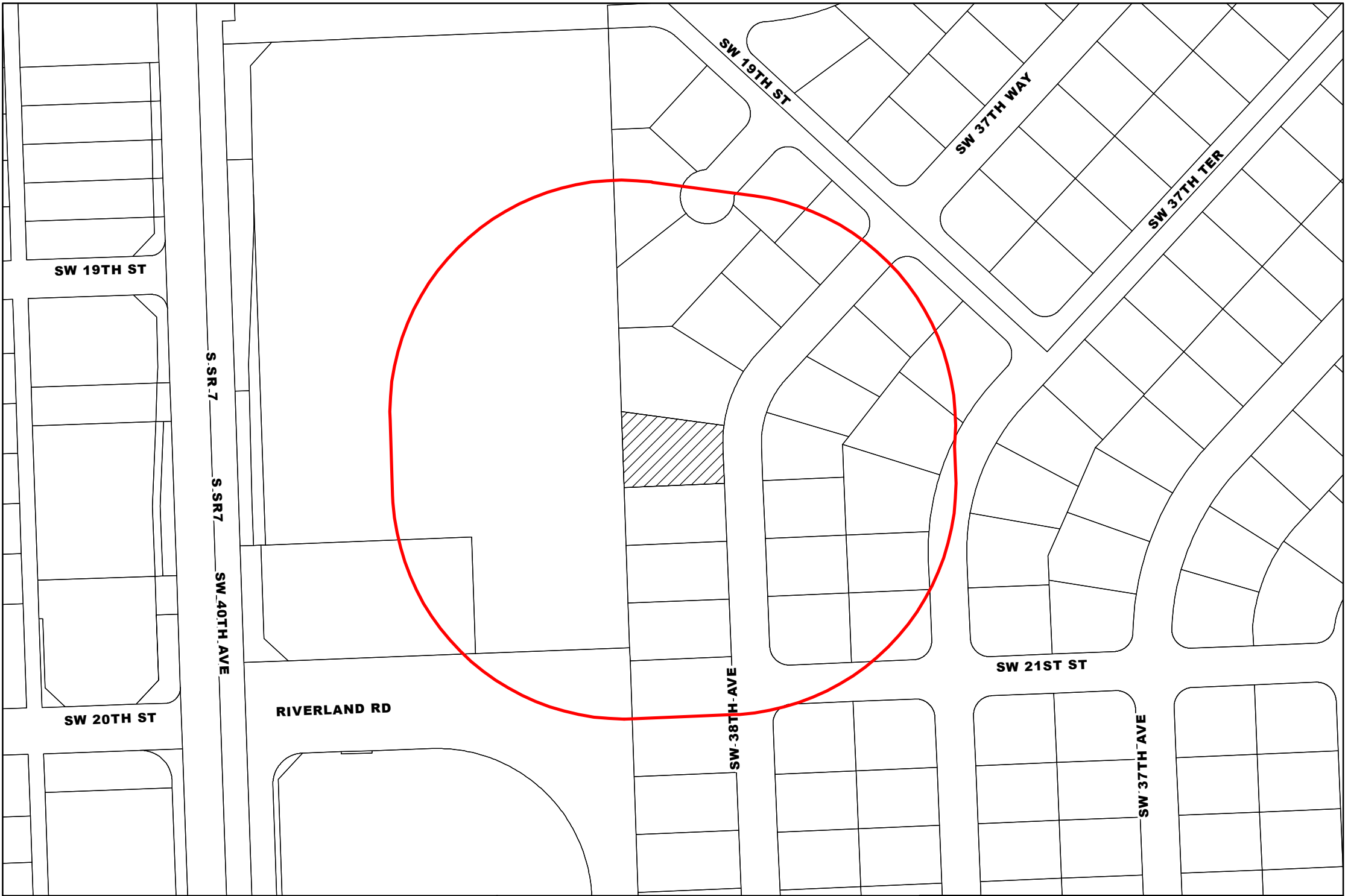


Angelica Sierra

(Signature of Notary Public- State of Florida)
Feb. 10, 2029
My Commission Expires:
Angelica Sierra

Print, Type, or Stamp Commissioned Name of Notary Public)





MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



2021 SW 38 AVE
DATE OF PRINT: 08/05/2025

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI
504218000221	FLORIDA DEPT OF TRANSPORTATION	OFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD
504218170840	HARMAN,THOMAS D & MARY ANN		3788 SW 19 ST
504218170850	DELGADO,MARIA H/E	HERRERA,OSCAR	3784 SW 19 ST
504218170860	RUBIN,AMY H/E	CLARK,GRACE	3780 SW 19 ST
504218170870	RAMOS,ALAY A	RAMOS,ANTONIO G	3101 SW 19 ST
504218170880	FKH SFR C1 LP	%FIRST KEY HOMES LLC	600 GALLERIA PKWY STE 300
504218170890	ROSENZWEIG,ARRESSA	ROSENZWEIG,MICHELE MARY	1961 SW 38 AVE
504218170900	LUCAS,VICTOR MARTIN	BARRIOS,MONICA LILIANA	2001 SW 38 AVE
504218170910	FLOWERS,ROBERT	ROBERT FLOWERS REV LIV TR	2021 SW 38 AVE
504218170920	DEFALLE,JAIME C	BARNES,DALLAS G	2041 SW 38 AVE
504218170930	WILLIAMS,CASEY JOE	CASEY JOE WILLIAMS LIV TR	2061 SW 38 AVE
504218170940	FIELDS,JOHANNA		2081 SW 38 AVE
504218170950	UNITED CEREBRAL PALSY	ASSOCIATION OF MIAMI INC	2700 W 81 ST
504218170960	ROBINSON,RAYMOND C JR & WENDY		2121 SW 38 AVE
504218171230	PEREZ,LUIS A & NANCY		2080 SW 38 AVE
504218171240	FIELDS,STEPHANIE		2060 SW 38 AVE
504218171250	NESSA,SEFA	UDDIN,AKHLAS	2040 SW 38 AVE
504218171260	FKH SFR PROPCO B-HLD LP	%FIRST KEY HOMES LLC	600 GALLERIA PKWY STE 300
504218171270	ESTRADA RONDON,PEDRO		1960 SW 38 AVE
504218171280	HILL,JOSHUA		1940 SW 38 AVE
504218171290	HERNANDEZ,YUWELKA		1920 SW 38 AVE
504218171300	SWAY 2014-1 BORROWER LLC		1717 MAIN ST STE 2000
504218171310	TUOHY,JOHN & JUDY	TUOHY,KIMBERLY B ETAL	2021 SW 37 TER
504218171320	CELYRON SUNNY RENTAL LLC		4000 HOLLYWOOD BLVD #285S
504218171330	RIU,MICHELLE RENEE	BELTRAN,DIEGO A ROMERO	2061 SW 37 TER
504218171340	FUELLING,CRAIG L		2081 SW 37 TER
504218171610	PEREZ,LUIS &	PEREZ,NANCY	2120 SW 38 AVE
504218171620	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100
504218280010	RMZ PETROLEUM INC		2020 S STATE RD 7
504218360010	GUNTHER MOTOR CO OF PLANTATIO INC		1660 S STATE ROAD 7

CITY	STATE	ZIP	ADDRESS__1	
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33309
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
ATLANTA	GA	#####	ATLANTA	GA30067
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
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FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
HIALEAH	FL	#####	HIALEAH	FL33016
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
ATLANTA	GA	#####	ATLANTA	GA30067
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
DALLAS	TX	#####	DALLAS	TX75201
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
HOLLYWOOD	FL	#####	HOLLYWOOD	FL33021
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33312
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33301
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33317
FORT LAUDERDALE	FL	#####	FORT LAUDERDALE	FL33317



