

CITY OF FORT LAUDERDALE

# DEVELOPMENT REVIEW COMMITTEE



## CASE COMMENT REPORT

CASE NO. UDP-S25032



**CITY OF FORT LAUDERDALE**



**CASE INFORMATION**

<b>CASE</b>	UDP-S25032
<b>PROJECT NAME</b>	2810 East Oakland Park Boulevard Multifamily Project
<b>APPLICATION TYPE</b>	Site Plan Level III
<b>APPROVAL LEVEL</b>	Planning and Zoning Board, City Commission Request for Review
<b>REQUEST</b>	Yard Modification Request for an 18 Multifamily Unit Development
<b>APPLICANT</b>	2810 E. Oakland, LLC.
<b>AGENT</b>	Tracy H. Lautenschlager, Greenberg Traurig
<b>PROPERTY ADDRESS</b>	2810 E. Oakland Park Boulevard
<b>ABBREVIATED LEGAL DESCRIPTION</b>	Oakland Ocean Mile 28-45 B Lot 12, 13 and 14
<b>ZONING DISTRICT</b>	Residential Multifamily High Rise/Medium High Density (RMH-25) District
<b>LAND USE</b>	Medium High Residential
<b>COMMISSION DISTRICT</b>	1 – John Herbst
<b>NEIGHBORHOOD ASSOCIATION</b>	Coral Ridge Association
<b>SUBMITTED</b>	August 22, 2025
<b>COMPLETENESS ISSUED</b>	August 27, 2025
<b>STATE STATUTE 166.033 EXPIRATION</b>	December 23, 2026 (120 Days)
<b>CASE PLANNER</b>	Michael Ferrera, Urban Planner II

**RESUBMITTAL INFORMATION**

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2023 FBC.
2. Show provisions for either open or closed interior parking per sections 406.5 and 406.6 of the 2023 FBC.
3. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2023 FBC.
4. Provide building construction type designation per Chapter 6 of the 2023 FBC.
5. Specify fire-resistance rating requirements based on building separation and construction type per Table 601 and 602 of the 2023 FBC.
6. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2023 FBC.
7. Indicate code compliant sprinkler system per Section 903 of the 2023 FBC.
8. Designate Fair Housing Provisions per FBC Accessibility volume.
9. Show that the separation distance between exit access stairways meet the requirements of section 1007 of the 2023 FBC.
10. Interior exit stairways shall terminate at point where an exterior exit door is readily visible and identifiable from the point of termination of the enclosure per section 1028.1.1.1 of the FBC or it must be discharged directly to the exterior of the building leading to the public way per Section 1028 of the 2023 FBC.
11. Show that the openings in the exterior walls adjacent to the east property line meet the requirements of Table 705.8 of the 2023 FBC.
12. Reference the 2023 Florida Building Code 8th edition on plan for the proposed development.

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodetd=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodetd=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>



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**CASE COMMENTS:**

Please provide updated plans and written response to the following review comments:

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
2. For all the encumbrances/items found under the Title search, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.).
3. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
4. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable. Please clearly indicate in the set of plans the improvements that are being proposed under this case. The improvements to be included under case No. UDP-S25031 should be shown with a different line type or color.
5. For the proposed exit onto the existing 15 ft alley, the following comment applies. Parking facility entries and exits must be from or to an improved right-of-way a minimum of 20' width or an improved right-of-way designated by the city as one-way, per ULDR Section 47-20.5.B.2.
6. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans.
7. Trash enclosure on site plan.
  - a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.
  - b. Ensure sufficient height clearance is provided within the garage for truck access.
8. Building Elevations: Show and label existing Right-of-Way, proposed Right-of-Way and/or Easement boundaries, and horizontal building clearances on all building elevation / section details, as appropriate.
9. Provide and label typical roadway cross-sections for the proposed development at driveway access points, at on-street parallel parking lanes, and at landscape swale areas (i.e. between travel lane



and sidewalk) as applicable. Cross-sections should show existing right of way and proposed right of way and/or easement boundaries.

