

CITY OF FORT LAUDERDALE

# DEVELOPMENT REVIEW COMMITTEE



## CASE COMMENT REPORT

CASE NO. UDP-S25014



**CITY OF FORT LAUDERDALE**



**CASE INFORMATION**

<b>CASE</b>	UDP-S25014
<b>PROJECT NAME</b>	Holy Cross Comprehensive Outpatient Center with Emergency Department
<b>APPLICATION TYPE</b>	Site Plan Level III
<b>APPROVAL LEVEL</b>	Planning and Zoning Board, Subject to City Commission Request to Review
<b>REQUEST</b>	Conditional Use for 11,721 Square-Foot Outpatient Emergency Department, 10,071 Square-Foot Medical Clinic, and 20,000 Square-Foot Medical Offices with Associated Northwest Regional Activity Center Design Deviation Requests
<b>APPLICANT</b>	Holman Automotive, Inc.
<b>AGENT</b>	Stephen Tilbrook, Akerman, LLP.
<b>PROPERTY ADDRESS</b>	200 E. Sunrise Boulevard
<b>ABBREVIATED LEGAL DESCRIPTION</b>	Progresso 2-18 D Lots 5 Thru 11,32 Thru 44, N 100 Less N 15 For St Blk 213
<b>ZONING DISTRICT</b>	Northwest Regional Activity Center-Mixed Use northeast District (NWRAC-MUne)
<b>LAND USE</b>	Northwest Regional Activity Center
<b>COMMISSION DISTRICT</b>	2 – Steven Glassman
<b>NEIGHBORHOOD ASSOCIATION</b>	Progresso Village Civic Association
<b>SUBMITTED</b>	April 22, 2025
<b>COMPLETENESS ISSUED</b>	May 2, 2025
<b>EXPIRATION</b>	October 29, 2025 (180 Days)
<b>WAIVER</b>	Not Requested
<b>CASE PLANNER</b>	Adam Schnell, Urban Planner III

**RESUBMITTAL INFORMATION**

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City’s online citizen’s portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



Case Number: UDP-S25014

**CASE COMMENTS:**

Please provide a response to the following:

1. Show provisions for either open or closed interior parking per sections 406.5 and 406.6 of the 2023 FBC.
2. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2023 FBC.
3. Indicate code compliant sprinkler system per Section 903 of the 2023 FBC.
4. Provide accessible route connecting handicapped parking spaces to accessible building entrances per FBC Accessibility volume.
5. Accessible parking spaces must be located on an accessible route and so that users are not compelled to walk or wheel behind parked vehicles except behind his or her own vehicle.

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



Case Number: UDP-S25014

**CASE COMMENTS:**

**Prior to Planning and Zoning Board Meeting or Final DRC sign-off, please provide updated plans and written response to the following review comments:**

1. Provide copy of Florida Department of Transportation (FDOT) Pre-application meeting memorandum or approval letter as applicable for the proposed improvements along South Atlantic Boulevard. For meeting request or for additional information please contact FDOT District 4 Access Manager at D4AccessManagement@dot.state.fl.us
2. Provide 5' permanent Right-of-Way Easement or dedication along the east side of NE 2nd Avenue, to complete half of 50' Right-of-Way section. Show / label delineation in the plans.
3. Provide 5' permanent Right-of-Way Easement or dedication along the west side of NE 3rd Avenue, to complete half of 50' Right-of-Way section. Show / label delineation in the plans.
4. Provide permanent Sidewalk Easement as appropriate along south side of East Sunrise Boulevard to accommodate portion of pedestrian clear path (coordinate required width with FDOT and TAM) that may be located beyond public Right-of-Way; show / label delineation in the plans.
5. Provide permanent Sidewalk Easement as appropriate along east side of NE 2nd Avenue to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication. Show / label delineation in the plans.
6. Provide permanent Sidewalk Easement as appropriate along west side of NE 3rd Avenue to accommodate portion of pedestrian clear path (coordinate required width with TAM) that may be located beyond public Right-of-Way and/or Right-of-Way Easement dedication. Show / label delineation in the plans.
7. The sanitary sewer clean out provided at property line shall be labeled and installed per City standard #213. Include dimension from center of clean out to the property line, and rim/invert elevations.
8. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>



9. Discuss status of existing encumbrances such as easements (including whether public or private) shown on Boundary, Topographic & Utility Survey: 2'x110' Sewer Easement located between Lots 13 & 14. Vacation of any platted Utility Easement or right of way would require a separate DRC submittal, DRC staff support, and City Commission approval.
10. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
11. Proposed required on-site improvements (Monument Signs.) shall not be constructed within existing or proposed right of way/ dedications/ easements. If improvements are located within FDOT or Broward County right of way, provide correspondence indicating approval.
12. Clearly indicate on plans the limits of construction and how the proposed improvements will transition into the existing (on-site and off-site) as applicable.
  - a. The NW corner of the property located at NE 2<sup>nd</sup> Avenue and East Sunrise Blvd shall have a proposed ADA curb ramp.
  - b. Sidewalk located along NE 3<sup>rd</sup> Avenue shall extend to the property line.
13. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35. Ensure sight triangles are also depicted on adjacent driveways that would be impacted by proposed improvements on this project. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdictions, are subject to the sight visibility requirements of those jurisdictions.
  - a. Depict on Landscaping plans and include clear trunk on planting schedule for proposed plantings located within the visibility triangles.
14. Provide and label FDOT sight triangle (per the most current FDOT Design Standards) on the Site Plan, Landscape Plan, and Civil Plans.
15. Clearly depict trash enclosure on site plan.
  - a. Show truck turning movements in and out the proposed dumpster enclosure/ building as applicable.
  - b. Ensure sufficient height clearance is provided within the garage for truck access.
16. Sheets A-200.1 and A-201 (Building Elevations): Show and label existing Right-of-Way, proposed Right-of-Way and/or Easement boundaries, and horizontal building clearances on all building elevation / section details, as appropriate.



