

**REGULAR MEETING
NORTHWEST-PROGRESSO-FLAGLER HEIGHTS REDEVELOPMENT
ADVISORY BOARD**

February 14, 2023 - 3:00 PM

City Hall – 8th Floor Conference Room

100 North Andrews Avenue

Fort Lauderdale, Fl. 33301

- | | | |
|-------|--|--------------------------|
| i. | Call to Order/Roll Call
Quorum | Rhoda Glasco F.
Chair |
| ii. | Approval of Minutes
□ 12.13.2022 Minutes | NPF CRA Board |
| iii. | Project Funding Update
CRA Business Manager | Vanessa Martin |
| iv. | Funding Request – New Hope Development Corporation
New Hope Affordable Housing Development-1316 Sistrunk Blvd.
Development Incentive Program - \$2,000,000 | CRA Staff |
| v. | Funding Request – 825 Progresso Drive LLC.
Indoor-Outdoor Mixed-Used Retail and Hospitality on
Repurposed Used Car Lot at 825-833 Progresso Drive
Property and Business Improvement Program - \$212,520.00
Façade Program - \$92,735.00
Streetscape Enhancement Program - \$97,440.00 | CRA Staff |
| vi. | Presentation – Sistrunk Arts and Culture District Plan | James Carras |
| vii. | Communication to CRA Board of Commissioners | NPF CRA Board |
| viii. | Old/New Business | |
| ix. | Public Comments | |
| x. | Adjournment | |

THE NEXT REGULAR NPF-CRA MEETING WILL BE HELD, **Tuesday, March 14, 2023.**

Purpose: To review the Plan for the NPF-CRA and recommend any changes to the Plan. To make recommendations regarding the exercise of the City Commission's powers as a community redevelopment agency in order to implement the Plan and carry out and effectuate the purposes and provisions of Chapter 61-2165, Laws of Florida and Section 163.330 through 163.450, Florida Statutes in the NPF-CRA. To receive input from members of the public interested in redevelopment of the NPF-CRA and to report such information to the City Commission.

Note: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Anyone needing auxiliary services to assist in participating at the meeting should contact the City Clerk at (954) 828-5002 two days prior to the meeting.

Note: *Advisory Board members are required to disclose any conflict of interest that may exist with any agenda item prior to the item being discussed.*

Note: *Advisory Board members should disclose any discussions or site visits to any project that come before the Advisory Board for a recommendation.*

Note: *Two or more Fort Lauderdale City Commissioners or Members of a City of Fort Lauderdale Advisory Board may be in attendance at this meeting.*

<u>Board Members</u>	<u>Attendance</u>	Cumulative Attendance June 2022-May 2023	
		<u>Present</u>	<u>Absent</u>
Rhoda Glasco Foderingham, Chair	P	4	1
Dylan Lagi, Vice Chair	P	5	0
Sonya Burrows	P	5	0
Kenneth Calhoun	P	5	0
Lisa Crawford	P	5	0
John Hooper	A	1	4
Michael Lewin	P	4	1
Steffen Lue	P	4	1
Lorraine Mizell	A	3	2
Christopher Murphy	P	5	0
Alfredo Olvera	P	3	2
John Quailey	A	4	1

Currently there are 12 appointed members on the Board, which means seven (7) would constitute a quorum.

Staff

Clarence Woods, III, NPF CRA Manager
 Lizeth DeTorres, Sr. Administrative Assistant
 Eleni Ward Jankovic, Project Coordinator
 Bob Wojcik, Housing and Economic Development Manager
 Vanessa Martin, Business Manager
 Corey Ritchie, CRA Construction Manager
 Carla Blair, Prototype Inc. Recording Secretary

Also Present

Jonathan Fish, Manager of Thrive Development Group
 Beverly Chambers

Communication to the CRA Board of Commissioners

None

I. Call to Order/Roll Call

Chair Foderingham

Chair Foderingham called the meeting to order at 3:02 p.m. and roll was called.

II. Approval of Minutes

NPF CRA Board

- October 11, 2022 Minutes

Motion by Mr. Lewin, seconded by Mr. Murphy, to approve the minutes of October 11, 2022. In a voice vote, the motion passed unanimously.

III. Project Funding Update

Vanessa Martin

Ms. Martin provided an update in the Board's packet and related some highlights. She reported they had awarded \$79.4 million in incentive dollars to date. She eliminated the Assigned But Not Yet Started report and moved those to the In Progress. She also added an Average Cost Increase report. They currently had \$6 million in uncommitted funds. Mr. Woods said they had the \$6 million because they were able to roll over some projects from last year. This enabled them to pay down debt, freeing up new money.

Mr. Ritchey said if a project was not progressing, they took back the funds.

IV. Request for Additional Funding

CRA Staff

Thrive Development Group, LLC

\$1,000,000 Development Incentive Program - Thrive Progresso Project

Mr. Wojcik said this was a request for an additional \$1 million for the Thrive Progresso project. The Board had originally approved this massive project in 2019 which consists of renovating 60,000 square-feet of buildings on 3.5 acres of land in the industrial/light industrial area of Progresso, fronting both sides of NW 5th Avenue between NW 7th St, and NW 8th St.

Mr. Wojcik stated when the developer purchased the property between 2016-2018 for \$5.9 million, the estimated cost to retrofit the properties from warehouse to retail, office, hospitality, and art uses was \$4.5 million, for a total capital investment of approximately \$10.5 million, with a \$3 million CRA contribution. Since then, the developer had diligently pursued the renovation work, which was approximately 85% complete. During this time, the renovation costs had increased from \$4.5 million to \$8.5 million. With recent change orders, design changes and additional work required by the building officials, the renovation cost has now increased to \$9.5 million and the total capital investment was now \$15.4 million. With the additional \$1 million in proposed CRA funding, the total percentage of CRA funding would *decrease* from 29% of the original estimated capital investment to 25.9% of what is now the total capital investment for this project. Mr. Wojcik

noted that the CRA's contribution to other CRA DIP funded developments averaged 35% of total capital investment, so this was considerably less. Mr. Wojcik recalled the problems at this property before purchased by the developer and said this development would have a remarkable "transformative effect on the area." He said he could not stress how important this property was to the CRA, where over 3.5 acres of "slum and blighted" property, along with adjacent right-of-way, would be transformed to what was described by the press as "Fort Lauderdale's Wynwood." Staff fully supported the request and Mr. Wojcik asked the Board to approve it.

The following Board members had separately visited the site, at the invitation of the developer: Chair Foderingham; Ms. Crawford; Ms. Burrows; Mr. Lue, Mr. Olvera; Mr. Lewin and Mr. Lagi.

Mr. Lagi announced he would abstain from voting on this item due to a prior business relationship he had with the developer.

Jonathan Fish, Manager of Thrive Development Group, said this project would be special for the City and the County. He said they had made a decision to fix up the stores and include bathrooms to make them ready for tenants. He thanked the Board for their support.

Mr. Lewin asked about the agreement with the City to hold some units at lower rents and Mr. Fish stated they had agreed to have 25% of the property at a much more affordable \$18 per square foot. He said this would enable tenants to grow with them.

Ms. Crawford asked about the mix of tenants and Mr. Fish stated the property was approved for different uses: office, retail, food and beverage, and high-end warehouse. It was important to them to make this a family-friendly place, and they looked for tenants who would add something to the site.

Chair Foderingham asked about the Certificate of Occupancy [CO] and Mr. Fish said an FPL pole installation was holding things up. He anticipated having the CO between March and May.

Mr. Murphy said last month, the Board had denied a request for additional funding and asked what was different about this request. Mr. Fish stated that request related to another project adjacent to Thrive. This request was for the original project.

Mr. Lewin said he had voted against the request last month, but after visiting the property, his perspective had changed regarding the project's value to the community. He felt this would lift tenants up and help them to thrive and grow. He said he supported this request. Mr. Lue agreed that the site visit had changed his perspective on the entire project.

Motion by Ms. Burrows, seconded by Mr. Lue, to approve the additional funding request. In a roll call vote, the motion **passed 8-0** with Mr. Lagi abstaining.

V. Communication to CRA Board of Commissioners

CRA Staff

Chair Foderingham wondered if the Board should have a joint meeting with the new City Commission and Mr. Woods said they typically did that in the spring. Chair Foderingham wanted to request the meeting now, because last time it had taken a while to get put on the Commission's agenda. Board members agreed.

Ms. Crawford asked about the Board's communication regarding the Commission's denial of a proposal the Board had approved. Chair Foderingham had brought this up with the City Commission, but only two of the members involved in that vote were still on the Commission and she said neither of them seemed anxious to reconsider the request. This was one reason she wanted to speak with the new Commission as soon as possible. Mr. Woods said they were putting that request out again in January or February. Chair Foderingham wanted to be sure that the next RFP included the same property as the original RFP, not adding land that was owned by one of the proposers.

VI. Old/New Business

None

VII. Public Comments

Beverly Chambers asked about a project that would utilize "extra money" and Mr. Woods explained there were three budget categories/accounts: incentive, operations, and the CIP. There had been \$500,000 left in the operations account that they decided to use for two projects in the redevelopment area the City had been working on. This involved purchasing Tony's Market, and the CRA would contribute toward the property's demolition. Some of the funds would also be used toward the build-out of the new police substation in the YMCA.

Ms. Chambers stated the HOAs had been trying to understand the definition of Area Median income, and now the County had changed to the term to Median Family Income. She said the community wanted the CRA and the Board to encourage the developers to use minority builders. Mr. Woods said it had long been CRA policy to have developers provide a "first source" hiring agreement for local residents within the redevelopment area but the problem was getting them to actually do it and to be able to track it. Developers resisted including this in the development agreement and used "best effort" language instead. He pointed out that if there were a number of projects going on, they could run out of people to take those jobs. Mr. Woods stated instead of forcing this on developers, they had suggested the developers give some of their CRA funding back and the CRA would use it to provide training.

Ms. Burrows asked how much they pushed for developers to meet with minority coalition builders and Mr. Woods said they asked them to. Chair Foderingham said it was happening, but she wanted to get to the point that it became part of an approved project.

Mr. Woods pointed out that in order to enforce this, they would need to monitor it. Ms. Burrows stated if a developer hired a Black contracting firm from within the redevelopment area, they would take care of the people in the neighborhood.

Mr. Ritchey discussed current projects for which they were trying to hire a minority contractor. Mr. Lue wanted to know how much money from the YMCA project went to small, minority companies but Mr. Woods could not say. Mr. Lue asked if they could suggest the developers work with small, minority organizations prior to seeking funds from the Board. Mr. Woods said the Board could suggest this and reminded them that the business must be within the redevelopment area. Mr. Calhoun suggested staff could inform applicants that their chance of approval would be improved if they agreed to hire small, minority businesses.

Chair Foderingham said unless it was CRA Board policy, this would not happen. Mr. Woods recalled that the CRA Board had issued that directive at the joint meeting. Mr. Murphy suggested that if a developer sought additional funding, the Board could ask if the developer had followed through on a promise to hire a certain percentage of people from the community or minority small businesses.

Mr. Ritchey said when the CRA was overseeing a project, staff made strong recommendations to owners regarding local contractors.

Chair Foderingham asked Mr. Woods to provide the Board with housing affordability information at their next meeting.

Chair Foderingham announced that the Board's next meeting was on Tuesday, January 17.

VIII. Adjournment

There being no further business to come before the Board at this time, the meeting was adjourned at 4:26 p.m.

The next regular NPF-CRA meeting will be held **Tuesday – January 17, 2023.**

Any written public comments made 48 hours prior to the meeting regarding items discussed during the proceedings have been attached hereto.