10. Label on Site Plan Data Table the required and proposed type of loading zone(s) required, per ULDR Section 47-20.2 Table 2 and Section 47-20.6. If applicable, show truck turning template circulation (label typical minimum centerline turning radius) entering and exiting the site as required for the proposed development. Turning geometries and loading zone design shall be in accordance with ULDR Section 47-20.6.
11. Sidewalks shall be continuous across driveway access points. Back of sidewalk should be at property line. Please confirm with Planning staff the desired sidewalk width and landscape area width.
12. Provide elevations at back and front of proposed sidewalks.
13. Label on Site Plan Data Table the required and proposed type of loading zone(s) required, per ULDR Section 47-20.2 Table 2 and Section 47-20.6. If applicable, show truck turning template circulation (label typical minimum centerline turning radius) entering and exiting the site as required for the proposed development. Turning geometries and loading zone design shall be in accordance with ULDR Section 47-20.6.
14. Water and Sewer Plan:
  - a. Please show clean out locations on site plan per City Standards.
15. Conceptual Paving, Grading, and Drainage Plans and calculations: Please clarify if all the exfiltration trenches and wells will be interconnected, or if they will be analyzed as separate basins.
16. Drainage mitigation is required for any impacts within adjacent City of Fort Lauderdale Right-of-Way, such as increased runoff, additional impervious areas, and reduction of existing storage or treatment (i.e. swale areas). Engineer of Record (EOR) shall evaluate the adjacent City roadway system capacity and demonstrate compliance with the City's Comprehensive Plan Objective SWS 6.1 which requires roadway design to meet South Florida Water Management District's Environmental Resource Permit Applicant's Handbook Volume II Section 3.5. (5 Years, 1 day - road centerline).
  - a. Provide proposed elevations at edge of pavement/lip of gutter.
  - b. Provide proper transition to existing conditions.
17. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict. A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.
18. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
19. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained



in perpetuity by the developer. Label whether the adjacent Right-of-Way is FDOT, BCHCED, or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements. Perpetual maintenance of newly constructed exfiltration trenches, inlets, etc. within adjacent City Right-of-Way will typically revert back to the City, upon successful inspection/acceptance by Public Works after 1-year warranty period.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

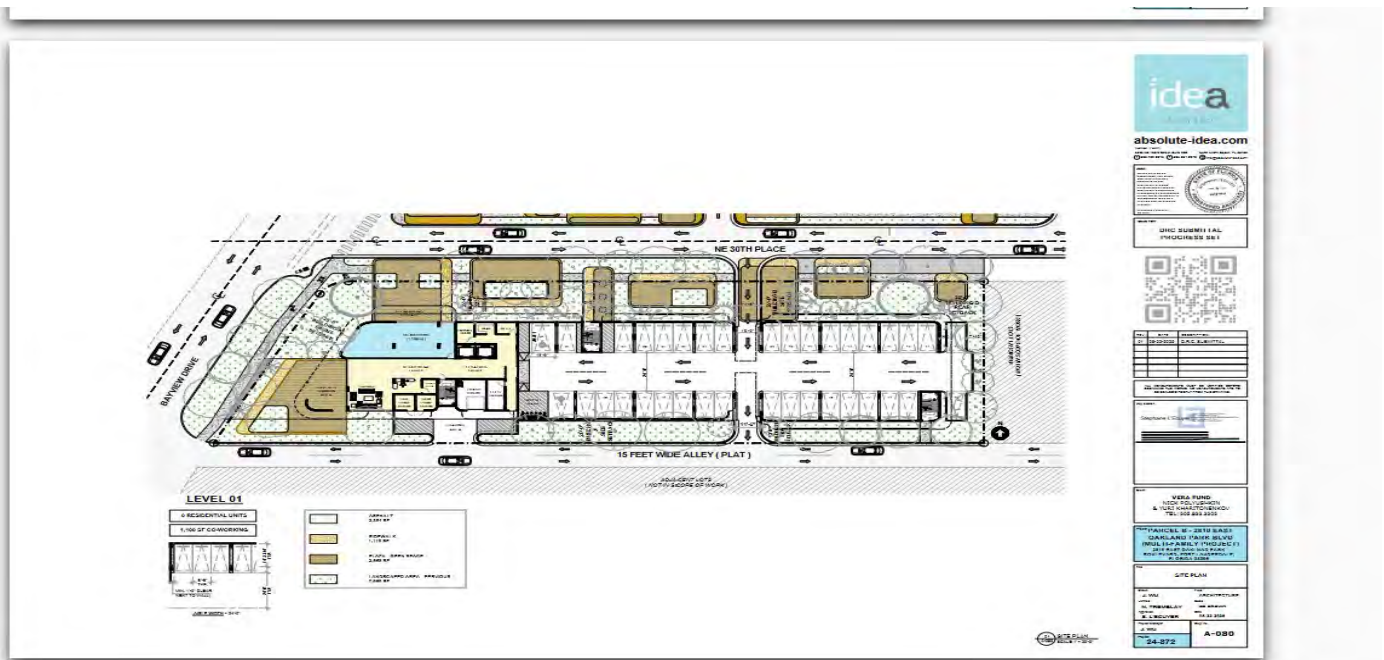
Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.