17. Provide and label typical roadway cross-sections for the proposed development side of NE 2<sup>nd</sup> Avenue, NE 3<sup>rd</sup> Avenue and E Sunrise Blvd: at driveway access points, at on-street parallel parking lanes, and at landscape swale areas (i.e. between travel lane and sidewalk) as appropriate. Cross-sections should show existing right of way and proposed right of way and/or easement boundaries.
  - a. Provide an additional cross section at driveway approach along NE 2<sup>nd</sup> Avenue.
  - b. Provide an additional cross section at landscape swale along NE 3<sup>rd</sup> Avenue.
  - c. The proposed public sidewalk shall not have a back sidewalk elevation designed higher than the crown of road elevations.
  - d. Cross sections shall depict corresponding site plan elevations.
18. For all levels in the parking garage:
  - a. Show and label total number of parking stalls per floor, dimension areas including drive aisle widths, vertical clearances, typical parking stall width/depth, as well as sloping floor and ramp grades.
  - b. The minimum clear width and depth parking stall dimensions shall be 8'-8" and 18'-0", respectively, and shall not be encroached upon by building columns.
19. Sheet A-105: Show and label dimensions for dead-end parking spaces as appropriate for vehicular turnaround. Per ULDR Section 47-20.5.C.4, dead-end parking areas shall be prohibited, except where the number of parking spaces in the dead end area is less than 21 and a turnaround area is provided which will accommodate a 2-point turn around by a standard passenger car (AASHTO "P" Design Vehicle) or where the number of parking spaces in the dead end is 10 or less.
20. Discuss whether valet will be provided. Denote on sheet A-000.
21. Provide sufficient existing and proposed grades and information on conceptual Paving, Grading, and Drainage Plan and details to demonstrate how stormwater runoff will remain onsite.
22. Per ULDR Sec. 47-20.13.D - On-site stormwater retention shall be provided in accordance with the requirements of the regulatory authority with jurisdiction over stormwater management System. Therefore, please provide drainage calculation showing proposed design will meet applicable South Florida Water Management District design criteria.
  - a. Property line elevations shall not be lower than the 25 year – 3 day storm event.
23. Please provide reasonable assurances that the drainage system will be able to be effectively operated and maintained. Response shall include the following at a minimum:
  - a. Provide plans demonstrating how will the drainage structures will be accessible by equipment required to maintain the system and or replaced the system in the event of failure.
24. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict, (per City Utility Atlas Maps). A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development). Any new trees (located within or adjacent to City Right-of-Way) should be placed



with sufficient horizontal and vertical distances (per City, County, and State guidelines) to / from City's public infrastructure, including stormwater assets, to allow for continued Public Works maintenance without obstruction. If this cannot be accommodated due to field conditions, then the developer shall relocate the existing City's public infrastructure to resolve the conflict(s) and to comply with City's, County's & State's engineering standards/permits/policies. Ensure separation is provided and include a note regarding horizontal clearance requirement on the landscape plans.

25. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
26. Discuss if pedestrian lighting is proposed; if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way, which requires perpetual maintenance by the Applicant via a Maintenance Agreement executed with the city. Please contact the Case Planner for details to match the area.
27. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label whether the adjacent Right-of-Way is FDOT, BCHCED, or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving, specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements.
  - a. Sheet EX-03 shall be updated as sidewalk easement area is already the responsibility of the property owner.
  - b. Limits where NE 3rd Avenue and NE 2nd Avenue meet E Sunrise Blvd shall be update to match BCPA.
28. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way
29. Proposed public and private improvements shall consider the construction limitation per Code of Ordinance Section 25-7 on all streets, alleys and sidewalks which are under the jurisdiction of the city, as these may be closed for construction for a period not to exceed seventy-two (72) hours.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



Case Number: UDP-S25014

**CASE COMMENTS:**

**GENERAL COMMENTS**

The following corrections are needed prior to Building permit application

1. Flood Zone in effect at time of submittal), AE, (BFE 6', + 3.4= 9.4 ft. NAVD)
2. Minimum elevation requirement of 9.4 ft NAVD is required
3. Additional comments may follow pending submission of the complete plan set at time of building permit.
4. The plans submitted show a floor elevation of 8' NAVD this is not meeting the 9.4 ft. NAVD 88
5. Flood Vents will also be required in the garage and trash room areas at 1 sq. inch for every square foot of enclosed areas please update plans at time of the building permit application.
6. Refer to FEMA Technical Bulletin 2, for Flood Damage Resistant Materials
7. Page 30 CFL Flood Ordinance no C-23-46 *Critical facilities*. New critical facilities shall be, to the extent possible, located outside the limits of the special flood hazard area. Construction of new critical facilities may be permissible within the special flood hazard area if no feasible alternative site is available. If permitted, the facility shall be elevated or protected to or above the base flood elevation plus three (3) feet

References

ASCE 24-14 Flood Resistant Design Standards.

FBC 8<sup>th</sup> Edition Residential Section R322.2.2 <https://codes.iccsafe.org/codes/florida>

Flood Ordinance Ch 14:

[https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodetd=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodetd=COOR_CH14FLMA)

Case Number: UDP-S25014

**CASE COMMENTS:**

Please provide a response to the following.