NORTHWEST PROGRESSO FLAGLER HEIGHTS CRA - COMPLETED Incentive Projects as of 1/31/2023 (FY 2017 - FY2023)					
Vendor	Index Title	Total Encumbrance as of FY 23	Total Disbursement	Remaining Awarded Incentives	Comments
Invasive Species Brewing LLC	PBIP & Comm. Façade Improvement Programs	110,353	(100,875)	9,478	PO Closed
Brody Family Investments	Comm. Façade Improvement	350,000	(288,633)	61,367	PO Closed
728 NW 7th Terrace	Comm. Façade Improvement	7,500	(7,500)	-	
723 NE 2nd Ave	Comm. Façade Improvement	15,000	(15,000)	-	
731 NE 2nd Ave	Comm. Façade Improvement	15,000	(15,000)	-	
737 NE 2nd Ave	Comm. Façade Improvement	15,000	(15,000)	-	
Rechter Holdings (913 NE 4 Ave)	PBIP & Comm. Façade & Streetscape Programs	206,267	(206,267)	-	
Moody's Insurance	PBIP & Comm. Façade & Streetscape Programs	77,500	(77,500)	-	
CHDS, LLC (1740 NW 3rd Ct)	Comm. Façade	11,300	(11,300)	-	
Italian Artisans Inc	PBIP	25,000	(25,000)	-	
Fairfield Flagler LP	Streetscape Enhancement Program	329,503	(329,503)	-	
ID Flagler Village (TRIANGLE)	Streetscape Enhancement Program	251,078	(251,078)	-	
Urban North LLC	Streetscape Enhancement Program	50,000	(50,000)	-	
LPF Realty FL LLC	Development Incentive	1,500,000	(1,500,000)	-	
613 NW 3rd Ave LLC	Development Incentive	7,000,000	(7,000,000)	-	
<i>*Florida East Coast Industries, LLC</i>		183,820	-	183,820	Management working with vendor
Wine Watch LLC	Development Incentive	50,000	(50,000)	-	Adjusted CAM
<i>**All Aboard Florida Operations LLC</i>		281,274	-	281,274	Management working with vendor
Land Acquisition 2 Properties	Property Tax Reimbursement Program	190,000	(190,000)	-	
Land Acquisition 55 Properties	Property Tax Reimbursement Program	612,291	(612,291)	-	
Land Acquisition	Property Tax Reimbursement Program	60,000	(60,000)	-	
Circle House Coffee	PBIP & Comm. Façade	187,772	(187,772)	-	
JRs Automotive & Performance	Comm. Façade Improvement	44,493	(44,493)	-	
IHL Properties	Comm. Façade Improvement	50,000	(50,000)	-	
Rechter Progresso 837 LLC	PBIP	50,000	(50,000)	-	
Rechter Progresso 835 LLC	PBIP	50,000	(50,000)	-	
Dales Properties and Tires	Comm. Façade & PBIB	350,000	(352,672)	(2,672)	PO Closed
1134 LLC (Smitty's Wings)	PBIP & Comm. Façade	450,000	(445,873)	4,127	PO Closed
McClinton Holdings	PBIP	100,000	(100,000)	-	
North West 6th Investments LLC (SISTRUNK MARKET)	Development Incentive	1,400,000	(400,000)	1,000,000	First Amendment - Sec. 2. Paragraph 6.02; Contingencies 1-3. Payment 1 made by wire transfer. Payment 2 requested on 6.15.2021
East Fort Lauderdale Rentals (Startups)		350,000	(350,000)	-	
Orchestrated Brewers, LLC	PBIP & Comm. Façade	79,778	(79,778)	-	
Batch Cookies, LLC	PBIP	21,000	(21,000)	-	
*Sweeting Estates - Painting & Landscaping FY20	Residential Façade & Landscaping	-	(216,326)	(216,326)	\$7500 per homeowner

River Gardens Townhomes	Development Incentive	\$ 1,500,000	\$ (1,500,000)	-	Funds disbursed to Escrow Agent- Final transaction (interest balance returned to CRA on 3.2.2022)
Jack and Jill	Development Incentive	\$ 2,000,000	\$ (1,500,000)	500,000	Received Certificate of Occupancy in August. Issued 8.3.2022 - See agreement per future encumbrances (FY2023 \$500K final encumbrance)
*Sweeting Estates - Painting & Landscaping FY21	Residential Façade & Landscaping	-	(155,130)	(155,130)	\$7500 per homeowner
Home Beautiful/Durrs Community - Painting & Landscaping FY21	Residential Façade & Landscaping	-	(120,366)	(120,366)	\$5,000 per homeowner
Home Beautiful/Durrs Community - Painting & Landscaping FY22	Residential Façade & Landscaping	-	(105,046)	(105,046)	\$5,000 per homeowner
Home Beautiful/Durrs Community - Painting & Landscaping FY23	Residential Façade & Landscaping	-	(19,416)	(19,416)	\$5,000 per homeowner
*Emergency Business Assistance FY20	Emergency Business Assistance	-	(145,000)	(145,000)	\$10,000 per small business
*Emergency Business Assistance FY21	Emergency Business Assistance	-	(300,000)	(300,000)	\$10,000 per small business
Rebuilding Together Broward - FY21	Residential Rehab Forgivable Loans	255,000	(255,000)	-	Final 4th quarter payment disbursed on 2/17/2021
FPA II LLC (The Pharmacy Project)	Comm. Façade Improvement	748,500	(748,500)	-	Wire sent 4.9.2021
Shipmonk - BEDA BOX	PBIP	\$ 221,917	-	221,917	Work completed. Pending proof of job creation prior to making payment
Numerous Applicants - Purchase Assistance Program	Purchase Assistance Program - not to exceed \$495,000	\$ 315,000	\$ (270,000)	45,000	3 Applicants approved in FY2020; 3 additional approved in FY21 at \$45,000 per applicant. CAM 16-0556 and CAM 18-0192. PO Closed.
BH3 DJ Flagler	Comm. Façade Improvement & PBIP	\$ 350,000	(350,000)	-	Work completed, in FY21. Final payment made late due to request to modify restrictive covenants.
Boodhwattie Persaud (BLACKSTAR)	PBIP	\$ 122,500	\$ (119,984)	2,516	An additional \$22,500 was awarded in FY21 to finalize project. Final payment made on 3.14.2022. 100% Complete
Blue Tree Café	PBIP	\$ 295,695	\$ (295,695)	(0)	Hard costs documentation submitted. Project 100% Completed, pending final payment.
YMCA Demolition	Development Incentive	\$ 600,000	\$ (645,557)	(45,557)	Received \$40K to assist with costs.
Knallhart - Abby	Comm. Façade & PBIP	\$ 275,000	\$ (275,000)	-	Certificate of occupancy received and final payment disbursed - FY 2022
Continuation & Expansion - Rebuilding Broward FY22	Residential Rehab Forgivable Loans	\$ 300,000	\$ (300,000)	-	Final Payment Disbursed in Fiscal Year 2022.
Flagler Village Hotel (315 Flagler Village)	Streetscape Enhancement Program	\$ 329,933	\$ (329,933)	-	The Dual Branded Hotel is complete. Payment disbursed on 4.26.2022
Provident Fort Lauderdale LLC	Comm. Façade Improvement	\$ 420,000	\$ (420,000)	-	Updated amended amount per signed agreement. Payment disbursed via WT 10/26/2022.
Flagler Village Land Trust (Quantum)	Streetscape Enhancement Program	\$ 500,000	\$ -	500,000	Structurally complete. Pending final payment from Developer.
Patio Bar & Pizza LLC	Incentive Program	\$ 225,000	\$ (224,994)	6	Final Payment Disbursed on 6.30.2022. PO Closed
401 NE 8th Street	PBIP, Comm. Façade & Streetscape Enhancement Programs	\$ 163,460	\$ (75,806)	87,654	Final payment disbursed. PO Closed.
Young Men's Christian Association of S Fla (YMCA)	Development Incentive	\$ 10,000,000	\$ (7,500,000)	2,500,000	Project Complete. Payment #1 paid \$6,250,000 (June 2022) and Payment #2 paid \$1,250,000(November 2022)
801 NW 1st Street	Comm. Façade & PBIP	\$ 85,678	\$ (56,811)	28,867	Project Complete. PO Closed

Sistrunk Station/Market - NW 6th	Comm. Façade & PBIP	\$ 350,000	\$ (350,000)	-	100% completed. Final invoice submitted for payment in December 2022.
Hoover Products Inc.	Development Incentive	\$ 1,100,000	\$ (1,060,860)	39,140	97% complete
Broward College	Development Incentive	\$ 1,000,000	\$ (750,000)	250,000	No Construction/ \$500k Scholarships & \$500K Equipment. \$250k allocated FY's 2021,2022,2023 and 2024. Programs in operations. Pending Invoice.
TOTAL INCENTIVE PROJECTS COMPLETED as of 1/31/2023		\$ 35,631,612	\$ (31,025,960)	\$ 4,605,652	

*Projects completed in FY2021
*Projects completed in FY2022
* Projects completed in FY 2023

Completed log updates provide an internal fiscal account of NPF CRA awarded/encumbered funds and total disbursement spend to date. Some incentive projects pending completion remain on the "in progress" log and may not be reflected on the completed log until justification and sign offs are received.

NORTHWEST PROGRESSO FLAGLER HEIGHTS CRA - IN PROGRESS Incentive Projects as of 1/31/2023 (FY2017 - FY2023)							
Vendor	DATE Awarded	Commission Agenda Memo #/Agreement /Administrative Approval	Total Award	Total approved Encumbrance as of FY 23	Total Disbursement	Remaining Awarded Incentives	Comments
Robert Bethel American Legion Post 220	8/20/2019	19-0714	\$ 766,900	\$ 766,900	\$ (41,927)	\$ 724,974	Awarded contract to general contractor. Construction to begin in 30 days.
Rhythm 2.0	8/4/2019	Agreement/CAM 22-0038	\$ 350,000	\$ 350,000	\$ (24,558)	\$ 325,442	Started construction on 9.1.2022. Pending redesign from Architect for dumpster area, per building department comments.
V & R Enterprises	11/5/2019	19-1068	\$ 350,000	\$ 350,000	\$ (8,593)	\$ 341,408	Received two (2) bids. Will return to CRA board for additional funding.
Junny's Restaurant - Donna's Carr.	10/6/2020	20-0654	\$ 325,000	\$ 325,000	\$ (298,732)	\$ 26,268	Payments 1-4 disbursed - 95% completed. Pending electrical power to the building (FPL).
1551 Sistrunk Blvd for B& D Trap	11/5/2020	20-0812	\$ 350,000	\$ 350,000	\$ (193,537)	\$ 156,463	Drawings approved. Ground breaking ceremony 10/25/2022. First disbursement presented 1/31/2023 - pending
Thrive Development Group	7/9/2019	19-0625	\$ 2,990,375	\$ 2,990,375	\$ (2,400,000)	\$ 590,375	Reimbursement Payment 1, 2 &3. Payment #4 under review - \$400,000. Under construction
Dales Wheels & Tires	4/19/2022	22-0309	\$ 727,000	\$ 727,000	\$ -	\$ 727,000	Agreement signed and mortgage recorded. Pending documents from closing agent.
Optimal Pharmacy	8/16/2022	22-0732	\$ 293,000	\$ 293,000	\$ -	\$ 293,000	Purchase order established.
Foods Catering	8/16/2022	22-0733	\$ 1,125,000	\$ 1,125,000	\$ -	\$ 1,125,000	Pending development agreement
Broward Partnership for the Homeless	9/6/2022	22-0803	\$ 285,000	\$ 285,000	\$ -	\$ 285,000	Pending agreement
Cravemadness - Jamaican Jerk Res.	1/8/2019	19-0038	\$ 592,220	\$ 592,220	\$ -	\$ 592,220	Construction scheduled to begin in January 2023.
Molly MaGuire/Irish Hospitality	9/3/2019	19-0840	\$ 500,000	\$ 500,000	\$ -	\$ 500,000	Pending lease agreement with Jones as of October 2022.
Avenue D'Arts - Comfort Suites	5/21/2019	19-0408	\$ 3,000,000	\$ 3,000,000	\$ -	\$ 3,000,000	Closed on acquisition of the CRA lot, pending signed development agreement.
Mount Hermon Housing	9/1/2020	20-0645	\$ 640,000	\$ 640,000	\$ -	\$ 640,000	Finalized Parking Issue, will start construction by first quarter of 2023.
West Village - The Adderley	1/21/2020	20-0011	\$ 12,000,000	\$ 12,000,000	\$ -	\$ 12,000,000	Site cleared. Ground breaking ceremony held November 2, 2022.
Omegas Broward	12/15/2020	20-0939	\$ 350,000	\$ 350,000	\$ -	\$ 350,000	Drawings complete, received 2 BIDS, will request additional funding. Price increase to \$765,000.
Wright Dynasty LLC	11/17/2020/ 12/6/2022	20-0849 & 22-1011	\$ 3,500,000	\$ 3,500,000	\$ -	\$ 3,500,000	Award Increased from \$3M to \$3.5M.
GreenMills Holding	8/17/2021	21-0723	\$ 640,000	\$ 320,000	\$ -	\$ 320,000	Design Phase. Vendor applying for tax credits/pending application approval.
FatVillage, LLC for the Gallery	11/1/2022	22-0898	\$ 1,500,000	\$ 1,500,000	\$ -	\$ 1,500,000	Pending closing date first quarter of 2023.
Scattered Site Infill Housing	6/15/2021	21-0531	\$ -	\$ -	\$ -	\$ -	RFP BID# 12385-105 - Fort Lauderdale CDC/Ges Mac Development/Lemon City Development/Oasis of Hope & WWA Development LLC.
Provident Market 1937, LLC	1/10/2023	Agreement	\$ 98,500	\$ 98,500	\$ -	\$ 98,500	Café/specialty food store - PBIP
Checkmate Barbershop	1/11/2023	Agreement	\$ 93,500	\$ 93,500	\$ -	\$ 93,500	Unisex Barber shop - PBIP
TOTAL INCENTIVE PROJECTS IN PROGRESS (TIF) as of 1.31.2023			\$ 30,476,495	\$ 30,156,495	\$ (2,967,346)	\$ 27,189,149	

* PBIP - Property & Business Improvement

NORTHWEST PROGRESSO FLAGLER HEIGHTS CRA - IN PROGRESS CRA DEBT - Incentive Projects as of 1/31/2023 (FY2017 - FY2023)							
Vendor	DATE Awarded	Commission Agenda Memo #/Agreement /Administrative Approval	Total Award	Total approved Encumbrance as of FY 23	Total Disbursement	Remaining Awarded Incentives	Comments
909 Sistrunk Blvd - Mixed use Commercial Dev.	11/16/2021	21-0319	\$ 4,000,000	\$ 4,000,000	\$ -	\$ 4,000,000	CRA submitted agreement to developer, pending review with developer's attorney.
The Aldridge and The Laramore - Mixed use	11/16/2021	21-0321	\$ 8,000,000	\$ 8,000,000	\$ -	\$ 8,000,000	Development agreement is complete and approved by Invest FLL.
Victory Entertainment Complex	11/16/2021	21-0320	\$ 2,450,000	\$ 2,450,000	\$ -	\$ 2,450,000	Working on Agreement.
TOTAL INCENTIVE PROJECTS IN PROGRESS (DEBT) as of 1.31.2023			\$ 14,450,000	\$ 14,450,000	\$ -	\$ 14,450,000	

by the CRA, then the CRA would receive incremental revenue on around January 1, 2022.
 Based on the 2016 projections of assessed value for the Project, the pay out for year 1 is \$361,450, for year 2 is \$372,294, for year 3 is \$383,463 and for year 4 is \$394,066 for an estimated total of \$1,512,173. However, the total payments shall not exceed \$1,711,020. No payment would be made in year 5 since the life of NW CRA will have expired.