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**GENERAL COMMENTS:**

The following corrections are needed

1. Flood Zone in effect at time of submittal), "AE" (BFE 6', + 1.4 = 7.4 ft. NAVD )and a small section near front of lot is in a (BFE 7')
2. The plans submitted do not show any Finish floor elevations.
3. Provide the following FFE elevations for UDP-S25032 on (sheet A-501 North & South Elevation ),( Sheet A-502 West & East Elevation)
4. See attached Sheet A-080 ground level show FFE. (The ground floor level has residential lobby, trash room, Elec Room,Storage room,Elevator,package room,(co-working common area label on plans the use of this area and if it is for residence only please label as such).
5. Mixed use See ASCE 24-14 page 36. A building or structure that has a classification use as non residential this building according to plans submitted is residential. Plans submitted did not show any retail or business use for outside businesses or commercial use.



6. Flood vents are required in storage areas below BFE + 1.4 ft. 1 sq. inch for every square foot of enclosed area below (BFE + 1.4) and flood resistant material is also required below (BFE + 1.4).
7. Refer to FEMA Technical Bulletin 2, for Flood Damage Resistant Materials
8. Once FFE are submitted additional comments may follow sump pumps for elevator pits.
9. Civil plans and architectural sheet should have FFE on plans for the building FFE that are the same.

See attached Civil Plan C-2.



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**CASE COMMENTS:**

Please provide a response to the following.

1. Please have a certified ISA Arborist provide the information as to the existing trees including the condition ratings that will be required for mitigation purposes. Please provide mitigation in equivalent replacement and in equivalent value. Indicate how the mitigation will be provided on Landscape plans. Verify that mitigation equivalency has been calculated correctly, especially for specimen trees, per the City's amended Tree Preservation Ordinance (ULDR 47-21.15). Current proposed disposition and mitigation appear to utilize Broward County code, which is not applicable. Please revise.
2. Please coordinate proposed alignment of streetscape elements (sidewalk, planting area, street trees) along Bayview Drive with proposed development to the North (UDP-S25031 – 2800 E Oakland Park Blvd), to create a more cohesive, uniform streetscape design. Alos, ensure the streetscape for NE 30 Place reflects the streetscape on the south side of the northern parcel to ensure consistency and continuity between both projects.
3. A minimum separation of 6 feet is required between the tree trunk and travel lane when curb and gutter DO NOT exist, and a minimum separation of 4 feet is required between the tree trunk and travel lane when curb and gutter DO exist. Illustrate this clearance.
4. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans. Please provide as applicable, especially for any proposed Street Tree reduced-width planting areas.