1. Please revise Tree Disposition Plan list (Sheet L-001.0) of the existing trees/palms, as per ULDR 47-21.6.A.2 Tree and Palm Inventory to include the following information:
  - a. tree number for each
  - b. botanical name and common name for each
  - c. trunk diameter, in inches, at chest height for trees
  - d. clear trunk in feet for palms
  - e. health condition rating (**as a percentage number**) for each as determined by an ISA Certified Arborist or Registered Landscape Architect
  - f. indicate status for all existing trees/palms on site (remain, relocate, remove)
2. Provide ISA Certified Arborist report for specimen-sized trees (Large species: 18+” DBH; Medium: 13+” DBH; Small: 8+” DBH) as per ULDR 47-21.6.A.2.i. This report is to be on ISA Certified Arborist business letterhead with contact information and ISA Certification number clearly stated. This report shall reference the tree survey or tree disposition sheet with numbered tree, a corresponding table which includes tree number, botanical name and common name, trunk diameter at breast height for trees, clear trunk height for palms, condition rating as a percentage, and a written assessment of existing tree characteristics explaining how and why the above information was reached. This report may also provide descriptive information on recommendations for prescriptive tree maintenance activities.
3. Proposed specimen-sized tree removal (#1, 35, 36, 42-49, 57, 58 & 64) may require submittal of an evaluation report prepared by an ISA Board Certified Master Arborist, ASCA Registered Consulting Arborist or Registered Landscape Architect using a method outlined in the Council of Tree & Landscape Appraisers "Guide for Plant Appraisal, 10th edition" to determine equivalent value (i.e. Functional Replacement Method - Trunk Formula Technique) as per ULDR 47-21.15.G.10. Please provide as applicable.
4. ULDR 47-21.9. F.1&2: Shade trees must be located a minimum of fifteen (15) feet away from structures. Small trees and palms must be located a minimum of seven and one-half (7½)feet away from structures. Palms may be planted closer to each other to form multiples or clusters. Please illustrate clearance dimensions on landscape plans and revise where in conflict.
5. E Sunrise Boulevard is a Primary Street per Chapter 3 of the NWRAC Illustrations of Design Standards. Please review standards and provide a streetscape section illustrating compliance with design requirements. Investigate the placement of proposed street trees in a landscape area located between the sidewalk and the roadway, such as in adjacent developments. See reference example below.





6. NE 2 Avenue and NE 3 Avenue are Secondary Streets per Chapter 3 of the NWRAC Illustrations of Design Standards. Please review standards and provide a streetscape section illustrating compliance with design requirements. Investigate undergrounding of existing overhead utility lines in order to provide better compliance with design standards.
7. Within the NWRAC districts, newly planted street trees shall be a minimum of 20 feet tall; 8 feet spread 6 feet ground clearance and provided at a ratio of one street tree per thirty feet of street frontage or greater fraction thereof not subtracting ingress and egress dimensions. When overhead utilities exist, required street trees may be ornamental trees or palms provided at a minimum of a ratio of one street tree per twenty feet frontage or greater fraction thereof not subtracting ingress and egress dimensions. Ornamental trees shall be a minimum 12 feet tall; 6 feet spread 6 feet ground clearance. Palms shall be a minimum 18 feet tall with a minimum 8 feet of wood. A minimum of 50% of the required street trees must be canopy trees. Consider that, in order to maximize the shade for a positive pedestrian experience, the city prefers continuous canopy coverage with 100% canopy trees in these areas.
8. A minimum separation of 6 feet is required between the tree trunk and travel lane when curb and gutter DO NOT exist, and a minimum separation of 4 feet is required between the tree trunk and travel lane when curb and gutter DO exist. Illustrate this clearance on landscape plans.
9. Sight triangles located at the intersection of a local street or driveway with a right-of-way under County, State or Federal jurisdiction, may be subject to the sight visibility requirements of those jurisdictions, as per ULDR 47-2.2. Q. Illustrate such sight triangles and provide documentation that application for approval has been made for planting in such right-of-way area.
  - a. Approval from jurisdiction for landscape installation in Right Of Way, preferred prior to final DRC sign off. If jurisdiction approval is obtained after DRC final sign off and the plans require any change, Administrative Review will be required prior to permit review.
10. A 10 feet sight triangle is required at the intersection of a driveway and street, measured from where the intersection of the driveway and paved travel lane meet. This area must be clear of obstructions between 2.5 feet and 8 feet above elevation of adjoining pavement, per ULDR 47-2.2. Q.1 and ULDR 47-35. Illustrate and label this triangle on landscape plan, and confirm landscaping is installed outside of sight triangles.
11. Tree canopy within a sight triangle requires a clearance of 8 feet. Please maintain tree canopy 60% to tree clear trunk 40% ratio heights adjust overall height of trees in sight triangles.
12. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans.

The structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

  - a) Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
  - b) Provide Structural Soil Detail and composition.
13. A suspension modular paving system product may be used in place of CU Structural Soil. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. Provide a detail of product of use for root development under paved areas.



14. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility and/or site amenities.
15. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities. Please revise if in conflict.
16. Utilities must be protected using a root barrier fabric wrap or equivalent. Landscape Plans must illustrate and label existing and proposed utilities in the right-of-way to confirm no utility conflicts exist, and illustrate the above setback and wrap requirement if applicable.
17. Additional comments may be forthcoming after next review of new plans and written comment responses.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following:

1. Note that effective as of November 1, 2024, the City's Tree Preservation Ordinance (ULDR 47-21.15) has been amended by approval of the City Commission. A copy of the amended ordinance shall be made available for use by request in the interim while the City's ULDR found on MuniCode awaits revision publication.
2. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.
3. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
4. Proposed landscaping work in the City's right of way requires engineering approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
5. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



Case Number: UDP-S25014

**CASE COMMENTS:**

Please provide a response to the following:

1. Entry doors should be solid, impact resistant or metal and should be equipped with a 180 degree view peephole.
2. Sliding glass windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
3. All glazing should be impact resistant.
4. Building should be pre-wired for an alarm system.
5. Lighting and landscaping should follow CPTED guidelines.
6. Stairs should be egress-only at the ground level to avoid unauthorized intrusion.
7. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, elevators, parking garage, hallways and common areas. It should be capable of retrieving an identifiable image of a person.
8. Emergency communication devices should be placed in the parking garage, pool and common areas. These should be easily identifiable and accessible.
9. Light reflecting paint should be used in parking garage to increase visibility and safety.
10. Elevators should be access controlled and labelled as such, to indicate resident only access versus public access.
11. Parking garage should have access control.
12. Offices, restrooms, mailroom, and common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.
13. Fort Lauderdale Police/Fire Dispatch should be notified of access for first responders
14. Due to the size and scope of the development, full-time security should be employed.

**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangements for private security during construction.



Case Number: UDP-S25014

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Service Days shall be per the City's residential routing schedule.
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate around the property.
8. Solid waste collection shall be from a private loading dock.
9. Containers: must comply with 47-19.4
10. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
11. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [Gwoolweaver@fortlauderdale.gov](mailto:Gwoolweaver@fortlauderdale.gov) . The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
  - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



Case Number: UDP-S25014

**CASE COMMENTS:**

1. Per City of Fort Lauderdale NW RAC Design Standards NE 2<sup>nd</sup> Ave and NE 3<sup>rd</sup> Ave shall have the following dimensions from the centerline of the road to the building face: 10' travel lane, 8' parallel on street parking, 7.5 feet landscape area, 7.5 sidewalk.
2. Provide a minimum of 10 feet wide sidewalk on **Sunrise Blvd**. This minimum is in reference to clear, unobstructed pathways -Light poles, trees and landscaping is not to be included in this zone. Landscaping shall be between the sidewalks and back of curb and a minimum of 5 feet in width. The back of sidewalk shall be placed on the right-of-way dedication/easement line.
3. Include a table showing the proposed land uses, the floor area in square feet for each land use, the parking ratio, the number of parking spaces required by type, and the number of parking spaces proposed by type (standard, compact, handicapped, vertically stacked, tandem, bicycle, loading, etc.). ULDR Sec. 47-20.2. - Parking and loading zone requirements.
4. Bicycle parking is required 1 bicycle parking space per every 20 parking spaces being provided.
5. Per City of Fort Lauderdale ULDR Sec. 47-20.2 Service use buildings equal to 15,000 sf but not greater than 50,000 sf shall be required to provide 1 Type II loading zone, a Type II loading zone shall be a minimum twelve (12) feet by forty-five (45) feet.
6. All parking must be provided in accordance with design and construction standards of the ULDR Section 47-20.11. Show dimensions for: stall width, depth of stall 90 degrees to aisle, aisle width, width of stall parallel to aisle, module width, angle of parking stalls. Properly dimension the parking stall dimensions on the plan sets.
7. Show inbound and outbound stacking requirements from the property line to the first conflict point according to Section 47-20.5 General design of parking facilities for each proposed driveway. The minimum inbound stacking requirement is five stacking spaces, the minimum outbound stacking requirement is one stacking space.
8. For reference one stacking space measurement is 12 feet in width and 22 feet in length.
9. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets and alleys (10' measured from intersection point of pavement edges), alleys with alleys (15' measured from intersection point of extended property lines), alleys with streets (15' measured from intersection point of extended property lines), and streets with streets (25' measured from intersection point of extended property lines). The request for reduction of sight triangle dimensions is subject to review by the City Engineer on a case-by-case basis. Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in ULDR Section 47-35.
10. Provide a 10' X 10' sight triangle at the proposed driveways starting at the back of sidewalk and driveway through lanes intersection points, no structures or obstructions shall be placed in this sight triangle. This sight triangle is required to provide clear visibility of the drivers exiting the driveway being able to see the pedestrians walking on the sidewalk against the building.



11. All internal circulation and queuing areas must be designed to accommodate the turning radii of the vehicles that will be using the site. The auto turns vehicular paths to depict the vehicle colliding with a proposed elevator and mounting a non-vehicular use area. Revise the ground floor to prevent these conflicts.
12. Any proposed drainage well, manhole, pull box etc. installed in the sidewalk must be flat, ADA compliant and not impact the effective width of the sidewalk clear path.
13. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan. This includes all access to/from the site entrance. Add the dimension, clearances, and slopes of the walkways.
14. Additional comments may be provided upon further review.

#### **GENERAL COMMENTS**

Please address comments below where applicable.

1. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.
2. Please note that any work within the City's right-of-way will require an MOT approved by Transportation and Mobility and Engineering for permitting. Any full closures of roadways, alleys, or sidewalks that are over 72 hours will require a Revocable License Agreement (RLA) with the City of Fort Lauderdale.