MEMORANDUM

DATE: February 14, 2023

TO: NPF CRA Advisory Board Members

FROM: Clarence E. Woods III, NPF CRA Manager

BY: Bob Wojcik, Housing and Economic Development Manager

SUBJECT: Funding Request – New Hope Development Corporation
New Hope Affordable Housing Development – 1316 Sistrunk Blvd.
Development Incentive Program - \$2,000,000.

FUNDING REQUEST

The Northwest-Progresso-Flagler Heights Community Redevelopment Agency (NPF CRA) has received an application from New Hope Development Corporation (“Developer”) for a Development Incentive Program forgivable loan in the amount of \$2,000,000 for the New Hope Affordable Housing Development, located at 1316 Sistrunk Boulevard. A Location Map is attached as **Exhibits 1**.

BACKGROUND

New Hope Affordable Housing is a four story development with thirty (30) rental apartment homes and ground floor parking. The apartments average 900 square feet and are all two bedroom, two bath units with a kitchen, living room, dining area and outdoor balcony. The Developer’s application for funding is attached as **Exhibit 2**.

Unit amenities include ceramic tile floors and wall to wall carpeting, kitchens with designer crafted wood cabinets and natural stone counter tops and breakfast bar, Energy Star stainless steel appliances, stylish bathrooms, high efficiency AC and heating, ceiling fans in bedrooms and living room areas, LED lighting, and other designer, energy efficiency and construction features (**Exhibit 3**). The average rents are projected to be \$1,500 to \$1,700 per month to be affordable to families making 80% of the area median income (AMI).

The proposed development will be constructed on the 12,115 square foot (0.278 acre) overflow parking lot of New Hope Church that is across the street from the development. The minority developer, New Hope Development Corporation, is a partnership between NHB Sistrunk CDC and LandAmerica Development Corporation. NHB Sistrunk CDC is a non-profit Community Development Corporation started by New Hope Church. LandAmerica Development Corporation will take the lead in the project and will serve as the general contractor and through its affiliates will provide architectural and engineering design service, construction management and project

management services. Their team includes Jason Shlansky, Architect and General Contractor, Lou Campanile Jr, P.E (civil engineer) and Hilary Reid (design professional) along with consultants Jarvis Wyandon Architecture, ARA Engineering (structural & MEP) and Landscape Architect Consultants. LandAmerica is led by Vincent Prince, a CPA and General Contractor and former senior financial manager with a twenty year career and a portfolio of numerous commercial and residential projects in the US and abroad.

The Developer met with City of Fort Lauderdale Planning and Design staff who provided a preliminary review of the project. Plans and illustrations of the project are attached as **Exhibit 4**.

The total Project cost will be approximately \$6.43 million with CRA funding representing approximately 31% of the total project cost. A comparison of the amount and percentage of CRA Development Incentive Program funding provided to other projects is provide below:

Project	Estimated Capital Investment (ECI)	CRA Award	CRA Award Percentage of ECI
Food and Friends	\$1.3 Million	\$1.1 Million	84%
Dales Wheels and Tires	\$0.97 Million	\$.7 Million	74%
Hoover Awning	\$1.5 Million	\$1.1 Million	73%
YMCA	\$15 million	\$10 Million	67%
Victory Complex	\$4 Million	\$2.4 Million	60%
Aldridge and Larimore	\$18.57 Million	\$8.0 Million	43%
Jack and Jill School	\$7.1 Million	\$2.5 Million	35%
Wright Dynasty	\$12.8 Million	\$3.5 Million	27%
909 NW 6 St	\$16.6 Million	\$4 Million	24%
Sistrunk Market	\$5.9 Million	\$1.4 Million	23%
Sistrunk Townhomes	\$6.9 Million	\$1.5 Million	22%
Six 13 Apartments	\$33.5 Million	\$7.0 Million	21%
Comfort Suites	\$17.4 Million	\$3.0 Million	17%
Triangle Services	\$7.8 Million	\$1.5 Million	19%
The Adderley	\$103.7 Million	\$12.0 Million	12%

CRA funding will take the form of a forgivable loan secured by a mortgage on the property, subordinate to first mortgage construction and permanent financing. The Developer is working with RidgeRock AMG Holdings who have expressed an interest in funding the project (**Exhibit 5**).

A breakdown of the funding Sources, Uses and Budget for the New Hope Affordable Housing Project is attached as **Exhibit 6**. CRA funding will be applied to project construction cost. Funding will be provided over two fiscal years with \$1,000,000

provided in this fiscal year and an additional \$1,000,000 provided in the next fiscal year after September 30, 2023.

The project will result in forty-five to fifty construction jobs in addition to three permanent jobs. The project is estimated to start construction in 2023 and be completed before 2024. The project will bring much needed affordable housing to the City of Fort Lauderdale and the Northwest-Progresso-Flagler Heights Community Redevelopment Area.

CONSISTENCY WITH THE NPF CRA COMMUNITY REDEVELOPMENT PLAN

The Redevelopment Program seeks to preserve and expand affordable housing, commercial development and job opportunities. The NPF CRA Community Redevelopment Plan is designed in part to stimulate private development of areas. The Project is consistent with NPF CRA Plan which provides for direct physical improvements to enhance the overall environment, improve the quality of life, promote public private partnerships, and investment in the area. In addition, per the Future Land Use Plan and CRA Plan, redevelopment and housing opportunities for low, very low, and moderate income household within the Northwest CRA should be encouraged.

RECOMMENDATION

It is recommended the CRA Advisory Board approve a Motion recommending that CRA Board approve funding in the amount of \$2,000,000 from the Development Incentive Program to New Hope Development Corporation for the New Hope Affordable Housing Development.

BW/CEW

Attachments

- Exhibit 1 – Location Map
- Exhibit 2 – Application for Funding
- Exhibit 3 – Apartment Home Features
- Exhibit 4 – Project Plans and Illustrations
- Exhibit 5 – Letter of Interest to Fund – RidgeRock Asset Management Group
- Exhibit 6 – Project Budget/Sources and Uses/Proforma

EXHIBIT 1

Location Map



New Hope Affordable Housing Development

EXHIBIT 2

New Hope Rentals:



**2200 N. Commerce Parkway, Suite 200
Weston, FL 33326**

City of Fort Lauderdale

Northwest-Progresso-Flagler Heights
Community Redevelopment Agency
(NWPF CRA)



APPLICATION FOR CRA FUNDING ASSISTANCE

Name of Principal Owner in Charge LandAmerica Development Corporation		Tel. No. (954) 637-2745	E-Mail Address vprince@landamedev.com
Primary Contact for this CRA Request Vincent Prince		Tel. No. (954) 562-2465	E-Mail Address vprince@landamdev.com
Name of Business New Hope Development Corporation		Tax I.D. No. 86-2999022	Company Website www.landamdev.com
Business Address 2200 N. Commerce Parkway, Ste 200		Tel. No. (954) 637-2745	Fax No. (954) 251-0759
City Weston		State FL	Zip Code 33326
Commencement Date to Begin Project: 9/1/2022		JOB INFORMATION	
Completion Date for Project: 8/31/2024			
Check Appropriate Description		Facility Description	
†Existing Business <input type="checkbox"/> †New Business <input checked="" type="checkbox"/>		†Expansion <input type="checkbox"/> †Relocation <input type="checkbox"/>	
		Existing Space _____ sq. ft. New Space _____ sq. ft.	
NAICS Code / Industry Type 236116 New Multi-family housing		Date of Incorporation 08/08/2022	State where the business was incorporated Florida
Proposed Project Location/City Ft. Lauderdale		Proposed Address 1316 NW 6th Street	
Property Control Number(s) 5042 04 06 0570 5042 04 06 0580 5042 04 06 0590		Property Owner New Hope Development Corporation	
Owner Tel. No. (include Area Code) (954) 637-2745		Is there a lien on the property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Bank(s) Where Business Accounts for Projects Are			
Held 1. Synovus Bank		2.	
Name of Participating Bank/Lender TBD			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Name of Other Financial Source			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Name of Other Financial Source			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Name of Other Financial Source			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Project Purpose and Economic Impact Project will provide much needed new affordable housing in the NWRAC, Sistrunk corridor and provide 50+ construction and permanent jobs.			

NOTE 1: If the project receives funds via another City, County, Federal or State program which also requires job creation/retention, the jobs created/retained for those programs must be in addition to the jobs required under this program.

NOTE 2: If project includes the purchase of equipment using CRA funds, then there must not be another UCC filing for the equipment.

Management: Owners, partners, officers, all holders of outstanding stock — 100% of ownership must be shown (use separate sheet if necessary).

Name	Complete Address	% Owned	From	To
NHBSISTRUNKCDC	1321 NW 6th Street	50%		
Name	Complete Address	% Owned	From	To
LandAmerica Development Corp.		50%		
Name	Complete Address	% Owned	From	To
Name	Complete Address	% Owned	From	To
Name	Complete Address	% Owned	From	To

PROJECT/ACTIVITY COST SUMMARY	
1. Please state the overall project cost:	\$6,428,000
2. Please state the overall project costs related to the CRA's assisted activity?	\$2,000,000
3. Please indicate the sources and uses of funds for the project on the following table.	

Project Source(s) of Funding	Amount	Rate	Term
Bank Loan (specify)	\$3,878,000	8%	24 months
City funds			
CRA funds	\$2,000,000	TBD	TBD
Company's current cash assets			
Owner equity (specify)	\$550,000	N/A	N/A
Other (specify)			
Other (specify)			
Other (specify)			
Total Sources	\$6,428,000		
Select the Use(s) of Funds and the Amount Need for Each	Sources of Funds (Yes or No)	Amount	
Land Acquisition			
Real Property Acquisition			
Utility and road infrastructure improvements			
New construction of commercial and industrial buildings	\$6,428,000		
Rehabilitation of commercial and industrial buildings			
Purchase and installation of equipment and fixtures			
Other (specify)			
Other (specify)			
Other (specify)			
Total Uses	\$6,428,000		

NOTE 3: Other "uses" include Architectural/Engineering Fees, Application Fees, Permit Fees Impact Fees

BUSINESS INDEBTEDNESS: Furnish the following information on all outstanding installment debts, code and other liens, notes and mortgages payable that relate to this project. The present balances should agree with the latest balance sheet submitted (*use a separate sheet if necessary*).

To Whom Payable	Original Amount	Original Date	Present Balance	Rate of Interest	Maturity Date	Monthly Payment
Name: N/A	\$ 0		\$	% <input type="text"/>		\$
Name: N/A	\$ 0		\$	% <input type="text"/>		\$
Name: N/A	\$ 0		\$	% <input type="text"/>		\$
Name: N/A	\$ 0		\$	% <input type="text"/>		\$
Name: N/A	\$ 0		\$	% <input type="text"/>		\$

THE FOLLOWING ITEMS MUST BE COMPLETED AND SUBMITTED WITH YOUR APPLICATION

1. A business plan which describes the company mission, market analysis, applicant capacity, economic analysis and project feasibility, a brief history and description of the company (*including the founding of the company*), overview of operations, product information, customer base, method and areas of distribution, primary competitors and suppliers within the County.
2. A list of general and limited partners, officers, directors and shareholders of the company. Please provide a resume for all the principals and key management.
3. Corporate income tax returns for the last three years (*personal returns may also be requested*).
4. Two separate lists that detail the existing jobs on your payroll and the new jobs to be created (*within the list please provide the job title of each position, a brief description of each position, annual salary for existing and new positions and the industry average salary for those positions*).
5. If machinery and equipment are being purchased with CRA funds, provide a list of all the items to be purchased, with quotes on vendor's letterhead. Include a statement from the manufacturer, attesting to the economic life of the equipment.
6. If business is a franchise, include a copy of the franchise agreement;
7. Bank Commitment Letter detailing the conditions of the loan approval.
8. Copy of IRS determination letter as a non-profit organization (*required for all non-profit organizations only*).
9. Signed copy of resolution or minutes from the meeting of the governing body authorizing submission of the application (*required for all non-profit organizations only*).
10. Articles of Incorporation or Division of Corporations information identifying authorized signatories
11. Copy of the Property Deed (*if the applicant is the owner*)
12. Copy of By-Laws (*required for all non-profit organizations only*).
13. Please sign and submit *Statement of Personal History and Credit Check Release* (as attached).
14. If project involves construction, please provide a minimum of two (2) detailed cost estimates prepared by Architect/Engineer and/or General Contractor, preliminary plans and specifications, Architectural Illustration and photos of existing conditions.
15. Attach a street map showing the location of the proposed project, Property Folio number and Legal Description.
16. Preliminary Project Schedule.