The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

- a. Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
  - b. Provide Structural Soil Detail and composition.
5. A 25 feet sight triangle is required at the intersection of two streets, measured from the intersection point of extended property lines at a street and a street. This area must be clear of obstructions between 2.5 feet and 8 feet above elevation of adjoining pavement, per ULDR 47-2.2. Q.3 and ULDR 47-35. Illustrate and label this triangle on landscape plan, and confirm landscaping is installed outside of sight triangles.
  6. A 15 feet sight triangle is required at the intersection of an alley and a street, measured from the intersection point of extended property lines at the alley and street. This area must be clear of obstructions between 2.5 feet and 8 feet above elevation of adjoining pavement, per ULDR 47-2.2. Q.2 and ULDR 47-35. Illustrate and label this triangle on landscape plan, and confirm landscaping is installed outside of sight triangles.
  7. A 10 feet sight triangle is required at the intersection of a driveway and street, measured from where the intersection of the driveway and paved travel lane meet. This area must be clear of obstructions between 2.5 feet and 8 feet above elevation of adjoining pavement, per ULDR 47-2.2. Q.1 and ULDR 47-35. Illustrate and label this triangle on landscape plan, and confirm landscaping is installed outside of sight triangles.

8. Tree canopy within a sight triangle requires a clearance of 8 feet. Please maintain tree canopy 60% to tree clear trunk 40% ratio heights adjust overall height of trees in sight triangles.
9. Shade trees must be located a minimum of fifteen feet away from structures as per ULDR 47-21.9. F.1. Small trees and large palms must be located a minimum of seven and one-half feet away from structures. Palms may be planted closer to each other to form clusters. Please revise as applicable.
10. Illustrate the location of overhead utilities and follow FPL Right Tree Right Place guidelines for tree selection and placement. Existing overhead utilities are present on the south side of the 15 feet wide alley. Please revise proposed tree species selection and setback requirements as applicable to provide clearance.
11. Light fixtures with an overall height of more than ten feet shall be located a minimum of 15 feet away from shade trees, as per ULDR Section 47-21.12.
12. Illustrate and label the horizontal clearance from tree trunk to edge of all existing and proposed utilities on the landscape plan, as per proposed civil engineering and site plans. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities. There appears to be conflicts with proposed street trees and existing utilities along Bayview Drive and NE 30<sup>th</sup> Place.
13. Utilities must be protected using a root barrier fabric wrap or equivalent. Landscape Plans must illustrate and label existing and proposed utilities in the right-of-way to confirm no utility conflicts exist, and illustrate the above setback and wrap requirement if applicable. Provide root barrier fabric wrap detail.
14. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities.
15. Additional comments may be forthcoming after next review of new plans and written comment responses.

#### **GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following:

1. Note that effective as of November 1, 2024, the City's Tree Preservation Ordinance (ULDR 47-21.15) has been amended by approval of the City Commission. The amended ordinance may be found within the City's ULDR published online by MuniCode:  
[https://library.municode.com/fl/fort\\_lauderdale/codes/unified\\_land\\_development\\_code?nodeId=UNLADERE\\_CH47UNLADERE\\_ARTIIIDERE\\_S47-21LATRPRE](https://library.municode.com/fl/fort_lauderdale/codes/unified_land_development_code?nodeId=UNLADERE_CH47UNLADERE_ARTIIIDERE_S47-21LATRPRE).
2. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
3. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.



4. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
5. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.

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**CASE COMMENTS:**

Please provide a response to the following:

1. Residential entry doors should be impact resistant glass or metal and should be equipped with a 180-degree view peephole if it is a solid door or does not have a sidelight panel area as defined in Section 768.0706(2)(a)(7) FSS.
2. All dwelling entry doors should be equipped with at least a one-inch deadbolt as defined in Section 768.0706(2)(a)(4) FSS.
3. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
4. Residential units should be pre-wired for an alarm system.
5. A video surveillance system (VSS) should be employed throughout the property with a focus on entry/exit points, elevators, parking garage, hallways, pool and common areas. It should be capable of retrieving an identifiable image of a person and video retention should be a minimum of 30 days as defined in Section 768.0706(2)(a)(1) FSS.
6. All Lighting should conform to IES and CPTED standards and illumination requirements as defined by Section 768.0706(2)(a)(2) FSS. The parking area should be illuminated at an intensity of at least an average of 1.8 fc per square foot at 18 inches above the surface from dusk until dawn or controlled by a photocell or similar electronic device that provided light from dusk until dawn.
7. Lighting in walkways, laundry rooms, common areas, and porches. Such lighting must be illuminated from dusk until dawn or controlled by a photocell or similar electronic device that provided light from dusk until dawn as defined in Section 768.0706(2)(a)(3) FSS.
8. Pool areas should be equipped with a child proof access control feature to prevent unsupervised children access to the pool. Locked gates with key or fob access along pool fence areas as defined in Section 768.0706(2)(a)(6) FSS. Emergency communication devices should be placed in the pool area and should be easily identifiable and accessible.
9. Light reflecting paint should be used in the parking garage to increase visibility and safety.
10. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
11. All landscaping should conform to CPTED guidelines.
12. Entry into the building and elevators should be access controlled to provide enhanced security for the residents and deter unauthorized access.
13. Parking garages should have access control separating private residential parking from public access parking.
14. There should be enhanced security features on doors for mechanical, electrical and maintenance rooms where applicable.