Case Number: UDP-S25014

**CASE COMMENTS:**

Please provide a response to the following:

- 1) Pursuant to the State Statute 166.033(1) applications must be deemed approved, approved with conditions, or denied within 180 days, which falls on October 19, 2025, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension will result in the application being denied by the City and the applicant will be required to refile a new application and fees to proceed.
- 2) The site is designated North Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives, and Policies.
- 3) Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-27.4, the applicant must complete the following:
  - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
    - i. Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations>); and,
    - ii. Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
  - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB meeting. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Development Services Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after the public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the case file. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.
- 4) The development is proposing a two-phased approach. The Plan Set does not separate both phases. To review the application as a phased project the site plan set must show both phases. Both phases must function on their own, meeting all ULDR regulatory requirements. This includes the visual presence and functionality of the building.
- 5) The project does not meet certain Northwest Regional Activity Center Master design intents as outlined in ULDR Section 47-13.29. - Design Standard Applicability. Staff has commented below under the applicable category and attached the Design Review Team (DRT) comment checklist.

Street Design Standards

- a. S5 – Plan set does not maximize on-street parking and does not match streetscape requirements of the NWRAC Master Plan. Update the plans to match the NWRAC Master Plan



streetscape standards.

- b. S7 – Update Plan Set to provide radii for street intersections.
- c. S9 – Plan set does not show the undergrounding of utility lines. Update plans to show the location of underground utilities.
- d. S10 – Provide measurements between palms and street trees to show conformance with distance requirements.

#### Building Design Standards

- e. B2 – Provide screening on east and south facades of the parking garage.
  - f. B3 – The entrance along Sunrise Boulevard is not designed to function as an entrance for patients and seems to be used as back of house. Moreover, the visual appearance of the entrance is not pronounced enough.
  - g. B14 – Rooftop screening needs to be redesigned to match the design and architecture of the building.
  - h. B15, B17, and B25 – Reference Comment B-14, above.
- 6) Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.
- 7) Provide the following changes to the site plan:
- a. Update the site plan to show all sidewalk measurements, building width and length measurements, street tree locations, swale widths, and encroachments.
  - b. Provide a site plan set that is separated into phase I and phase II. Note: Each phase needs to function on its own, meeting all ULDR requirements, which includes the visual presence of the building.
  - c. The street frontage along E. Sunrise Blvd shall contain a 7-foot swale abutting the edge of the pavement, followed by a 10-foot sidewalk. The sidewalk can jog southerly at the bus stop pinch point, with at least five feet of sidewalk on the backside of the bus stop shelter.
  - d. Update NE 3<sup>rd</sup> Street and NE 2<sup>nd</sup> Street to comply with the NWRAC Master Plan Street sectional requirements. On-street parking shall be provided wherever possible, especially along NE 3<sup>rd</sup> Avenue. Areas that cannot accommodate on-street parking shall be landscaped. A 7.5 foot landscape swale and street trees are required between the on-street parking, 7.5 foot sidewalk, and a 5 foot setback.



STREET DESIGN EXAMPLES: NWRAC-MU

Secondary Streets



**3**  
Street Design Examples  
NWRAC Conditions of Design Standards

**NOTE on Street Design**

- All existing medians shall be preserved as they currently exist.
- Maximum travel lane width shall be ten (10) feet.
- Minimum on-street parking width shall be eight (8) feet.
- The remaining portion of the right-of-way, from the curb of the parking space to the property line, plus the minimum five (5) ft. building setback, shall be dedicated to the pedestrian realm, as outlined below.

Large shade trees shall be located in a bulb-out, after every two parking spaces.

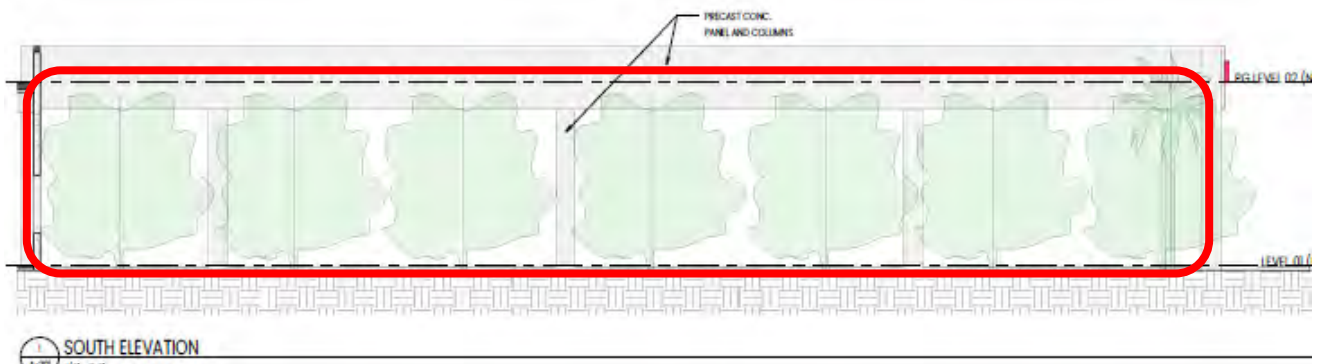
Small shade trees or ornamental trees shall be located in a tree grate within the sidewalk, the trunk being a minimum of six (6) ft from the face of the building, and spaced at the intersections of every parking space.