The following items are also needed, if your funding request is \$500,000 or more
(*not applicable for Commercial Façade, Streetscape Enhancement and Property and Business Improvement Incentive requests*)

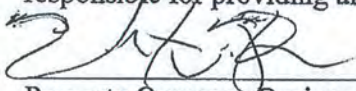
17. CPA audited corporate financial statements for the last three years (*Profit and Loss Statement and a Balance Sheet*).
18. If the most recent business return and/or financial statement is more sixty (60) days old, please submit a current Interim Financial Statement.
19. Three year financial pro formas which include operating statements, balance sheets, funding sources, and use details.
20. Ten year revenue and expense projection for the project
21. Copy of sales/purchase agreement when purchasing land or a building (*or an executed lease if applicable*).
22. Provide details regarding any credit issues, bankruptcies and lawsuits by any principal, owning 20% or more of the business.
23. The names of all affiliates and/or subsidiary companies, and their previous three (3) years financial statements and Interim Financial Statements if the financial statements are more than sixty (60) days old.
24. Letter from the Department of Sustainable Development (DSD) approving the proposed project with zoning and land use designations, and Plan Development Review number and comments.
25. Identification and qualifications of project development team (*i.e., attorney, engineer, architect, general contractor, etc.*).

projects over \$50,000 may be assigned a CRA Construction Review Specialist who will determine the scope of work to be funded and will secure contractor pricing for the project, manage funding request and provide general project oversight.

26. For Streetscape Enhancement Program projects, see additional requirements for projects in excess of \$300,000 as required by Florida Statute 255.20.

I **Vincent Prince**

attest that the information is correct to the best of my knowledge. I further understand that the CRA program benefits are contingent upon funding availability and CRA approval and are not to be construed as an entitlement or right of a property owner/applicant. I further understand that I am responsible for providing all documentation required by The CRA.



Signature of

Property Owner or Business Owner

Vincent Prince

Print Name

- 26. Current Broward County Assessed Value, new capital investment dollars and total estimated new assessment when completed and placed into service.
- 27. Existing Leases, Lease commitments and tenant makeup (if applicable).
- 28. Copy of Environmental Report showing there are no Environmental issues (if applicable).
- 29. Copy of Appraisal Report (if applicable).

THE FOLLOWING ITEMS ARE REQUIRED AFTER CRA BOARD APPROVAL AND PRIOR TO EXECUTION OF AN AGREEMENT AND RELEASE OF FUNDS

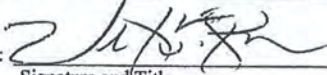
- 30. Evidence that all funds are in-place to fully fund the project.
- 31. A copy of the City approved project plans, contract with General Contractor and permits (Prior to Release of Funds)
- 32. Scope of work and all project costs
- 33. Copies of Insurance Certificates (Builders Risk/All Risk Policy, Commercial General Liability, Workers Compensation with the City of Fort Lauderdale and the Fort Lauderdale CRA listed as Additional Insured.

APPLICANTS CERTIFICATION

By my signature, I certify that I have read and understand the application, criteria, loan fees and program requirements. I further certify that all the information I (we) supplied is correct and accurate. All of the owners of the company/organization (regardless of ownership percentage) are aware of this loan and are in full agreement with the business securing financing for this project. My (our) signature(s) represent my (our) agreement to comply with City of Fort Lauderdale Community Redevelopment Agency, as it relates to this CRA funding request.

Each Proprietor, General Partner, Limited Partner and Business Owner, owning 20% or more must sign below. For all Non-Profit Organizations, all guarantors must be approved by City of Fort Lauderdale Community Redevelopment Agency.

Business Name: New Hope Development Corporation

By:  11/22/2022
 Signature and Title Date

Guarantors:  11/22/2022
 Signature and Title Date

 11/22/2022
 Signature and Title Date

 Signature and Title Date

 Signature and Title Date

 Signature and Title Date



Northwest-Progresso-Flagler Heights Community Redevelopment Agency

APPLICATION REQUEST SUPPLEMENTAL INFORMATION

CRA Incentive Programs

Please select the incentive(s) you are applying for and insert the amount of funding assistance you are seeking:

<input type="checkbox"/> COMMERCIAL FAÇADE IMPROVEMENT PROGRAM	\$ _____
<input type="checkbox"/> PROPERTY AND BUSINESS IMPROVEMENT PROGRAM	\$ _____
<input type="checkbox"/> STREETSCAPE ENHANCEMENT PROGRAM	\$ _____
<input checked="" type="checkbox"/> DEVELOPMENT INCENTIVE PROGRAM	\$ <u>2,000,000</u>
<input type="checkbox"/> PROPERTY TAX REIMBURSEMENT PROGRAM	\$ _____

Please provide a supplement sheet responding to the following numbered questions:

1. Please describe your project.
2. What is the address, folio number and legal description of the property.
3. What is the existing and proposed use of the property? Please note that certain uses are not eligible for CRA assistance. This includes convenience stores, pawn shops, check cashing stores, tattoo parlors, massage parlors, liquor stores and other uses as may be determined by the CRA that are inconsistent with the CRA Community Redevelopment Plan. Please note that there will be restrictive covenants placed on the property for minimum of 5 years restricting use of the property to only those uses for which CRA funding was provided.
4. Are the proposed improvements to the property being made on behalf of a proposed tenant for the property. If so, please provide a copy of the lease agreement.
5. What is the zoning of the property?
6. Are you the property owner? Please provide a copy of the deed of the property. You must be the owner of the property to apply.
7. Is your project new construction or is it renovation?
8. What is the total capital investment of your project and what is your hard construction and soft cost? (While property acquisition cost is not an eligible CRA expense, it may be included in your total capital investment)
9. What is the current Broward County Assessed Value of the property?
10. Is there a mortgage on the property? Please provide OR Book and Page. Please note that CRA funding is in the form of a 0% interest forgivable loan, forgiven after 5 year of project completion secured by a first

mortgage or subordinate mortgage on the property. Projects receiving over \$225,000 in CRA assistance will be secured by a forgivable loan forgiven after 7 years to 10 years depending on the level of CRA funding. Other forms of security in lieu of a forgivable mortgage will be considered on a case by case basis.

11. Are there any other liens or pending liens on the property? Please provide OR Book and Page.
12. Are there any code violations on the property? Identify.
13. Is the property listed "For Sale." Please note that properties listed for sale may not apply for CRA program funding.
14. How many new permanent jobs will be created by the project? Please describe the jobs to be created and projected salaries.
15. What is the estimated construction commencement date of the project? Please note that no work is to commence on the project unless a Program Agreement is approved and fully executed between the CRA and the property owner and that work must commence within 90 days of CRA funding approval.
16. What is the estimated completion date of the project? Please note that all approved projects must be completed within a maximum of three (3) years.
17. Please provide proof of your matching funds (i.e. bank statement, line of credit, etc.) and identify other proposed forms of financing for your project.
18. Do you have general liability and fire and casualty insurance on the property? You will be required to demonstrate proof of insurance and may include bonding requirements as required by the City/CRA prior to commencement of work. The cost of insurance may be included as part of your total project cost funded by the program.
19. Have you previously received funding from the CRA? Explain.

If you are applying for funding from the Commercial Façade Improvement Program, Property & Business Improvement Program and/or Streetscape Enhancement Program, please also complete the following:

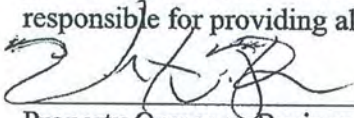
20. Do you have a detailed scope of work? If so, please include for CRA review and approval.
21. Do you have completed architectural drawings for the scope of work to be performed? Please include along with architectural illustration(s) of the proposed work, material specifications, color selections, etc. Please note that architectural cost may be included as part of your total project cost.
22. Have your project plans been submitted for City Development Review and/or permitting and if so what are the status of the plans and the plan review number? All work must be permitted and approved by the Building Official.
23. Do you have detailed, written contractor cost estimates? If so, please provide.
24. Have you selected a contractor from the attached City/CRA Approved Contractor List? Please note if your contractor is not on the City/CRA approved list, it may be possible to have your contractor become an approved CRA Contractor. He/She will need to complete the attached Contractor Application for consideration.
25. If you are applying for the Façade Program or Property and Business investment Program, and if you are not using a City /CRA Approved Contractor, you must secure two detailed licensed and insured contractor cost estimates and CRA funding is limited to 60% of the lowest cost estimate not to exceed \$50,000 which can only be funded on a reimbursement basis, rather than a direct payment to the contractor. In addition, all

projects over \$50,000 may be assigned a CRA Construction Review Specialist who will determine the scope of work to be funded and will secure contractor pricing for the project, manage funding request and provide general project oversight.

26. For Streetscape Enhancement Program projects, see additional requirements for projects in excess of \$300,000 as required by Florida Statute 255.20.

I **Vincent Prince**

attest that the information is correct to the best of my knowledge. I further understand that the CRA program benefits are contingent upon funding availability and CRA approval and are not to be construed as an entitlement or right of a property owner/applicant. I further understand that I am responsible for providing all documentation required by The CRA.



Signature of

Property Owner or Business Owner

Vincent Prince

Print Name

City of Ft. Lauderdale

Northwest-Progresso-Flagler Heights
Community Redevelopment Agency

Supplemental Application Information

1. Description of Project

Project Overview. LandAmerica Development Corporation and its associates has been engaged to develop a commercial project for New Hope Development Corporation. The project consists of developing 30 new rental apartments on three (3) adjoining vacant lots located at 1316 NW 6th Street in Ft. Lauderdale, Florida.

The lots are zoned under the NWRAC zoning code MUw.

The lots located at 1316 NW 6th Street will contain a four (4) floor building with ground floor parking and 30 rental units.

The apartments will average 900 SF and include all two bedroom, two bathroom units with a kitchen, livingroom and dining area.

Target Market. The target market includes couples, single parents, blended families, young urban professionals and retirees. The average straw person renter has a combined income of \$52,000+ per year or \$1,000 per week as we seek to deliver units at 80% of AMI. Anticipated average monthly rents are \$1,300 - \$1,500 per month.

The development will be in the Sistrunk, NWRAC area of Ft. Lauderdale, Florida, approximately 10 minutes northwest of downtown Ft. Lauderdale. The proposed development will be located on the main commercial corridor of a solid residential community that contains numerous single family homes and several recently constructed apartment complexes.

The homes in the immediate area are valued at between \$300,000 and \$450,000 and sell for approximately \$220 per SF.

2. Address & Folio numbers

1316 Nw 6th Street, Ft; Lauderdale, FL 33311
5042 04 06 0570
5042 04 06 0580
5042 04 06 0590

3. Existing and Proposed Use of the Property

The church's overflow parking lots located at 1316 NW 6th Street will be converted into four (4) story mid-rise containing parking on the 1st level and 3 levels of rental apartments totaling 30 units.

The apartments will average 900 SF each and include all 2-bedroom, 2-bathroom units with a kitchen, livingroom, dining area and an outdoor balcony.

4. Proposed Tenants

No tenants at this time. Proposed tenants will include qualified renters meeting requirements for 80% of AMI.

5. Current Zoning

NWRAC-MUw

6. Deed - Proof of Ownership

Attached

7. Proposed project is new construction

8. Total Capital Investment \$6,428,000

Land \$550,000

Soft Costs \$325,000 (design)

Soft Costs \$610,000 (loan carrying costs and permits & impact fees)

Project & Construction Management \$250,000

Hard Costs \$4,693,000

9. Current County Assessed Value

5042 04 06 0570 \$68,640

5042 04 06 0580 \$68,610

5042 04 06 0590 \$68,980

10. Mortgages on Properties

\$0

11. Other Pending Liens

\$0

12. Code Violations

None

13. Project properties are not listed for sale

14. Construction and Permanent Jobs Created by Project

(1) Project Executive	\$120,000
(1) Construction Manager	\$100,000
(1) Project Manager	\$75,000
(1) Project Superintendent	\$70,000
(1) Project Engineer	\$60,000
(1) Project Scheduler	\$45,000
(1) Project Accountant	\$55,000
(43) Construction crews	\$1,789,000
(1) Property Manager	\$50,000
(1) Leasing Agent	\$50,000
(2) Property Maintenance	\$35,000

15. Estimated Construction Commencement Date

May 2023

16. Estimated Completion Date of Project

November 2024

17. Proof of Matching Funds

Funding approval in process

18. Proof of General Liability & Casualty Insurances

Attached

19. We have not previously received funding from the CRA

\$0 funding received from the CRA

20. Detailed Scope of Work is being developed.

21. Architectural plans are being developed.

22. Preliminary design plans were submitted and reviewed by the City of Ft.Lauderdale as a part our pre-DRO meeting. The plans were very favorable received by planner Adam Schnell and team.

- 23. We have developed preliminary construction estimates and budgets. Upon completing design plans, we will solicit bids from subcontractors. Our firm is a licensed general contracting firm with internal construction management personnel and accordingly, we intend to serve and developer and contractor for the project.**

- 24. Our firm is a licensed and insured general contracting firm with internal construction management personnel and accordingly, we intend to serve and developer and contractor for the project. We do not intend to solicit bids from other general contracting / construction management firms.**

- 25. We are not applying for funding under the Façade Improvement Program or the Property and Business Improvement Program.**

- 26. We are not applying for funding under the Streetscape Enhancement Program.**

City of Ft. Lauderdale

Northwest-Progresso-Flagler Heights
Community Redevelopment Agency

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5042 04 06 0580
5042 04 06 0590

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NWRAC-MU_w

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Hard Costs \$4,693,000

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5042 04 06 0570 \$68,640

5042 04 06 0580 \$68,610

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\$0

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\$0

12. Code Violations

None

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(1) Project Accountant	\$55,000
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(1) Property Manager	\$50,000
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18. Proof of General Liability & Casualty Insurances

Attached

19. We have not previously received funding from the CRA

\$0 funding received from the CRA

20. Detailed Scope of Work is being developed.

21. Architectural plans are being developed.

22. Preliminary design plans were submitted and reviewed by the City of Ft.Lauderdale as a part our pre-DRO meeting. The plans were very favorable received by planner Adam Schnell and team.