15. Commercial unit exterior doors should be equipped with burglary resistant lock systems such as latch guards or security plates and hinge pins where applicable.
16. The commercial spaces should be pre-wired for an alarm system, to include duress, motion, and door contacts.
17. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders.

**General Comments:**

It is highly recommended that the managing company arrange for private security during construction.

Please submit responses in writing prior to DRC sign off.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be included in the monthly maintenance fee as prescribed in owner's association documents (multi-family).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Service Days shall be per the City's residential routing schedule.
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Solid waste collection shall be from a private loading dock.
9. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).
10. Containers: must comply with 47-19.4
11. Provide letter from chute company indicating make and model of proposed equipment and that it will meet the capacity needs of building. If you have a trash chute please answer 11,12,13.
12. Recommend trash chute accommodate recycling.
13. Draw equipment on the plan to show it will fit in trash room.
14. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
15. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to Gwoolweaver@fortlauderdale.gov . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
  - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



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**CASE COMMENTS:**

1. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. Please note that if there is a proposed gate at the ingress and egress points for this development, the gate will be considered the first conflict point. The minimum inbound staking requirement is (1) stacking spaces.
2. For the alleyway to be bi-directional the alleyway will need to be widened to a minimum of 20 feet in width.
3. To lessen the strain on the alle-way, make the proposed northern driveway on NE 30<sup>th</sup> Place bi-directional.
4. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. Provide auto-turn vehicular paths to depict how the ground floor circulation will work for the AASHTO P-design vehicle. Vehicular turning paths must not cross over parking stalls.
5. Provide a minimum of 7 feet wide sidewalk on **Bayview Drive, and NE 30<sup>th</sup> Place**. This minimum is in reference to clear, unobstructed pathways –Light poles, trees and landscaping is not to be included in this zone. Landscaping should be between the sidewalks and back of curb and a minimum of 5 feet in width. The sidewalk can meander around the existing mature trees to preserve them.
6. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
7. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
8. Additional comments may be provided upon further review.

**GENERAL COMMENTS**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.

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**CASE COMMENTS:**

Please provide a response to the following:

1. Per (47-25.2. B) Public Safety Communications network; Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network; to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.
2. Based upon the location of the proposed structure, and the distance from the City's radio sites, it is anticipated that this project may require a Bi-Directional Amplifier (BDA) system. It is strongly recommended that conduits are installed to support a BDA system within the building. Conduit locations should be determined by a qualified BDA designer/installer. A qualified BDA designer/installer needs to take signal strength analysis within all areas of the structure after the interior structures and windows are complete. A computer generated (heat map) showing the measured signal strengths within all areas of the proposed structure shall be required. If the computer-generated heat map reveals there isn't adequate signal strength to support the City and Broward County public safety radio communications network, a Bi-Directional amplifier system will be required.
3. Please review Chapter 1, Section 118 of the Broward County Building Code.
4. Additional guidance may be obtained from [BDA@fortlauderdale.gov](mailto:BDA@fortlauderdale.gov).

**General Comments:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. Additional information is required to properly evaluate the Developer's plans.