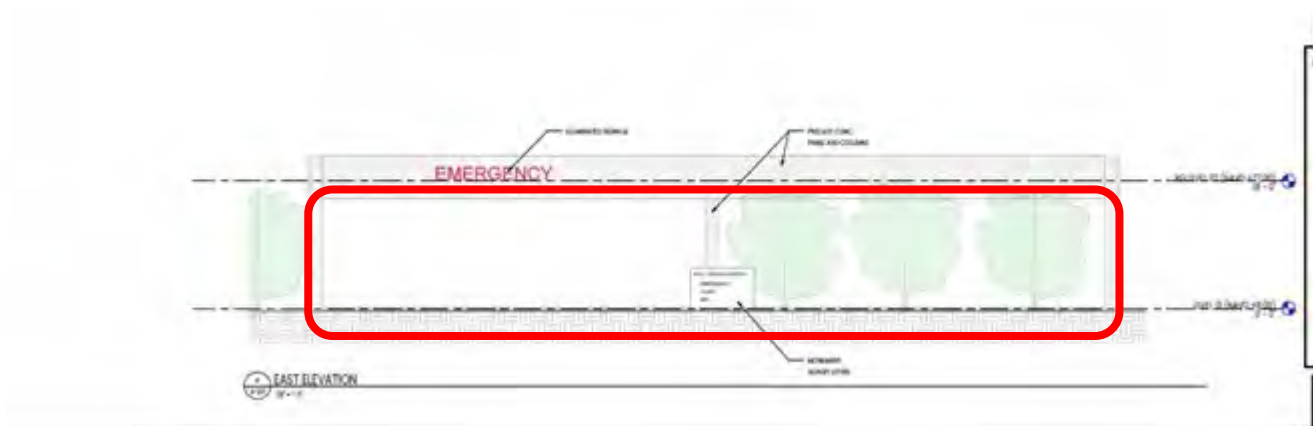
**NOTE**  
Sub-grade under sidewalk with trees to be constructed with improved structural soil system.

January 21, 2015 3.6

e. Current plans show streetscape improvements ending at the edge of the parking garage on NE 3<sup>rd</sup> Street. Extend the streetscape improvements along the entire length of the property line along NE 3<sup>rd</sup> Street.

- 8) Provide the following changes on the elevations:
- Site plan sheets need to be separated into two phases. Provide both phase I and phase II elevations. Note: Each phase needs to function on its own, meeting all ULDR requirements including building design.
  - Parking garage screening is required on the eastern and southern façades. Provide images, as well as screening details of garage screening material. The details shall also show measurements for openings to ensure screening adequately blocks out light and noise pollution.





- c. Elevations need to show setbacks from property line to building face.
  - d. Elevations shall show height measurements for the parapet walls and top of screening material.
  - e. Rooftop screening needs to be redesigned to appear as an integral part of the building. The height and material of the metal-louvered system does not complement the design of the building and is out of scale; with the height of the screening being around 1/3 the height of the building. The redesign should aim to integrate the screening with the lower levels, with the intent of decreasing the visual presence of the screening.
- 9) Indicate lighting poles and landscape plan and clarify height. Be aware that lighting fixtures greater than 10' in height are used, they shall be located a minimum of 15' away from shade trees (ULDR Section 47-20.14).
  - 10) Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the topmost surface of the roof mounted structures. Provide the following:
    - Spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening.
  - 11) Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:
    - a. Location and orientation of all proposed signage;
    - b. Dimensions of each proposed sign (height, width, depth, etc.);
    - c. Proposed sign copy; and,
    - d. Proposed color and materials
    - e. Please note any proposed signs will require a separate permit application.
  - 12) Provide a construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process.



- 13) The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels, and green roofs.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final Development Review Committee:

- 14) An additional follow-up coordination meeting may be required to review project changes necessitated by the Development Review Committee comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner Adam Schnell (954-828-4798) to review project revisions and/or to obtain a signature routing stamp.
- 15) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 16) Provide a written response to all Development Review Committee comments.



# DESIGN REVIEW TEAM (DRT) COMMENTS

Planning Area: NWRAC-MU Illustrations of Design Standards | Rev. 3/22/2021

**BACKGROUND INFORMATION:** The intent of the Design Review Team (DRT) is to assist applicants by identifying compliance with the applicable master plan design requirements in the form of a checklist. The checklist should be used as a guide in generating formal development applications for site plan submittal. Applicant should provide responses to each item in the DRT checklist upon submittal of formal development applications.

<b>CASE NUMBER:</b>	UDP-DRT25001	<b>NOTES:</b> <ul style="list-style-type: none"> <li>Principles in <b>bold</b> are dimensional standards required by Code (ULDR) Section 47-13.20.</li> <li>Principles marked "yes" / "no" indicate if project meets intent of guideline</li> <li>N/A = Not applicable; more information needed means there is insufficient information to review.</li> </ul>
<b>PROJECT NAME:</b>	Holy Cross Hospital	
<b>PROJECT ADDRESS:</b>	200 E. Sunrise Blvd	
<b>REVIEW DATE:</b>	05/07/2025	
<b>CASE PLANNER:</b>	Adam Schnell, Planner III	
<b>CONTACT INFORMATION:</b>	954-828-4798	

**INSTRUCTIONS:** Mark applicable column with "X". Add comments / design intent under Principle title.

STREET DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
S-1	A fine-grained street grid is maintained, and right-of-ways are vacated only for strategic public planning purposes.			X	
S-2	Development above right-of-ways (air rights) does not occur.			X	
S-3	Streets have reduced lane widths.			X	
S-4	Traffic calming is utilized rather than barricading streets.			X	
S-5	On-street parking is maximized on all streets.  <b>Plan Set does not maximize on-street parking and does not match streetscape requirements of the NWRAC Master Plan. Update the plans to match the NWRAC Master Plan.</b>		X		
S-6	Adequate bike lanes are provided where appropriate, subject to a planned bicycle network.			X	
S-7	Curb radii are reduced at street intersections to a preferred maximum of 15-feet or a maximum of 20-feet at major arterial roadways.  <b>Update Plan Set to provide radii for street intersections.</b>		X		
S-8	County "Corner Cord" requirements are eliminated to the greatest extent possible.			X	
S-9	All utility lines (electrical, telephone, cable, etc.) are buried in locations allowing for tree planning and proper root growth.  <b>Plan Set does not show the undergrounding of utility lines. Update plans to show the location of underground utilities.</b>		X		
S-10	Shade trees are maximized on all right-of-ways, located between the sidewalk and the street, with palms or ornamental trees providing a visual marker for intersections (spacing 20-feet for palms/ornamentals & 30-feet for shade trees).  <b>Provide measurements between palms and street trees to show conformance with distance requirements.</b>		X		
S-11	Landscaping (other than street trees) plays a supporting, rather than dominant role in the overall street design.	X			