- 23. We have developed preliminary construction estimates and budgets. Upon completing design plans, we will solicit bids from subcontractors. Our firm is a licensed general contracting firm with internal construction management personnel and accordingly, we intend to serve and developer and contractor for the project.**

- 24. Our firm is a licensed and insured general contracting firm with internal construction management personnel and accordingly, we intend to serve and developer and contractor for the project. We do not intend to solicit bids from other general contracting / construction management firms.**

- 25. We are not applying for funding under the Façade Improvement Program or the Property and Business Improvement Program.**

- 26. We are not applying for funding under the Streetscape Enhancement Program.**



FL License
CGC 1530368

**CRA Development
Proposal New Hope
Rentals**

Contact

Vincent Prince
954-637-2745 x 202 V
954-251-0759 F
e-Mail:
vprince@laholdingsgroup.com

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Development Proposal for New Hope Rentals

LandAmerica Holdings & Investments Group, LLC (“LandAmerica”) d/b/a LandAmerica and Associates was established as a vehicle for developing and managing real estate projects and properties throughout the America’s. LandAmerica and Associates project portfolio includes numerous commercial and residential projects in the US and abroad, including the Emerald Gardens Townhomes and Cooper Jack Marina (Turks & Caicos Islands), Blue Sky Recording Studios (Aventura, Florida), projects at the former American Airlines Arena and Jackson Memorial Hospital (Miami, Florida), affordable home projects developed for the City of Pompano Beach, Florida and various residential and commercial projects in Miami, Ft. Lauderdale and West Palm Beach, Florida.

LandAmerica and Associates has launched and completed several residential and commercial projects in the role as project developer, general contractor, construction manager, architect and project engineer.

LandAmerica and Associates includes the LandAmerica companies and its affiliates Skywerk Development Corporation and Campanile and Associates. We provide the following services either directly or through our third-party partners and affiliates:

- real estate project finance
- architecture and design
- surveying and engineering
- construction and construction management
- real estate leasing and sales

Management Team

Mr. Vincent Prince, a graduate of Auburn University. Mr. Prince is a CPA and General Contractor and a former senior financial manager with a 20-year career in the corporate arena, including senior positions with several Fortune 500 Companies. Mr. Prince has a proven track record for helping organizations expand sales and profits, reduce operating costs and make efficient use of technology and an extensive background in real estate development and real estate finance.

**2200 N. Commerce Parkway, Suite 200
Weston. FL 33326**



Mr. Jason Shlansky, B.Arch, CGC. is a licensed architect and General Contractor. As a designer and general contractor, Jason's focus is on building projects which are designed in symbiosis with nature. His influences are eco-modern and permaculture architecture, function over form and form as a result of function. He uses technology to streamline building and design processes. Jason has been instrumental in the design, development and contraction of numerous commercial and residential projects throughout South Florida.

Mr. Lou Campanile, Jr., P.E. is a graduate of the Georgia Institute of Technology (Georgia Tech) and holds a Professional Engineer (P.E.) certification and is also a licensed land surveyor. Mr. Campanile has developed numerous commercial and residential projects ranging from hotels, shopping malls, grocery stores, numerous box retailers to many residential subdivisions.

Ms. Hilary Reid heads our public relations and marketing efforts. Ms. Reid has an extensive career in sales and real estate including positions with AT&T, ABN Amro Bank and real estate finance positions with Morgan Stanley Capital, Inc., and Deutsche Bank.

Property sales and rentals are managed through professional real estate sales and property management organizations.

Organizational Structure

LandAmerica, Skywerk Development and Campanile and Associates operate under a Development Agreement. LandAmerica has also engaged services KAP Architecture, ARA Engineering Services (structural and MEP) and others to provide design, architectural and engineering services.

General Contractor Associates - Jason Shlansky and Vincent Prince are both Certified General Contractor associates and collectively provide contracting and construction management services for LandAmerica and Associates projects.

Engineering Associate - Lou Campanile, Jr., P.E., is our Professional Engineering affiliate. Lou provides surveying services through Campanile and Associates and site planning, site engineering and site utility construction management services for LandAmerica and Associates projects.

Architectural Associate - Jason Shlansky B.Arch, CGC is our Professional Architectural affiliate. Jason provides construction and design services and submissions to ensure regulatory approval for the vertical construction for LandAmerica and Associates projects.

2200 N. Commerce Parkway, Suite 200
Weston. FL 33326

Consultants:

Architect: Jarvis Wyandon Architecture and Design is a multi-discipline firm that has more than 10 years of experience as an architecture and design firm in the State of Florida. The firm specializes in land planning, architectural design, construction management and post occupancy evaluation.

Structural Engineer: Eduardo Roman, P.E. of ARA Engineering, LLC. Mr. Roman provides structural engineering services and management. ARA Engineering also provides forensic engineering and special/threshold inspection services on many types of buildings and provides structural performance design calculations on significant concrete, steel, masonry structures for single-family homes, multi-family units and midrise buildings. ARA is licensed in Florida, Texas, Alabama, Georgia.

Mechanical / Electrical & Plumbing Engineer: Eduardo Roman P.E. (ARA Engineering) and Joe Spasovski, P.E. of International Consulting Engineers & Design, LLC. provides construction engineering design for HVAC, electrical circuits and wiring and plumbing for single-family homes, multi-family units and mid-rise residential and mixed-use developments.

Typical Projects

Our market is urban development and construction. Our focus is securing urban development opportunities, preferably in underserved communities where we seek to develop, design and build high quality, moderately priced, market-based projects for which there is demonstrated demand.

Typical unit features:

- 2 to 4 bedrooms, 2 to 3 baths, one or two car garages. Average SF under A/C 1,000 to 2,200
- porcelain tile and laminate floors
- plywood kitchen and bathroom cabinets and with natural stone or quartz counter tops and all new appliances
- interior lighting fixture package with smoke alarms
- high-efficiency central A/C and heating
- ceiling fans in all bedrooms and living room areas
- tile roofing system
- complete wiring system for alarm, cable, internet and telephones,
- automated in-ground sprinkler system for all landscaping and lawn areas

**2200 N. Commerce Parkway, Suite 200
Weston, FL 33326**



Organizational Structure

LandAmerica and Associates will serve as Developer and General Contractor for the project and through affiliates will provide architectural and engineering design services and construction management and project management services.

Project Overview. LandAmerica Development Corporation and its associates has been engaged to develop a commercial project for New Hope Development Corporation. The project consists of developing 30 new rental apartments on three (3) adjoining vacant lots located at 1316 NW 6th Street in Ft. Lauderdale, Florida

The lots are zoned under the NWRAC zoning code MUw.

The lots located at 1316 NW 6th Street will contain a four (4) floor building with ground floor parking and 30 rental units.

The apartments will average 900 SF and include all two bedroom, two bathroom units with a kitchen, living room and dining area.

Target Market. The target market includes couples, single parents, blended families, young urban professionals and retirees. The average straw person renter has a combined income of \$52,000+ per year or \$1,000 per week as we seek to deliver units at 80% of AMI. Anticipated average monthly rents are \$1,300 - \$1,500 per month.

The development will be in the Sistrunk, NWRAC area of Ft. Lauderdale, Florida, approximately 10 minutes northwest of downtown Ft. Lauderdale. The proposed development will be located on the main commercial corridor of a solid residential community that contains numerous single family homes and several recently constructed apartment complexes.

The homes in the immediate area are valued at between \$300,000 and \$450,000 and sell for approximately \$220 per SF.

**2200 N. Commerce Parkway, Suite 200
Weston, FL 33326**

Development Proposal Overview

LandAmerica Development Corporation and its associates will provide turn-key development and construction of 30 workforce rental units on the lots located at 1316 NW 6th Street.

The development lots are owned free and clear.

The development will be owned and operated by New Hope Development Corporation. LandAmerica and associates will provide surveying & engineering, architecture & design, all required zoning and building permits, all construction and construction management and all project financing

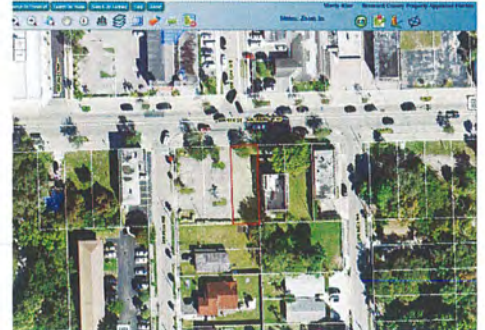
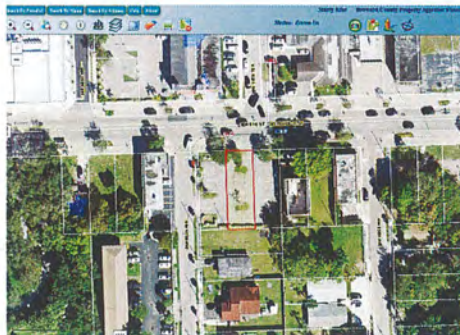
- Per the proposed budget, LandAmerica and associates will secure construction financing for the development of the project totaling \$5,878,000
- New Hope Missionary Baptist Church will provide land used for the development valued at approximately \$550,000
- The lots will be pledged as collateral against the bridge loan and against the construction loan
- Project financing will be provided by a third party lenders with LandAmerica and associates serving as guarantor of the loans. The anticipated funding commitment for the 30 rentals is \$5,878,000
- New Hope Development Corporation will retain a property management company to collect rents, be responsible for mortgage payments and overall property management.

Upon completion of the project, the estimated market value will be \$7,640,656.

Anticipated profits before debt service is \$382,033 per year.

The proposal includes a request for CRA funding for \$2,000,000 in capital for the construction of the 30 affordable rental housing units.

Development Lots:



2200 N. Commerce Parkway, Suite 200
Weston, FL 33326

New Hope Rentals
Land Cost & Land Value Analysis

Lot Address	Lot SF	Lot MV	Land Use
1316 NW 6th Street	<u>12,115</u>	<u>550,000</u>	Construction of apartments
Totals	12,115	550,000	

New Hope Rentals
1316 NW 6th Street
Sources & Uses of Funds

		Loan to Cost	Loan to Value
Land Contribution	550,000		
Soft Costs	325,000		
Demolition and Site Preparation	25,000		
Site & Horizontal Building Costs	350,000		
Vertical Building Cost	4,318,000		
Construction Management Cost	250,000		
Development Fees	0		
Permits & Impact Fees	110,000		
Interest Reserve & Closing Costs	500,000		
Total Project Costs / Use of Funds	6,428,000		
Owner Investment - Contributed land value	550,000		
CRA Funding	2,000,000	31%	26%
Bank Financing	3,878,000	60%	51%
Total Source of Funds	6,428,000		
Projected as completed value	7,640,656		

New Hope Rentals
Rental Income Projections

	Projection 2024	Projection 2025	Projection 2026	Projection 2027	Projection 2028	Projection 2029	Projection 2030	Projection 2031	Projection 2032	Projection 2033
Revenues										
Property Rentals	261,000	522,000	522,000	532,440	532,440	532,440	532,440	532,440	532,440	532,440
Vacancy Allowance	-7,830	-15,660	-15,660	-15,973	-15,973	-15,973	-15,973	-15,973	-15,973	-15,973
Rental Commissions	-43,500	0	-1,400	-1,428	-1,428	-1,428	-1,428	-1,428	-1,428	-1,428
Other Income - Late Fees, Laundry, Vending	2,500	5,000	5,000	5,100	5,100	5,100	5,100	5,100	5,100	5,100
Total Revenues	212,170	511,340	509,940	520,139	520,139	520,139	520,139	520,139	520,139	520,139
Operating Expenses										
Advertising Expense	-5,000	-1,500	-1,500	-1,530	-1,530	-1,530	-1,530	-1,530	-1,530	-1,530
Property Management (G&G Property Investment Group)	-15,190	-30,380	-30,380	-30,988	-30,988	-30,988	-30,988	-30,988	-30,988	-30,988
Property Maintenance	-5,063	-10,127	-10,127	-10,329	-10,329	-10,329	-10,329	-10,329	-10,329	-10,329
Property Tax	-38,250	-76,500	-76,500	-78,030	-78,030	-78,030	-78,030	-78,030	-78,030	-78,030
Property Insurance (Front Line Insurance)	-5,400	-10,800	-10,800	-11,016	-11,016	-11,016	-11,016	-11,016	-11,016	-11,016
Total Expenses	-68,904	-129,307	-129,307	-131,893	-131,893	-131,893	-131,893	-131,893	-131,893	-131,893
Net Income	143,266	382,033	380,633	388,245	388,245	388,245	388,245	388,245	388,245	388,245
Projected Annual Debt Service (on Perm. Financing)		174,510								
Debt Coverage		2.19								
Required debt coverage to secure perm. financing										1.30
Project Valuation based on 5% CAP Rate										7,640,656
Permanent Debt Financing										3,878,000

Use Type	Zoning District									
	RAC-CC	RAC-AS	RAC-UV	RAC-RPO	RAC-TMU	SRAC-SAe	SRAC-SAw	<u>NWRAC-MUe</u>	<u>NWRAC-MUw</u>	<u>NWRAC-MUe</u>
Key:										
P - Permitted										
C - Conditional										
Cluster Dwellings, see Section 47-18.9			P	P	P	P	P			
Coach Homes, see Section 47-18.10	P	P	P	P	P	P	P			
Multi-family Dwelling	P	P	P	P	P	P	P	<u>P</u>	<u>P</u>	<u>P</u>
Rowhouse, see Section 47-18.28	P	P	P	P	P	P	P			
Townhouse, see Section 47-18.33			P	P	P	P	P	<u>P</u>	<u>P</u>	<u>P</u>
Two-Family/Duplex Dwellings			P	P	P	P	P			
Zero Lot Line Dwelling, see Section 47-18.38			P	P	P	P	P			
Retail Sales (*Including Wholesale Sales)										
Antiques Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Apparel/Clothing, Accessories Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Apothecary		P								
Art Galleries, Art Studio, Dealer	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Arts & Crafts Supplies Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Bait and Tackle Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Bicycle Shop	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Book Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Building Supplies, Materials and Equipment with Outdoor Storage, see Section 47-19.9 (In the RAC-CC this use is only permitted as Wholesale Sales and only when contiguous to or separated by no more than a 60-foot public right-of-way from a railroad right-of-way.)	P									
Camera, Photographic Supplies Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Candle Shop		P						<u>P</u>	<u>P</u>	<u>P</u>
Card & Stationery Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Cigar, Tobacco Store	P	P	P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Computer/Software Store	P		P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Consignment, Thrift Store	P		P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>
Cosmetics, Sundries Store	P		P	P	P	P	*P	<u>P</u>	<u>P</u>	<u>P</u>

CODING: Words, symbols, and letters ~~stricken~~ are deletions; words, symbols, and letters underlined are additions.