Please consider the following prior to submittal for Building Permit:

1. Please identify and provide contact information for the contractor chosen to evaluate and map radio system signal strength levels for this project.
2. Based on the development of UDP-S25031 and UDP-S25032, a DAS-fiber BDA is recommended with one headend unit donor antenna at the highest point and remote unit in place to distribute the Public Safety Communication coverage inside the property if a BDA/DAS radio coverage system is needed.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before February 23, 2026 unless a mutually agreed upon time extension is established between the City and the applicant. Please provide a statement requesting and agreeing to a waiver of these timeframes, or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
2. The proposed project requires review and approval by the Planning and Zoning Board (PZB). A separate fee is required for PZB submittal, and the applicant is responsible for all public notice requirements pursuant to Section 47-27. In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application.
3. Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-24.1.F.14 and 47-27.4.A.2.c, the applicant must complete the following:
  - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
    - i. Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations>); and,
    - ii. Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
  - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.
4. The site is designated Medium-High on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
5. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-



- vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#)
6. Provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: <https://www.fortlauderdale.gov/departments/sustainable-development/building-services/park-impact-fee-calculator>
  7. This project is subject to the requirements of Broward County Public School Concurrency. The applicant will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public-school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied. The City cannot accept a building permit application, nor issue a building permit, for new or additional residential units, unless the applicant presents evidence from Broward County that the impact of the proposed development on public educational sites and facilities has been mitigated by payment of school impact fees.
  8. Pursuant to UDLR Section 47-19.2.DD, if a temporary construction/sales trailer is proposed for this project, provide separate sheets in the plan set that depict the location with on-site parking, design details including temporary structure material and color, vehicle use area landscape, and other applicable regulations to avoid separate review applications in the future.
  9. ULDR, Section 47-5.37, the project is one building due to the pedestrian bridge and as such, the maximum building length exceeds the ULDR limitation of 200 feet. The building will need to be divided into two buildings or one single building not exceeding 200 feet. Note, revisions will impact yard modification request and in the event yard modifications are not required then the application will be processed as a Site Plan Level II.
  10. As proposed, the project design needs to be more compatible and integrate better with the surrounding residential context. Design revisions could include several building breaks, dividing the building into smaller distinct volumes, incorporating walk-up units along street NE 30 Place frontage, recessed balconies, and angled roofline.
  11. This project proposes a total of 2,668 square feet of designated plaza and open space. To enhance usability, the design should prioritize an expanded and more accessible plaza area along Bayview Drive and adjacent to the ground-floor co-working space. Additionally, provide a mood board and architectural renderings illustrating how the plaza space will incorporate greenery, seating, and other pedestrian-friendly features to create a welcoming environment for residents and visitors alike.
  12. Ensure the streetscape for NE 30 Place reflects the streetscape on the south side of the northern parcel to ensure consistency and continuity between both projects.
  13. Provide clarification on the co-working space use, function, etc.
  14. Provide responses to ULDR Section 47-23.11, Criteria for Modification of Required Yards to establish how the project meets the intent of this section. Pursuant to Section 47-23.11, Modification of Yards, based on the height of the building, the required side yard setbacks shall be approximately 20 feet. As proposed,



the side setback is 13 feet and 8 inches. Demonstrate how such modification meets the criteria for requesting a yard modification. The proposed yard modification will require approval by the Planning and Zoning Board