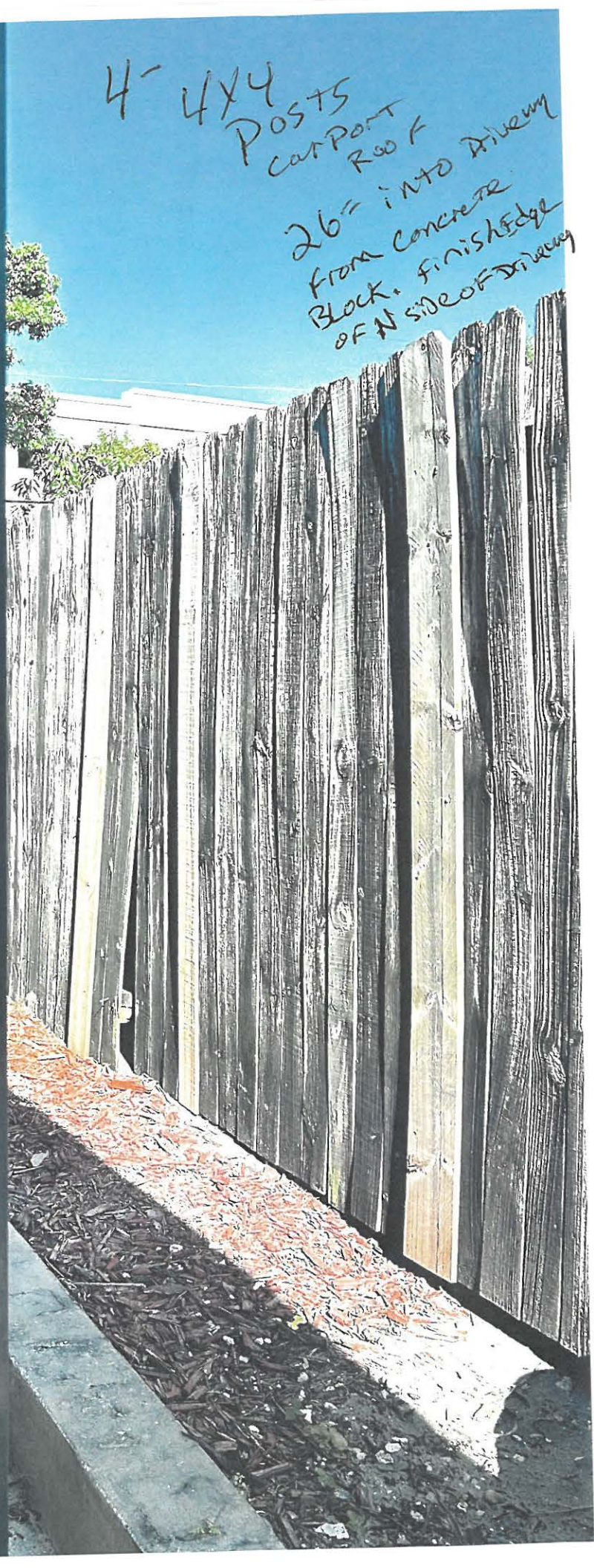






26"

26"



4- 4x4
POSTS
CARPORT
ROOF
26" INTO DRIVEWAY
FROM CONCRETE
BLOCK. FINISHED
EDGE
OF N SIDE OF DRIVEWAY

Narrative

Author: Robert Flowers

Date: August 10, 2025

Specific Request: I am requesting a variance to permit an existing carport to remain with a post setback of 2'-10", whereas the code requires a setback of 5.0 feet.

Applicable ULDR Section: ULDR Section 47-5.31 (RS-8 Residential Zoning Setback Requirements)

My name is Robert Flowers, and I am submitting this narrative in support of my variance request in accordance with the City of Fort Lauderdale Unified Land Development Regulations (ULDR). The request pertains to an existing carport structure at my home, located at 2021 SW 38th Avenue, Fort Lauderdale, FL 33312.

The carport is an open-sided metal structure supported by four vertical posts. I constructed it to provide shade, storm protection, and safe, covered access to my vehicle. I have lived at this address since 1989 and am now 63 years old and retired. The structure encroaches into the required side setback in one respect: **the nearest support post is 2'-10" from the property line.**

A previously permitted building lies directly behind the carport. The carport's location is consistent with the established site layout and does not introduce any new or unusual impacts on adjacent properties or the public right-of-way.

To further comply with zoning requirements, I have removed a separate storage shed that was located within the rear utility easement. This change is also reflected in the revised drawing and demonstrates my good faith in working toward full compliance.

Strict application of the ULDR would require me to dismantle or significantly alter a structure that serves a vital function. The carport allows safe, covered entry during heavy rain, protects my vehicle from the sun and debris, and provides daily utility without creating hazards, obstructions, or visual blight.

This request satisfies the variance criteria as follows:

- **The hardship is not self-created.** I installed the carport using standard safety and spacing practices, unaware that a minor post placement would trigger a setback violation.
- **This is the minimum relief required.** Reducing the structure would eliminate its protective utility and compromise its integrity.
- **The variance does not grant a special privilege.** Many nearby homes have covered parking structures that also approach side yard setbacks.
- **It causes no harm to the neighborhood or public interest.** The structure is modest, open-sided, and in harmony with existing development patterns.