C-14-51



Parcel ID 504204060580

Zoning District NWRAC-MUw

Overlays Parking Table 1 - Section 47-20.2, FLU_NW Regional Activity Center

All Applicable Typologies Exceed Permitted Height (NWRAC-MUw)

Informational Overlays -

Lot Area - Public Records 4,074 ft²

Lot Area - GIS 4,074 ft²

Maximum Lot Coverage N/A

Residential Density N/A

Floor Area Ratio N/A

Existing Building Area -

Maximum Building Footprint 4,090 ft²

Minimum Open Space 0%

Maximum Building Height 45 ft

Maximum Height - Stories 4

Maximum Residential Units Allowed Unlimited

Maximum Lodging Rooms Allowed Unlimited

Minimum Primary Frontage Setback 0 ft

Minimum Secondary Frontage Setback N/A

Minimum Side Ground Setback 0 ft

Minimum Rear Ground Setback 0 ft

Water Setback N/A

Feedback



PRELIMINARY SUMMARY CONSTRUCTION BREAKDOWN

Borrower: New Hope Development Corporation	
Point of Contact: Vincent Prince	Phone: (954) 637-2745
Property Address: 1316 NW 6th Street Ft. Lauderdale, FL	
Date:	

WORK ITEMIZATION

SOFT COSTS

- 1 Architecture & Engineering Fees
- 2 Permits

SITE COSTS

- 3 Demolition & Site Prep
- 4 Site Utilities & Paving
- 5 Cleanup / Dumpsters
- 6 Site Toilets

VERTICAL - EXTERIOR COSTS

- 7 Foundation & Shell
- 8 Fire Sprinklers
- 9 Roofing System
- 10 Impact Windows & Doors
- 11 Impact Windows & Doors - Install
- 12 Stucco
- 13 Exterior Painting
- 14 Gutter System
- 15 Irrigation
- 16 Cleanup / Dumpsters
- 17 Site Toilets

Budget
325,000
110,000
25,000
350,000
3,000
1,500
1,550,000
120,000
120,000
140,000
60,000
75,000
40,000
7,500
25,000
6,000
3,000

VERTICAL - INTERIOR COSTS

18 Interior Wall Framing	120,000
19 Electrical	350,000
20 Mechanical	350,000
21 Plumbing	285,000
22 Insulation	75,000
23 Drywall	75,000
24 Textured Walls & Ceilings	30,000
25 Floor & Wall Tiles	80,000
26 Tile Installation	110,000
27 Baseboards	20,000
28 Interior Doors	25,000
29 Interior Door Installation	25,000
30 Interior Painting & Caulking	35,000
31 Kitchen & Baths Cabinets & Counter tops	350,000
32 Kitchen & Bath Fixtures	36,000
33 Glass & Mirrors	25,000
34 Carpet	30,000
35 Appliances	105,000
36 Cleaning	6,000
37 Mailboxes	3,000
38 Garbage Collection	6,000
39 Entry Signs	5,000
40 Fence	12,000
41 Cleanup / Dumpsters	6,000
42 Site Toilets	3,000

OVERHEAD & MANAGEMENT COSTS

43 Project & Construction Management	250,000
44 Development Fees	0
45 Loan Carrying Costs	500,000
Totals	5,878,000
Cost per SF	\$183.69



Jarvis M. Wyandon
Architect

4748 Rice Road
Shreveport, Louisiana
71119
(954) 854-4312 TEL

December 6, 2022

Re: 1316 N.W. 6th Street,
Ft. Lauderdale, FL 33311

To Whom It May Concern:

Please accept this budgetary price based on the proposed schematics for the location noted above. This is strictly a budgetary price of approximately 195.00 a square foot. Based off a 3 story building @ approximately 10,000 per floor. The ground level which is mostly garage, recreation room and some offices is approximately 65.00 a square foot.

Should you have any questions regarding this project, please feel free to contact this office.

If you should have any questions or concerns, please feel free to contact us at 954.200.2255.

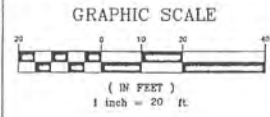
Sincerely,

Jarvis Wyandon, AIA

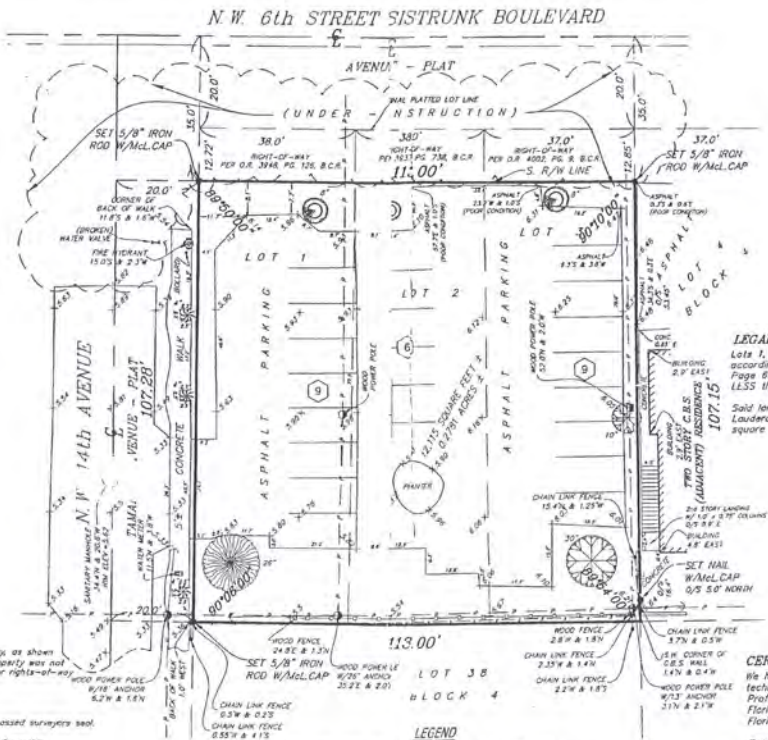
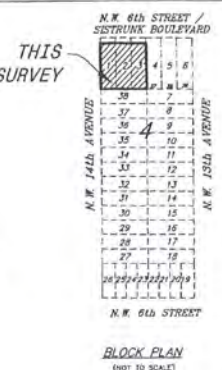
List of all Jobs to be Created

Job Title	#	Brief Job Description	Annual Average Salary	Industry Average Salary	Experience/Education/Skills Required
Project Executive	1	Coordinate and lead development plan	\$120,000		Prior development experience
Construction Mgr.	1	Lead and manage construction activities	\$100,000		Multi-family construction mgt exp.
Project Manager	1	Lead and manage key project tasks	\$75,000		Multi-family PM experience
Project Super.	1	Lead and manage all work crews	\$70,000		Multi-family sr. forman/super exp.
Project Engineer	1	Oversee and manage quality control	\$60,000		Licensed engineer/ multi-family exp.
Project Scheduler	1	Schedule materials and work flow	\$45,000		Multi-family project scheduler exp.
Project Accountant	1	Financial reporting, billing, payroll & A/P	\$55,000		Exp. construction accountant
Construction crews	43	Project construction crews	\$1,789,000		Licensed & reputable subs/workers
Property Manager	1	Licensed and experienced property mgr.	\$50,000		Licensed, experienced prop. mgr.
Leasing Agent	1	Licensed and experienced leasing agent	\$50,000		Licensed, experienced realtor
Property Maintenance	1	Experienced prop. maintenance person	\$35,000		Handyman and groundskeeper

*USE ADDITIONAL SHEETS IF NECESSARY



TOPOGRAPHIC SURVEY
LOTS 1 - 3, OCK 4, LESS R/W,
TUSKEGEE TRK, 1st ADDITION,
PLAT BOOF, PAGE 65, B.C.R.



LEGAL DESCRIPTION:
 Lots 1, 2, and 3, Block 4, TUSKEGEE PARK, 1st ADDITION, according to the plat thereof as recorded in Plat Book 9, Page 65, of the public records of Broward County, Florida, LESS the Right-of-Way of N.W. 6th Street.
 Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 12,115 square feet or 0.2781 acres, more or less.

CERTIFICATION:
 We hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mapmakers in Chapter 51-17.05, Florida Statutes.
 Dated at Fort Lauderdale, Florida, this 31st day of May, 2011.

McLAUGHLIN ENGINEERING CO.
 GERALD McLAUGHLIN
 Registered Professional Surveyor No. 5269
 State of Florida

- NOTES:**
- This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
 - Underground improvements if any not located.
 - This drawing is not valid unless sealed with an embossed surveyor's seal.
 - Boundary survey information does not infer Title or Ownership.
 - All iron rods 5/8", unless otherwise noted.
 - Reference Bench Mark City of Ft. Lauderdale Bench Mark No. NW 15 1st NW lot in Brass Disc at TOC NW corner of NW 6th St. & NW 13th Ter. ELEVATION = 6.048'
 - Elevations shown refer to National Geodetic Vertical Datum (1929), and are indicated thus: 107.15'
 - This property lies in Flood Zone "AE", Elev = 7.0 Per Flood Insurance Rate Map No. 1201100216 F. Dated: August 18, 1992. Community Panel No. 125105 Index Map Dated: October 2, 1997.

LEGEND

- ∠ = CENTRAL ANGLE (NET)
- R = RADIUS
- A/O/L = ARC LENGTH
- CHORD = CHORD BEARING
- CHORD = CHORD BEARING
- TANGENT BEARING = TANGENT BEARING
- P.O.B. = POINT OF BEGINNING
- W/M/L CAP = WITH MCLAUGHLIN ENGINEERING CO. CAP
- PERM = PERMANENT REINFORCEMENT
- CONC = CONCRETE
- CONC = CONCRETE BLOCK AS STRUCT
- I.C.V. = IRRIGATION CONTROL VALVE
- W.M. = WATER METER
- B.F.P. = BACK FLOW PREVENTOR
- ELEV. = ELEVATION
- OS/3 = OFFSET
- A/C = AIR CONDITIONING
- F.A.L. = FLORIDA POWER AND LIGHT CO.
- S.E.I. = SOUTHERN BELL TELEPHONE
- B.C.C. = BROWARD COUNTY RECORDS
- D.C.R. = DADE COUNTY RECORDS
- P.B.C. = PALM BEACH COUNTY RECORDS
- O.R. = OFFICIAL RECORDS BOOK
- P.C. = PAGE
- R/W = RIGHT-OF-WAY
- C.O. = CLEAN CUT
- CL.F. = CHAIN LINK FENCE

NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL

FIELD BOOK NO. 184 2010K 102
 JOB ORDER NO. 11-862

FILE NO. 11-1-

DRAWN BY: SP
 CHECKED BY:

Record and return to:
M. SCOTT KLEIMAN, ESQ.
Kafis, Kleiman & Wolfe, P.A.
7320 Griffin Road, Suite 109
Davie, FL 33314

Folio Nos. 504204060570, 504204060580, 504204060590

QUIT CLAIM DEED

THIS QUIT CLAIM DEED made this 16th day of November, 2022, between **NHBSISTRUNK COMMUNITY DEVELOPMENT CORP.**, a Florida not-for-profit corporation, whose address is 1321 NW 6th Street, Fort Lauderdale, Florida 33311 (the "Grantor"), to **NEW HOPE DEVELOPMENT CORPORATION**, whose address is 2200 North Commerce Parkway, Suite 200, Weston, Florida 33326 (the "Grantee"). (The terms "Grantor" and "Grantee" in this instrument includes the respective successors and assigns of said parties).

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) to it in hand paid by the Grantee, the receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee the property (the "Property") lying and being in Broward County, Florida, and as legally described as

LOTS 1, 2, AND 3, BLOCK 4, TUSKEGEE PARK, 1ST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 65 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE RIGHT-OF-WAY OF N.W. 6TH STREET.

Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida, and containing 12,115 square feet or 0.2781 acres, more or less.

TOGETHER with all the tenements, hereditaments and appurtenances belonging or in any way appertaining to said Property.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantors, either in law or equity, to the only proper use and benefit of Grantee forever.

IN WITNESS WHEREOF, the Grantor has caused this Quit Claim Deed to be executed in her name the day and year first above written.