15. Provide the following changes on the elevations:
  - a. Indicate the location of the property lines and setback line on all elevations.
  - b. Identify the location of rooftop equipment on building by outlining the equipment with dash lines.
  - c. Clarify the finished floor requirements per floodplain, FEMA and depict NAVD. If the finish floor will be raised, then provide location and details for stairs and ramps.
  - d. Pursuant to ULDR Sec. 47-19.2.B, architectural features are permitted to encroach three feet into the required yard. It is unclear if the proposed balconies are encroaching. Provide dimensions.
  - e. The project does not account for grade elevation changes to a higher grade level which impact the location of stairs, ramps, and lobby; these items should be depicted in more detail on the elevations.
  - f. Pursuant to ULDR Sec. 47-5.37, the setbacks shall be no less than the amount equal to half of the height of the building. Since the project is considered one building, the setbacks shall be half the height of the tallest building being proposed, which is 20 feet. Adjust accordingly.
16. Provide the following changes on the site data table:
  - a. Update the site data table to reflect correct side setback as per height of the building.
17. Provide the following changes on the site plan:
  - a. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such. More specifically, the existing utilities along NE 30 Place should be underground.
  - b. Pursuant to ULDR Sec. 47-18.21, provide a minimum 7-foot-wide clear path sidewalk along the frontage of the property.
  - c. Dimension all sidewalks on site.
  - d. Clearly label all elements on the site plan. There are portions in differing colors and shapes without indication of what it is. Additionally, provide clarification on the gray portion on the northeast portion of the site.
  - e. Site plan indicates sidewalk impediment(s). Ensure clear, unobstructed pedestrian pathways are provided and indicated on the site plan.
18. Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Provide the following:
  - a. Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
  - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - c. Provide screening product material including images or pictures of actual application of such.
  - d. Architecturally blend the rooftop design into the overall building volume.
19. Pursuant to Section 47-20.14, indicate lighting poles on site plan and landscape plan, and provide detail with dimensions. Be aware that if lighting fixtures greater than ten (10) feet in height are used, they shall be located a minimum of fifteen (15) feet away from shade trees.