S-12	Numerous and wide curb cuts are avoided to the greatest extent possible.	X			
S-13	Drive-thrus are avoided in most cases.	X			

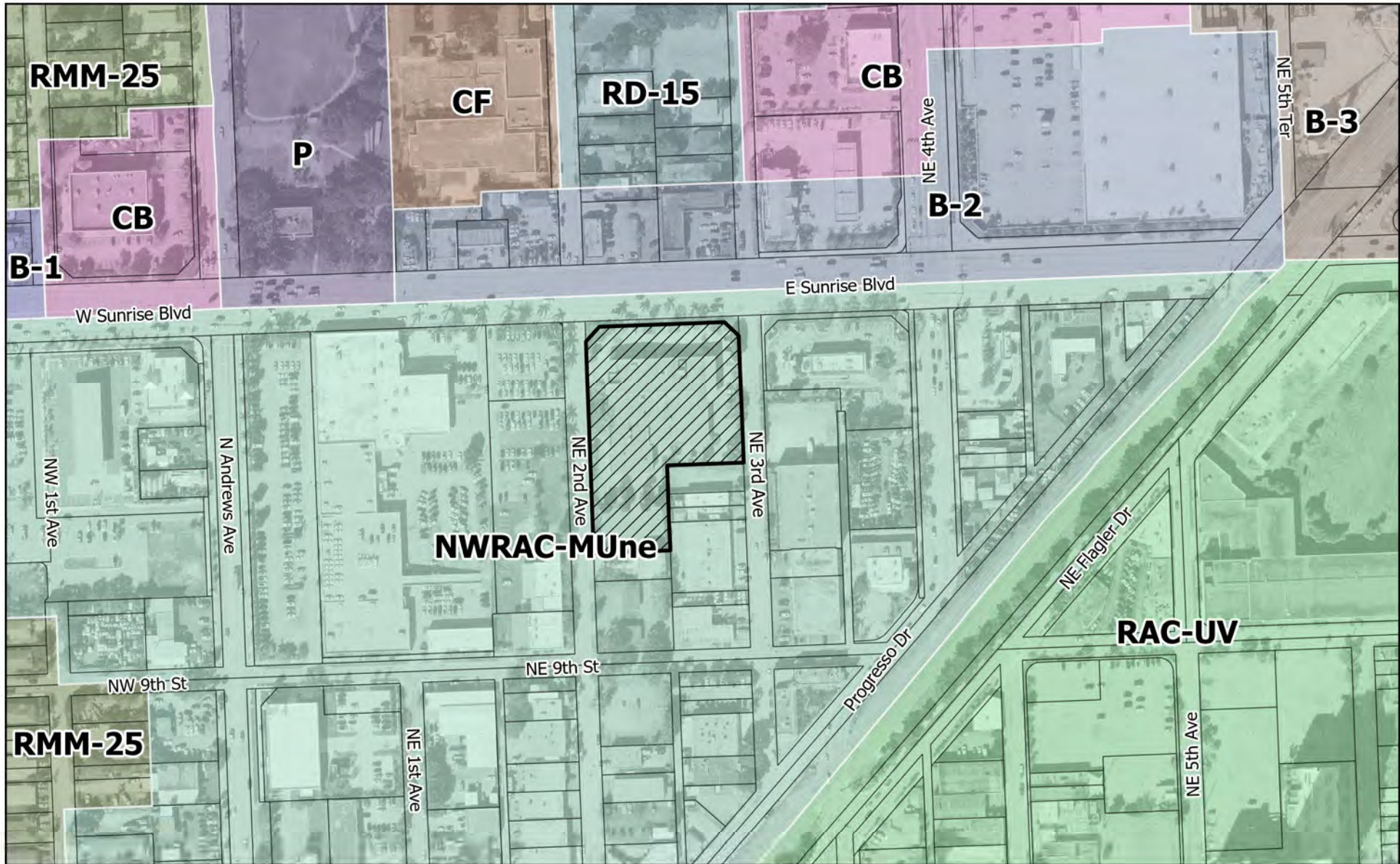
BUILDING DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
B-1	Surface parking facilities are secondary to the pedestrian public realm experience with vehicular access provided from the secondary street or alley where possible.			X	
B-2	Structured parking design is well integrated into the overall building design.  <b>Update parking garage design to provide screening for the open-air design on the east and southern facades.</b>		X		
B-3	To create an interesting, active, street environment, main pedestrian entrances are oriented toward the street.  <b>The entrance along Sunrise Blvd is not designed to function as an entrance for patients and seems to be used as back of house. Moreover, the visual appearance of the entrance is not pronounced enough.</b>		X		
B-4	Framing the street: Site open space, as required, is aggregated as usable pedestrian-oriented public space instead of a leftover "green" perimeter. Courtyards and Plazas that are part of the development site are lined with active uses.			X	
B-5	Framing the street: Buildings meet the front and corner build-to-lines to maintain a consistent streetwall. <i>Primary Street: The building frontage abutting a Primary Street should be built to the property line.</i> <i>Secondary Street: The building frontage abutting a Secondary Street should be built to a zone consisting of 5 to 10 feet from the property line.</i>			X	
B-6	Framing the street: Buildings meet the side yard setback to maintain a consistent streetwall. <i>Side / Rear Yard Setbacks: 0 feet*</i> <i>*15 feet when abutting existing residential</i>			X	
B-7	Framing the street: Building streetwalls meet minimum and maximum shoulder heights. <i>Two stories or 25-feet minimum</i> <i>Five stories or 65-feet maximum</i>			X	
B-8	Framing the street: Buildings exceeding a maximum streetwall length of 150-feet provide variation in the physical design and articulation of the streetwall.			X	
B-9a	Buildings do not exceed maximum height dimensions. <u>NWRAC-MU<sub>ne</sub> and those properties that are located east of NW 2nd Avenue within the NWRAC-MU<sub>e</sub></u> <i>Permitted Maximum Height up to, but no higher than 120 ft.</i>  <u>NWRAC-MU<sub>e</sub> west of NW 2nd Avenue</u> <i>Permitted Height up to, but no higher than 65 ft.</i> <i>Max Height up to, but no higher than 110 ft *</i>  <u>NWRAC-MU<sub>w</sub></u> <i>Permitted Height up to, but no higher than 45 ft.</i> <i>Max Height up to, but no higher than 65 ft*</i>  <i>* Structures exceeding the permitted height threshold of the NWRAC-MU<sub>e</sub>, and NWRAC-MU<sub>w</sub> shall be reviewed subject to the process for a Site Plan Level II permit, with City Commission review and approval in accordance</i>			X	