As soon as I was made aware that a variance was required, I took immediate action to begin the application process, update my site plan, and correct unrelated issues. I am committed to complying with the City's requirements in full.

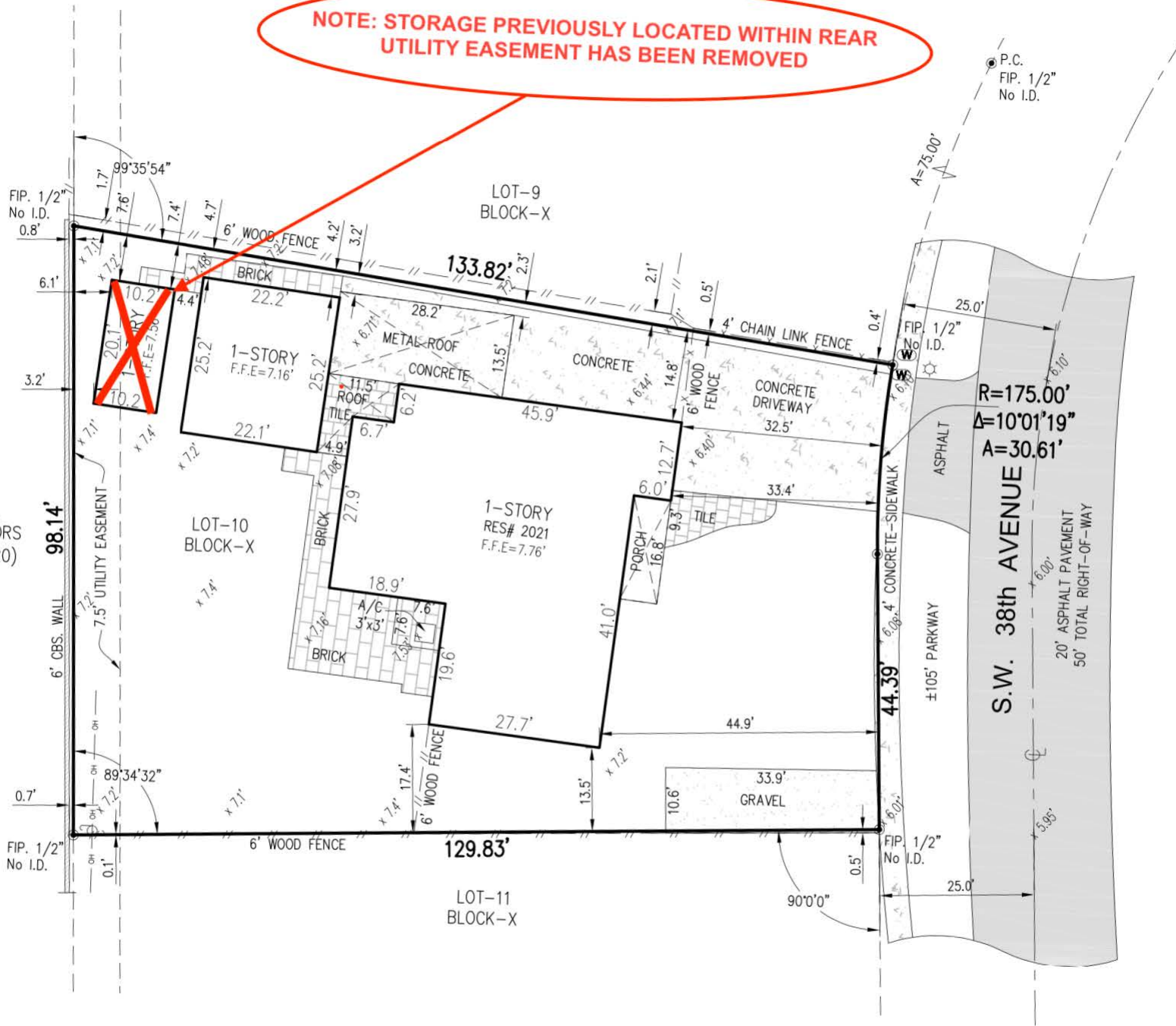
This is not an attempt to bypass zoning law. I am respectfully requesting relief to preserve a modest, functional structure that slightly exceeds the side yard limit due to practical installation needs.

Thank you for your time and thoughtful consideration.