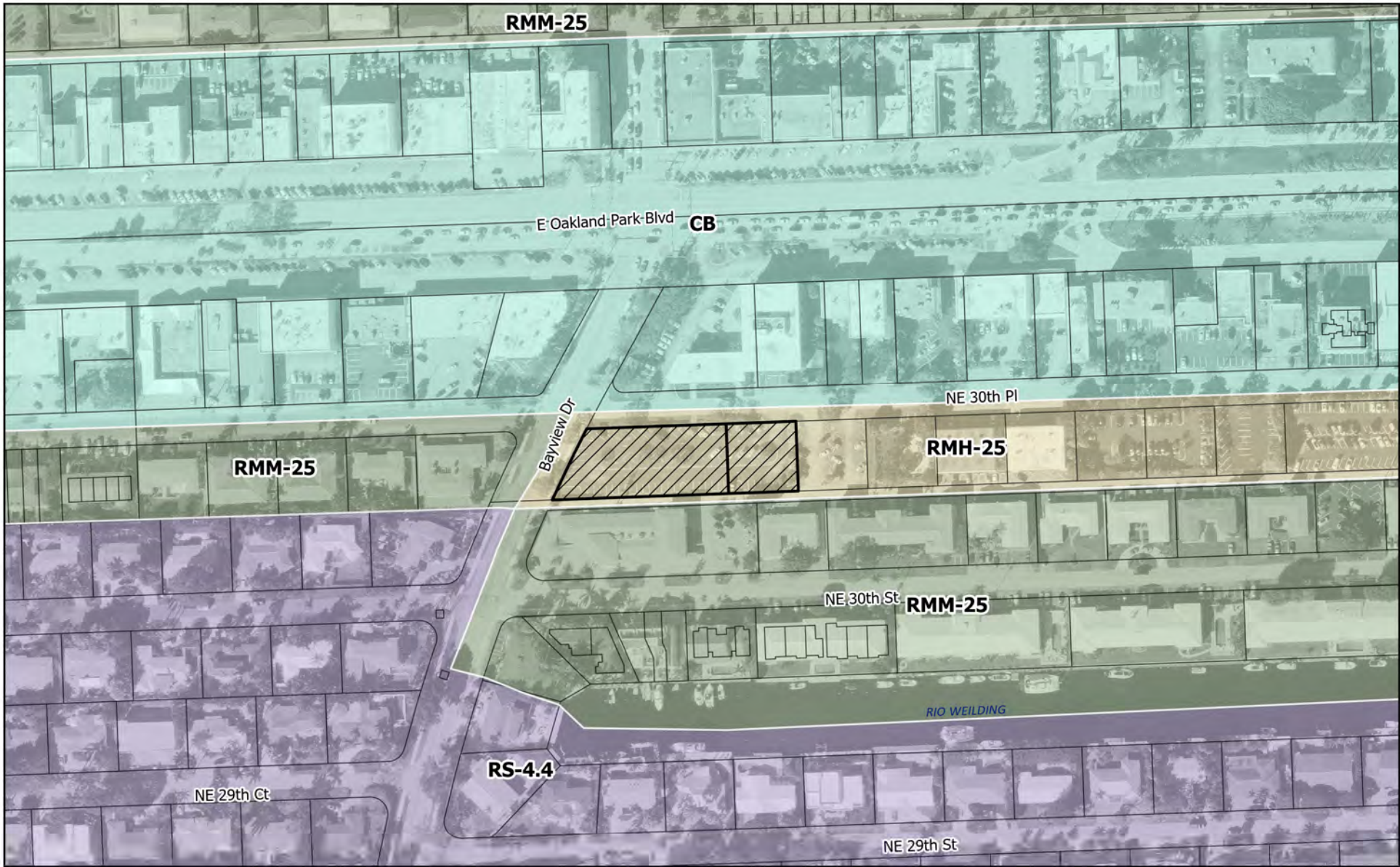
20. The project does not account for grade elevation changes to a higher grade level which impact the location of stairs, ramps, and lobby; these items should be depicted in more detail on the elevations.
21. Provide the following graphics and ensure the proposed project is in scale with neighboring buildings and only existing or proposed structures are shown in all renderings. To ensure that graphics accurately portray the project in scaled proportion to its surroundings, provide a vertical benchmark (power pole, adjacent building, etc.) and indicate the measurements for comparison. In addition, include the following verification statement on all provided renderings: "This 3-dimensional representation of the proposed development is true and accurate relative to the height, width and length of any adjacent or proximate existing structures."
- Provide a context plan** of general area indicating proposed development and all nearby properties with structures outlined, and uses and heights labeled. On context plan, indicate and dimension setbacks, drive isles, public sidewalks, crosswalks, and bus stops.
  - Provide context elevations** (north/south and east/west) indicating proposed project and nearby properties, including those across adjacent streets and/or waterways. Dimension the height, length, and width of all structures, setbacks, drive isles, landscaping, etc. in order to ascertain the relationship the proposed development will have on the surrounding properties.
  - Provide pedestrian level perspective renderings** clearly indicating how the proposed development will be perceived from a pedestrian perspective, as viewed along the public realm. Include building details, outdoor seating and proposed landscaping;
  - Provide detail of ground floor elevations** with scale no less than  $\frac{1}{4}'' = 1'$ . All pertinent details (awnings, windows, etc.) should be dimensioned. Include specifications, and/or photographic examples of proposed materials. Eye level perspectives of the ground floor should include outdoor seating and pedestrian walkways and proposed landscaping;
  - Provide a night-time rendering** of the proposed project elevations.
22. It is recommended the following pedestrian and bicycle-related comments be addressed:
- Pursuant ULDR Section 47-25.2.M.6. (Adequacy requirements / Transportation / Pedestrian facilities): Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties;
  - Label all proposed pedestrian access/circulation areas: sidewalks, paths, crosswalks etc. (including width) to/from and within the site;
  - Site plan design indicates pedestrian/vehicle conflict areas. Accommodate safe pedestrian access, in particular to/from public sidewalks, vehicle parking areas and building entrances;
  - Provide bicycle parking in visible, well-lit areas as close as possible to pedestrian entryways/doors. In addition, where possible, locate bicycle parking facilities in an area that is sheltered/covered; and
  - Consult the Association of Pedestrian and Bicycle Professionals ("APBP") for Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide at <http://www.apbp.org/>. For more information on bicycle parking standards, please email Karen Warfel at [kwarfel@fortlauderdale.gov](mailto:kwarfel@fortlauderdale.gov).
23. Provide a vehicle and truck movement plan that displays adequate movement.
24. Be advised, additional comments may be generated based on revised plans.



**GENERAL COMMENTS:**

The following comments are for informational purposes.

1. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Please schedule an appointment with the case planner (Michael Ferrera, [mferrera@fortlauderdale.gov](mailto:mferrera@fortlauderdale.gov)) to review project revisions and/or to obtain a signature routing stamp.
2. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.



UDP-S25032

**Legend**

-  Fort Lauderdale Municipal Boundary Line
-  Subject Site