BUILDING DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
	with the performance standards in the Unified and Land Development Regulations (ULDR), Section 47-13.52.B				
B-9b	<u>Maximum Floorplate:</u> Commercial 32,000 square feet Residential 12,000 square feet			X	
B-9c	<u>Minimum Tower Separation:</u> 40 feet (depending on floorplate)			X	
B-9d	<u>Minimum First Floor Height:</u> Fifteen (15) feet			X	
B-10	Towers do not exceed minimum stepback dimensions and maximum floorplate area.  Minimum Tower Stepback Front Corner Side Rear Primary Street: 12 feet* 12 feet* Side and Rear are dependent on floorplate  Secondary Street: 15 feet 15 feet [Dependent on floorplate]  Maximum Floorplate / Minimum Tower Stepback  <u>Commercial</u> 32,000 square feet / 30 feet side and rear stepback 20,000 square feet / 25 feet side and rear stepback 16,000 square feet / 20 feet side and rear stepback  <u>Residential</u> 12,000 square feet / 30 feet side and rear stepback 10,000 square feet / 25 feet side and rear stepback 8,000 square feet / 20 feet side and rear stepback			X	
B-11	Where buildings abut existing residential development a transition zone shall be established. <u>Minimum Yard Setback:</u> 15-feet <u>Maximum Shoulder Height:</u> 45-feet <u>Minimum Tower Stepback:</u> 15-feet			X	
B-12	Where buildings with towers are located with frontages on multiple streets, the towers are oriented towards the "Primary Street".			X	
B-13	Towers contribute to the overall skyline composition.			X	
B-14	Original and self-confident design: A range of architectural styles exist, each having a strong identity, and striving for the highest quality expression of its chosen architectural style.  <b>Rooftop screening needs to be redesigned to match the design and architecture of the building. The height and material of the metal louvered system does not match the design of the building and is out of scale with the size of the building. Update the screening to match the design of the building.</b>  <b>Provide garage screening for the open aired garage on the east and south façade.</b>		X		
B-15	Buildings are of high-quality design and construction with an emphasis on durable materials, well thought-out details and careful workmanship.  <b>Reference Comment B-14</b>		X		
B-16	Buildings are site responsive, reflect local character, and have architectural features and patterns that provide visual interest from the perspective of the pedestrian.	X			



BUILDING DESIGN STANDARDS: NWRAC-MU		YES	NO	N/A	MORE INFORMATION NEEDED
B-17	Creative façade composition: A rich layering of architectural elements are provided throughout the building, with special attention to details below the shoulder level.  <b>Reference Comment B-14</b>		X		
B-18	The first floor of nonresidential buildings are flush with the adjacent sidewalk, have a minimum height of fifteen (15) feet, and a high percentage of clear glazing <i>Primary Streets – minimum 60%</i> <i>Secondary Streets – minimum 50%</i>  <i>Staff believes based on the proposed use; the percentage of proposed fenestration meets the intent of the NWRAC Master Plan</i>	X	X		
B-19	Buildings with historic value are preserved and utilized for Adaptive Reuse.			X	
B-20	Environmental Architectural Design that responds to the unique nature of the South Florida environment.			X	
B-21	Pedestrian shading devices, of various types, are provided along the façade of buildings.			X	
B-22	Active and 'extroverted' ground floors with retail are located in strategic locations.			X	
B-23	In residential buildings, ground floor units have individual entrances.			X	
B-24	Balconies and bay windows animate residential building façades			X	
B-25	The 'Fifth Façade' of a building is treated as part of the total design.  <b>Reference Comment B-14</b>		X		
B-26	Lighting is utilized to enhance safety without contributing to excessive light pollution or glare.			X	
B-27	Noise pollution as a result of building design is mitigated.			X	



UDP-S25014

**Legend**

-  Fort Lauderdale Municipal Boundary Line
-  Subject Site

300 Feet

GRAPHIC SCALE