Sincerely,
Robert Flowers

NOTE: STORAGE PREVIOUSLY LOCATED WITHIN REAR UTILITY EASEMENT HAS BEEN REMOVED

PARCEL A
GUNTER MOTORS
(PB.181, PG.20)

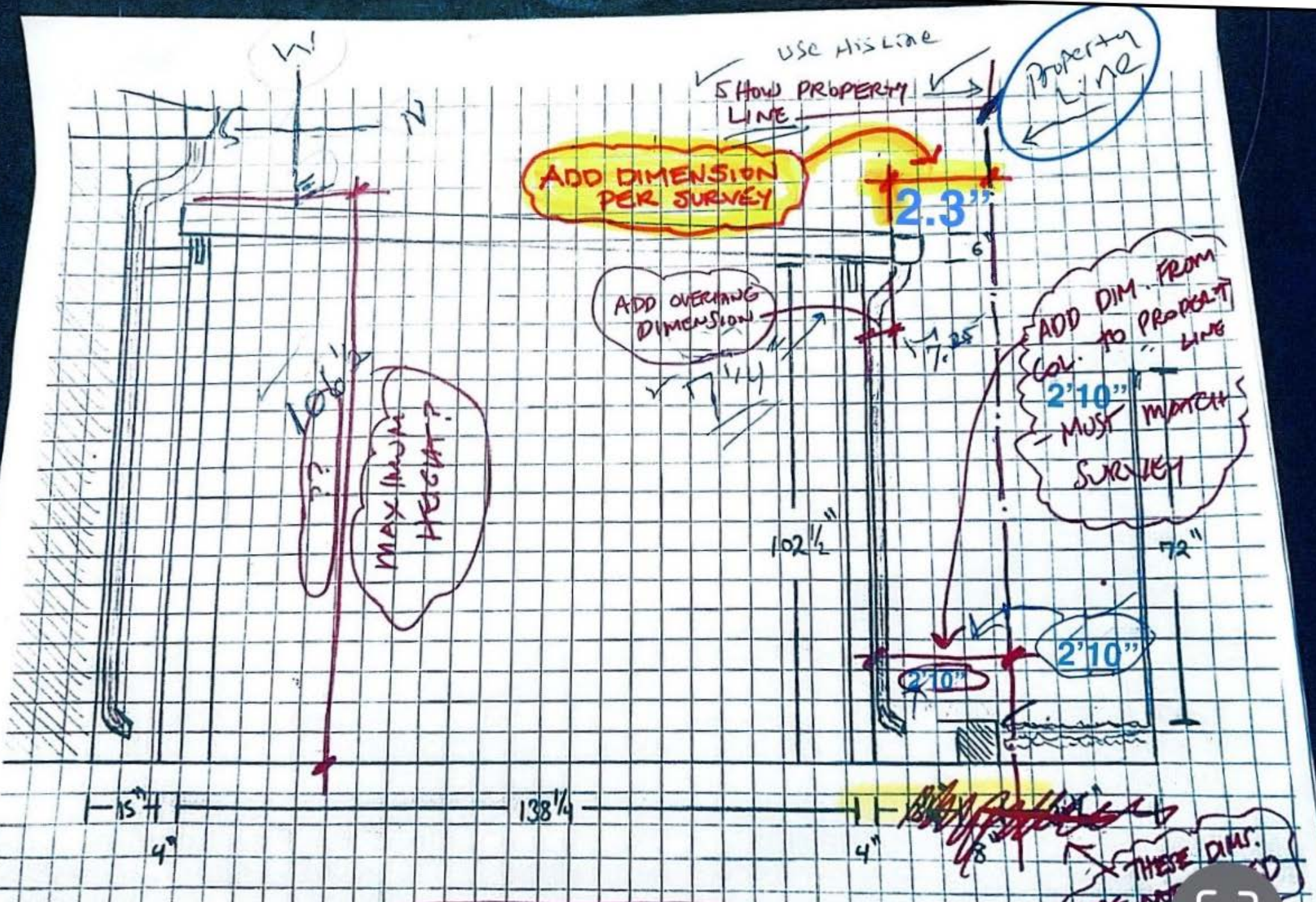


P.C.
FIP. 1/2"
No I.D.

A=75.00'

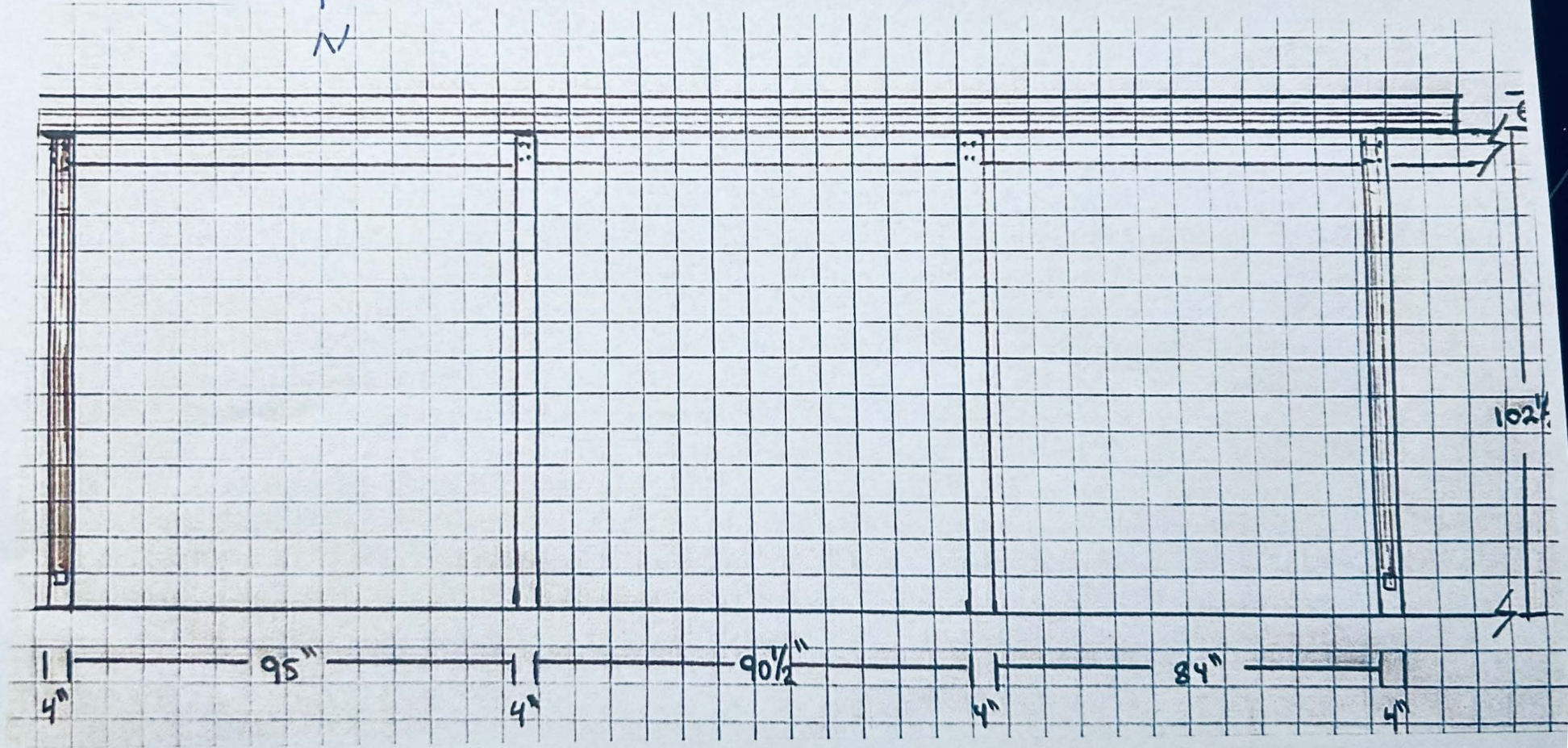
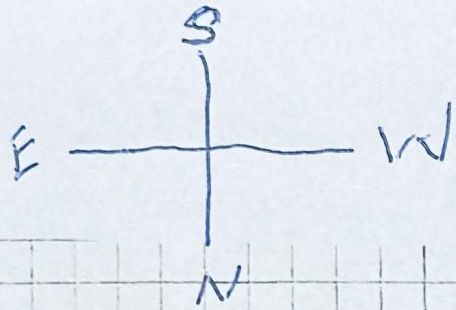
FIP. 1/2"
No I.D.

FIP. 1/2"
No I.D.



ADD NAME OF DRAWING FRONT ELEVATION
 (FRONT ELEVATION??) IN EAST END OF HOME/STRUCTOR





ADD NAME OF DRAWING

→ SIDE ELEVATION

(SIDE ELEVATION??)

NORTH SIDE OF HOME