[SIGNATURES ON FOLLOWING PAGE]

Signed, sealed and delivered in the presence of (as to both):

Paul Fields
Witness Signature
Paul Fields
Print Name of Witness

Sunny Meza
Witness Signature
Sunny Meza
Print Name of Witness

STATE OF FLORIDA)
)
COUNTY OF BROWARD)

NHBSISTRUNK COMMUNITY DEVELOPMENT CORP., a Florida not-for-profit corporation

Ricky Scott
By: **RICKY SCOTT**
As: President

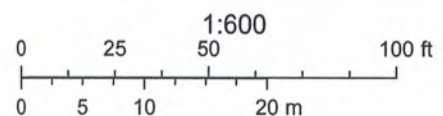
The foregoing instrument was acknowledged before me by means of (X) physical presence or () online notarization this 10th day of November, 2022, by **RICKY SCOTT**, as President of **NHBSISTRUNK COMMUNITY DEVELOPMENT CORP., a Florida not-for-profit corporation**, and who is (X) personally known to me or who has () produced _____ as identification.

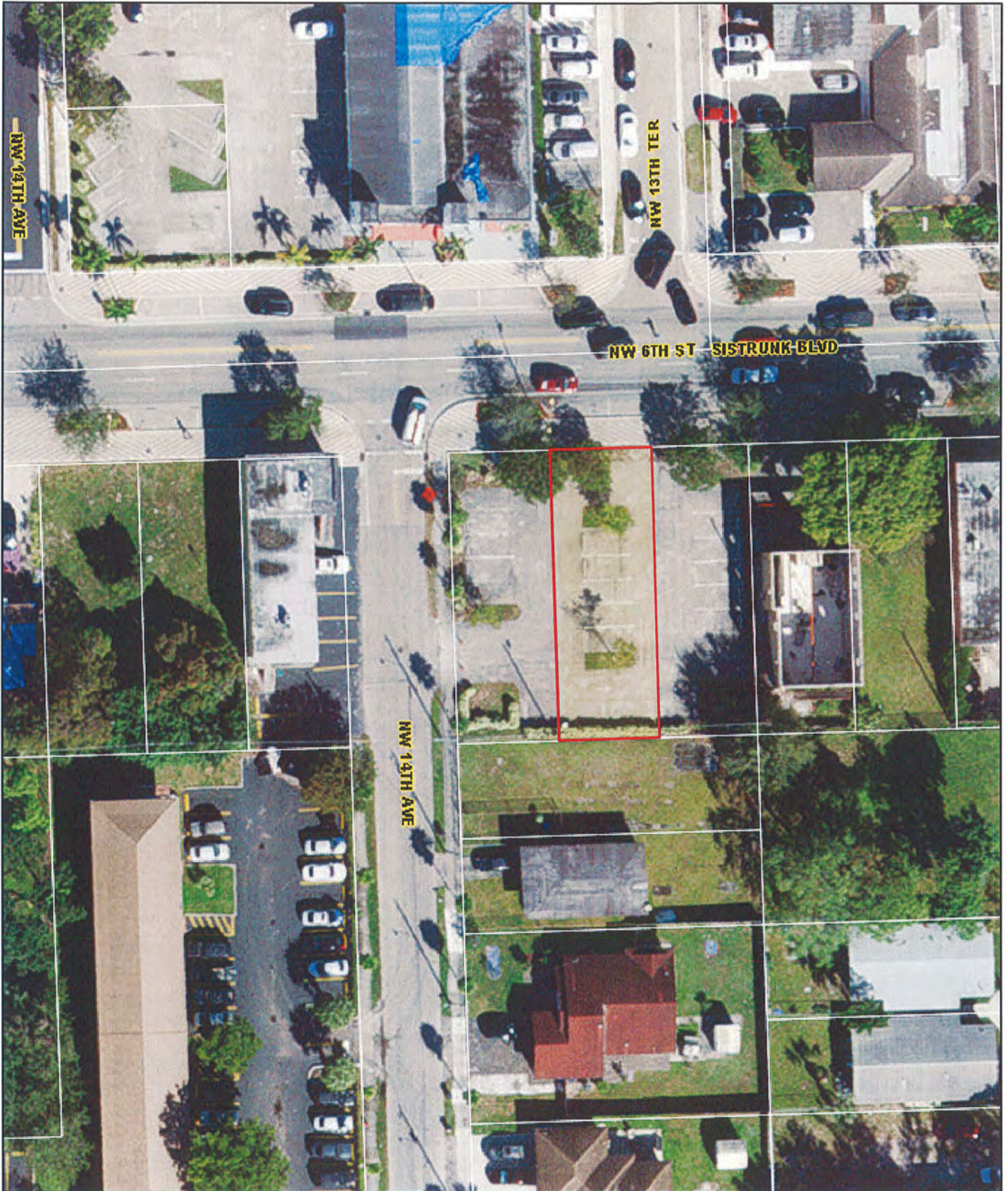


Lydia Gordon-Hughes
Print or Stamp Name: Lydia Gordon-Hughes
Notary Public, State of Florida at Large
Commission No.: HH 162167
My Commission Expires: 08/08/2025

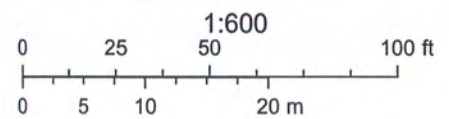


February 8, 2023



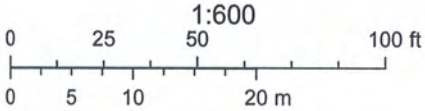


February 8, 2023





February 8, 2023





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Detail by Entity Name

Florida Profit Corporation
 LANDAMERICA DEVELOPMENT CORPORATION

Filing Information

Document Number P21000028908
FEI/EIN Number 86-2999022
Date Filed 03/23/2021
Effective Date 03/23/2021
State FL
Status INACTIVE
Last Event ADMIN DISSOLUTION FOR ANNUAL REPORT
Event Date Filed 09/23/2022
Event Effective Date NONE

Principal Address

2200 N. COMMERCE PARKWAY
 SUITE 200
 WESTON, FL 33326

Mailing Address

2200 N. COMMERCE PARKWAY
 SUITE 200
 WESTON, FL 33326

Registered Agent Name & Address

LEVY, TORIA O
 2200 N. COMMERCE PARKWAY
 SUITE 200
 WESTON, FL 33326

Officer/Director Detail

Name & Address

Title P

REID, HILARY A
 2200 N. COMMERCE PARKWAY, SUITE 200
 WESTON, FL 33326

Title VP

PRINCE, VINCENT T
2200 N. COMMERCE PARKWAY, SUITE 200
WESTON, FL 33326

Annual Reports

No Annual Reports Filed

Document Images

[03/23/2021 -- Domestic Profit](#) [View image in PDF format](#)



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Detail by Entity Name

Florida Not For Profit Corporation
 NHBSISTRUNK COMMUNITY DEVELOPMENT CORP

Filing Information

Document Number N22000009539
FEI/EIN Number 88-0742983
Date Filed 08/15/2022
Effective Date 08/10/2022
State FL
Status ACTIVE

Principal Address

1321 NW 6TH STREET
 FT. LAUDERDALE, FL 33311

Mailing Address

1321 NW 6TH STREET
 FT. LAUDERDALE, FL 33311

Registered Agent Name & Address

HUGHES, LLYDIA
 1321 NW 6TH STREET
 FT. LAUDERDALE, FL 33311

Officer/Director Detail

Name & Address

Title P

SCOTT, RICKY
1321 NW 6TH STREET
FT. LAUDERDALE, FL 33311

Title VP

WARE, NATHANIEL
1321 NW 6TH STREET
FT. LAUDERDALE,, FL 33311

Title S

HUGHES, LLYDIA
1321 NW 6TH STREET
FT. LAUDERDALE,, FL 33311

Annual Reports

No Annual Reports Filed

Document Images

[08/15/2022 -- Domestic Non-Profit](#) [View image in PDF format](#)



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Detail by Entity Name

Florida Profit Corporation

NEW HOPE DEVELOPMENT CORPORATION

Filing Information

Document Number P22000062830
FEI/EIN Number 88-3620386
Date Filed 08/09/2022
Effective Date 08/08/2022
State FL
Status ACTIVE

Principal Address

2200 N. COMMERCE PARKWAY
 SUITE 200
 WESTON, FL 33326

Mailing Address

2200 N. COMMERCE PARKWAY
 SUITE 200
 WESTON, FL 33326

Registered Agent Name & Address

LEVY, TORIA O
 2200 N. COMMERCE PARKWAY
 SUITE 200
 WESTON, FL 33326

Officer/Director Detail

Name & Address

Title VP

NHBSISTRUNK COMMUNITY DEVELOPMENT CORP
 1321 NW 6TH STREET
 FT LAUDERDALE, FL 33311

Title P

LANDAMERICA DEVELOPMENT CORPORATION
 2200 N. COMMERCE PARKWAY, SUITE200
 WESTON, FL 33326

Annual Reports

No Annual Reports Filed

Document Images

[08/09/2022 -- Domestic Profit](#) [View image in PDF format](#)

EXHIBIT 3

NEW HOPE RENTALS APARTMENT HOME FEATURES

DESIGNER KITCHEN

- 42" designer quality crafted custom designed flat paneled wood cabinets with optional crown molding
- Convenient pantry for abundant storage
- **Stone countertops and 12" backsplash with 3 color choices**
- Stone breakfast bar (per plan)
- Under mount stainless steel sink
- 24" x 24" ceramic tile flooring
- Deluxe 1/3 hp Sink garbage disposal
- Stainless Steel Appliances

STYLISH BATH

- Decorative vanity lighting fixtures
- Full width mirrors over vanities
- Designer wood cabinetry in all baths
- Granite vanity countertops
- High-end plumbing fixtures by Rubi
- 12" x 24" ceramic tile flooring

DESIGN FEATURES

- 8'-6" Floor ceilings
- Satin nickel keypad entry lock set & deadbolt
- Convenient pre-wiring for security system
- Electronic Smoke Detectors
- Knockdown finished ceilings
- 2-panel Cheyenne interior doors
- Vinyl-coated ventilated shelving in all closets
- 3 1/2" colonial baseboards throughout
- 24"x24" ceramic tile flooring in foyer, kitchen and laundry
- Luxurious wall to wall carpeting in a variety of designer colors (installed over dense padding)

EXTERIOR BENEFITS

- Fully lighted onsite parking on 1st level
- Ultimate exterior paint system
- Decorative architectural design panels

ADDITIONAL FEATURES

- ENERGY STAR appliances
- LED lighting
- Advanced programmable thermostat
- Water-efficient faucets and shower heads

ENERGY EFFICIENCY

- Low HERS (Home Energy Rating System)
- R-38 ceiling Insulation and radiant barrier (to reduce energy costs)
- UV-resistant window system to reduce UV rays, heat and fading
- Window flashing to reduce air and water leaks around windows
- Moisture-resistant material behind tubs and showers
- Minimum SEER 14 HVAC, as a standard in every home we build
- Sealed insulated ducts to prevent air leaks
- R-13 insulation value for walls (to reduce noise and energy costs)
- R-41 insulated exterior concrete walls (to reduce noise and energy costs)
- Impact resistant windows and doors (for hurricane and wind storm protection)

CONSTRUCTION

- Solid poured concrete foundation and walls, reinforced with steel (for hurricane and wind storm protection)
- Engineered water management and storm water storm drain system
- Moisture-resistant roof underlayment
- Steel reinforced vertical load bearing walls from foundation to roof
- 5" thick solid poured concrete walls and 2nd level floors, hurricane and flood resistant and energy efficient

ELECTRICAL

- Pre-wired for ceiling fans with switches for all bedrooms and living room
- High speed structured wiring for 4-line phones video and computer, includes CAT-5 data lines
- Electrical smoke detectors with battery back-up
- Carbon monoxide detector
- Minimum 200-amp electrical panel with circuit breakers
- Copper wiring in the interior of the home

COMMUNITY

- Underground utilities
- Municipal water & sewer
- Exterior building insurance coverage on all units
- Monitored alarm system with each home

EXHIBIT 4

NEW HOPE RENTALS

1316 N.W. 6th STREET,
FT. LAUDERDALE, FL 33311

DRAWING INDEX

- A-00 GENERAL NOTES
- A-01 FLOOR PLANS
- A-02 FLOOR PLANS
- A-03 PERSPECTIVES 1
- A-04 PERSPECTIVES 2
- A-05 PERSPECTIVE 3

CODE RESEARCH

GOVERNING CODE	2009 Florida Building Code, Part II, 2007 Florida Building Code, Mechanical and Electrical Code @ 17 Appropriately
BUILDING HEIGHT	200
PROJECT AREA	200
TYPE OF CONSTRUCTION	200
MAXIMUM TRAVEL DISTANCE	200
OCCUPANCY CLASSIFICATION	R
FOLIO #	862.08 06 0105, 0404 04 06 0500 & 0401 04 06 0500
LEGAL DESCRIPTION	27 NEW APARTMENTS WITH PARKING ON 1316 N.W. 6TH STREET, FT. LAUDERDALE, FL 33311. PART OF LOT 11 LESS 80 S.F. FIRST ADD TO TURKEYE PARK 845 & LOT 11 LESS 80 S.F.
SCOPE OF WORK	Fire Alarm System / Fire Sprinkler System

SYMBOLS

	DETAIL SYMBOL	ELEVATION	
	SECTION SYMBOL	KEY NOTE	
	WINDOW SYMBOL	DOOR SYMBOL	
	WALL TYPE	WINDOW SYMBOL	
	EXISTING WALL	WINDOW SYMBOL	
	NEW WALL	WINDOW SYMBOL	
	EXISTING WALL REMOVED	WINDOW SYMBOL	
	BATT INSULATION	WINDOW SYMBOL	
	FIRE RATED WALL	WINDOW SYMBOL	

LOCATION MAP



SITE

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY THE SET AND SHALL MARK HIMSELF WITH THE EXISTING CONDITIONS AND VERIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO SUBMITTING HIS BID.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO THE SUBMISSION OF ANY BIDS AND VERIFY THE ARCHITECT'S FIELD NOTES, PROJECT, IF ANY DISCREPANCIES, CONTACTING INFORMATION, NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IN WRITING. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER IMMEDIATELY IN WRITING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL SCALE THE SCALED DIMENSIONS AND PREVIOUS OVER.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMAN'S COMPENSATION INSURANCE. VALID CERTIFICATES OF ALL SHALL BE PROVIDED.

THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRATEGIC LOCAL EDITION, NFPA 101 AND ALL OTHER REGULATORY CODES.

THE CONTRACTOR SHALL OBTAIN ALL PERMITS, AND SECURE ALL CERTIFICATE OF INSPECTION AND OCCUPANCY THAT ARE REQUIRED BY MUNICIPALITY RELATIVE TO THE HOURS OF WORK.

THE CONTRACTOR SHALL REFERENCE THE BUILDING SCHEDULE DRAWINGS AND SCHEDULE COORDINATION DRAWINGS RELATIVE TO THE BUILDING SCHEDULE AND FOR COORDINATION OF NEW WORK.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REQUIRE A SET FOR THE PROJECT AND SHALL BE RESPONSIBLE FOR ALL MUNICIPALITY RELATIVE TO THE HOURS OF WORK.

THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE COORDINATION ALL SUBCONTRACTORS, SUPPLIERS AND VENDORS.

THE CONTRACTOR SHALL NOT ALLOW ONE TO PROJECT ANY MATERIALS OR EQUIPMENT TO THE PROJECT SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO THE SUBCONTRACTORS/VENDORS AS WELL AS SUPERVISING AND COORDINATING THE WORK OF ALL TRADES IN ACCORDANCE WITH THE ARCHITECT'S FIELD NOTES AND PROJECT. THE CONTRACTOR SHALL BE NOTIFIED PRIOR TO THE EXECUTION OF THEIR REVISIONS TO AVOID CONFLICT BETWEEN TRADES FOR PROPER EXECUTION OF THE WORK.

THE CONTRACTOR SHALL INSTALL ALL APPLIANCE, APPLIANCE MATERIAL, OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED ACCESSORIES NECESSARY FOR COMPLETION OF THE WORK FOR OPERATION WITHOUT ADDITIONAL EXPENSE TO OWNER.

THE CONTRACTOR SHALL COORDINATE ALL OWNER/TRADE SUPPLIER AND INCORPORATE THE INSTALLATION INTO THE CONSTRUCTION SCHEDULE.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES FOR THE COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL HAVE A DIGITAL CAMERA ON SITE TO PHOTOGRAPH ALL WORK. ALL PHOTOS SHALL BE EMAILED TO THE ARCHITECT ALONG WITH AN RFI FOR CLARIFICATION.

THE CONTRACTOR SHALL PROVIDE ALL PROTECTION FROM THE WEATHER AND EXCESSIVE HEAT THAT MAY IN ANY WAY DAMAGE THE WORK, MATERIAL, EQUIPMENT, AND EQUIPMENT, OR PRESENT A SAFETY HAZARD TO THE WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE SOLE EXPENSE OF THE CONTRACTOR.

GENERAL NOTES

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THE CONTRACTOR SHALL COORDINATE ALL OWNER/TRADE SUPPLIER AND INCORPORATE THE INSTALLATION INTO THE CONSTRUCTION SCHEDULE.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES FOR THE COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL HAVE A DIGITAL CAMERA ON SITE TO PHOTOGRAPH ALL WORK. ALL PHOTOS SHALL BE EMAILED TO THE ARCHITECT ALONG WITH AN RFI FOR CLARIFICATION.

THE CONTRACTOR SHALL PROVIDE ALL PROTECTION FROM THE WEATHER AND EXCESSIVE HEAT THAT MAY IN ANY WAY DAMAGE THE WORK, MATERIAL, EQUIPMENT, AND EQUIPMENT, OR PRESENT A SAFETY HAZARD TO THE WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE SOLE EXPENSE OF THE CONTRACTOR.

PROJECT INFORMATION

ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO BE REQUESTED IN WRITING ONLY BY THE BUILDER OR THE OWNER. THE DESIGNER, ANY CHANGES, REVISIONS, ALTERATIONS, UNCONSIDERED, AND TOTALLY RELEASE THE DESIGNER FROM ANY AND ALL RESPONSIBILITY, CLAIMS, OR LIABILITIES AGAINST THE DESIGNER FROM THE DATE OF THE LAST REVISION TO THE PLANS ORIGIN UNTIL THE END OF TIME.

REPAIR ALL DISCREPANCY STEEL TO BE AS PER DRAWING ON BENT, LAPPED AND PLACED IN ACCORD WITH THESE DRAWINGS AND THE LATEST SPECIFICATIONS IN ACI 318.

CONTRACTOR IS RESPONSIBLE FOR ALL STRUCTURAL COORDINATION AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO POURING OF FLOOR SLABS, FOOTINGS, OR PADE.

THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING DEPARTMENT AND ALL APPLICABLE CODES. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH THE SAME. ANY DISCREPANCIES WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

LUMBER USERS FOR JOISTS, RAFTERS, TRUSSES, JOISTING, BEAMS AND OR STRUCTURAL MEMBERS SHALL BE COMBINE GRADE NOT LESS THAN 2" x 1000 PSI UNLESS OTHERWISE SPECIFIED. ALL LUMBER SHALL BE TREATED WITH PRESERVATIVE AND SHALL BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURERS PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICES.

SMOKE DETECTORS TO BE POWERED BY HOUSE ELECTRIC SYSTEM. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED AS PER F.B.C. SECTION 905.2.1 MIRRORS OVER 8' S.F. SHALL BE ANCHORED TO STUDS.

ALL VERTICAL ELEVATION DATUM FOLLOWED BY "AFF" (ABOVE FINISHED FLOOR) SHALL BE REFERENCED FROM THE 0'-0" FINISHED FLOOR. ALL HORIZONTAL DATUM SHALL BE REFERENCED FROM THAT ROOM'S FLOOR ELEVATION.

TRUSS MANUFACTURER SHALL SUBMIT THREE (3) COPIES OF SHOP DRAWINGS AND ENGINEERING CALCULATIONS, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, OF THEIR ROOF TRUSSES TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. TRUSSES TO BE DESIGNED TO CARRY LOADS OF MISCELLANEOUS EQUIPMENT AND SHALL BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES. FABRICATION AND INDICATE ON TRUSS DRAWINGS. IF THERE IS A DISCREPANCY ON THE DOCUMENTS THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ANY CORRECTIONS DEEMED NECESSARY AND ABSORB ALL COSTS INCURRED. ALL CONNECTOR STRAPS SHALL BE COORDINATED WITH THE TRUSS MANUFACTURER. TRUSS BRACING SHALL CONFORM TO I.B.C. SECTION 2318.17.1.2 FOR CLAS DIRECTLY ATTACHED TO UNDERSIDE OF TRUSS CHORDS. TRUSS BRACING SHALL BE PERMANENT BRACING TO BE IN ACCORDANCE WITH T.P.I. PROCEDURES.

No.	Description	Date

W
 JAMES W. WATKINS, ARCHITECT
 4708 SW 11th Street
 Fort Lauderdale, FL 33311
 (954) 574-1111
 Email: jwatkins@jwarch.com

NEW HOPE RENTALS
 1316 N.W. 6th STREET,
 FT. LAUDERDALE, FL 33311

PROJECT NO.	
DRAWN BY	
CHECKED BY	
DATE	07/16/2022
FILE NAME	

GENERAL NOTES &
 SITE PLAN

SHEET NO. **A-00**
 SHEET _____ OF _____

No.	Description	Date

W
 WOODS ARCHITECTS
 1316 N.W. 6th Street
 Ft. Lauderdale, FL 33311
 Phone: (954) 574-1119
 Email: jerry@woodsarchitect.com

NEW HOPE RENTALS
 1316 N.W. 6th STREET
 FT. LAUDERDALE, FL 33311

SEAL

PROJECT NO.
 DRAWN BY
 CHECKED BY
 DATE
 FILE NAME

PERSPECTIVE 3

SHEET NO.
A-05

SHEET _____ OF _____



No.	Description	Date



WY Architecture & Design, Architects
 1316 N.W. 6th Street, Ft. Lauderdale, FL 33311
 Phone: (954) 561-1111
 Fax: (954) 561-1112
 Email: info@wyarchitect.com

NEW HOPE RENTALS
 1316 N.W. 6th STREET,
 FT. LAUDERDALE, FL 33311

SCALE

PROJECT NO. _____
 DRAWN BY: JAWY
 CHECKED BY: JAWY
 DATE: 02/16/2022
 FILE NAME: _____

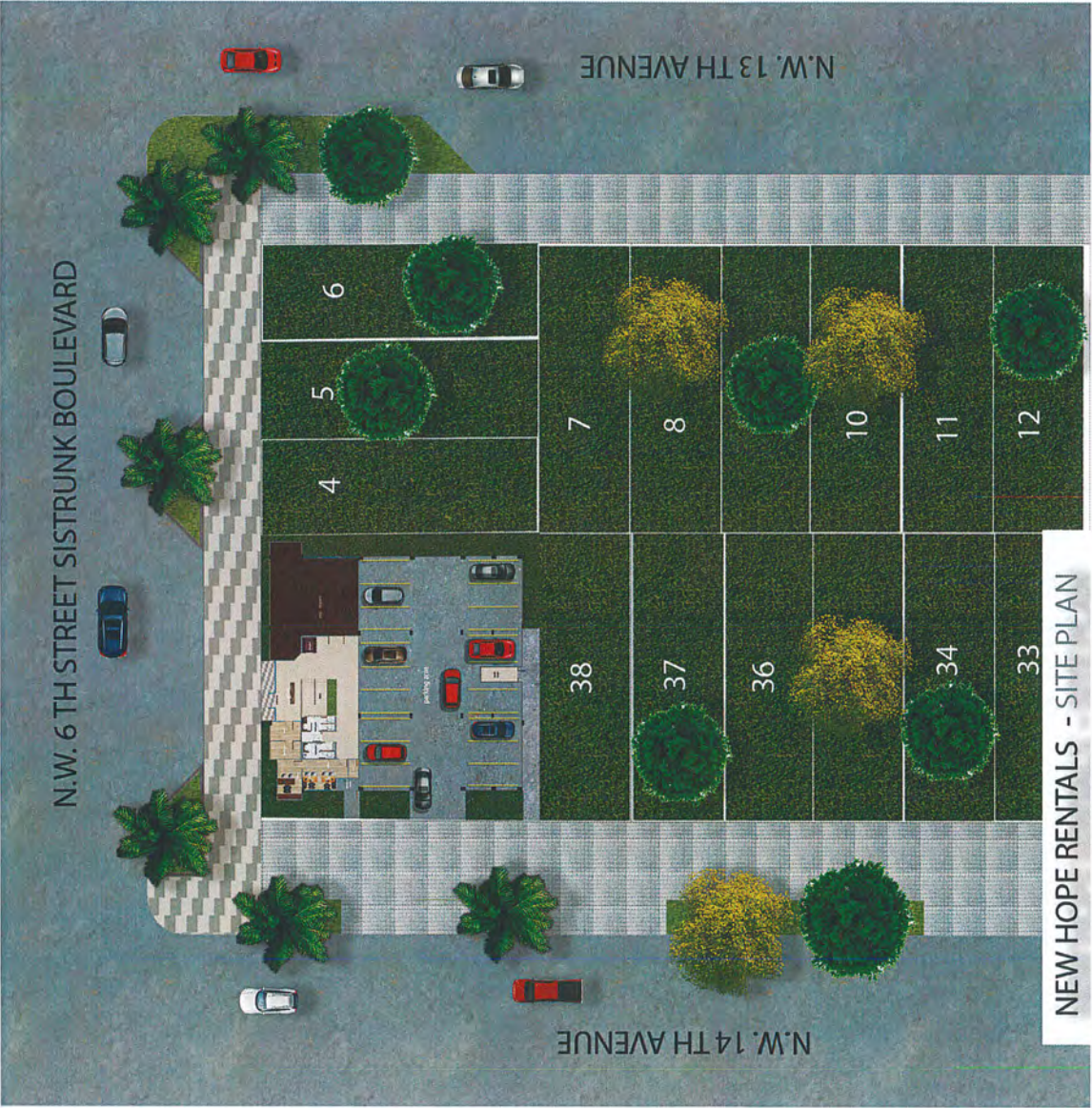
PERSPECTIVE 2

SHEET NO.

A-04

SHEET ___ OF ___





① SITE PLAN
3/8" = 1'-0"

NEW HOPE RENTALS - SITE PLAN

N.W. 6 TH STREET SISTRUNK BOULEVARD

N.W. 14 TH AVENUE

N.W. 13 TH AVENUE

No.	Description	Date

W
 WENDY W. SYDNEY, ARCHITECT
 ARCHITECT - Lic. # AB01370
 2708 Boca Road
 Boca Raton, FL 33433-1118
 Phone: (561) 364-4112
 Email: jenny@wendi.com

NEW HOPE RENTALS
 1316 N.W. 6th STREET,
 FT. LAUDERDALE, FL 33311

SCALE

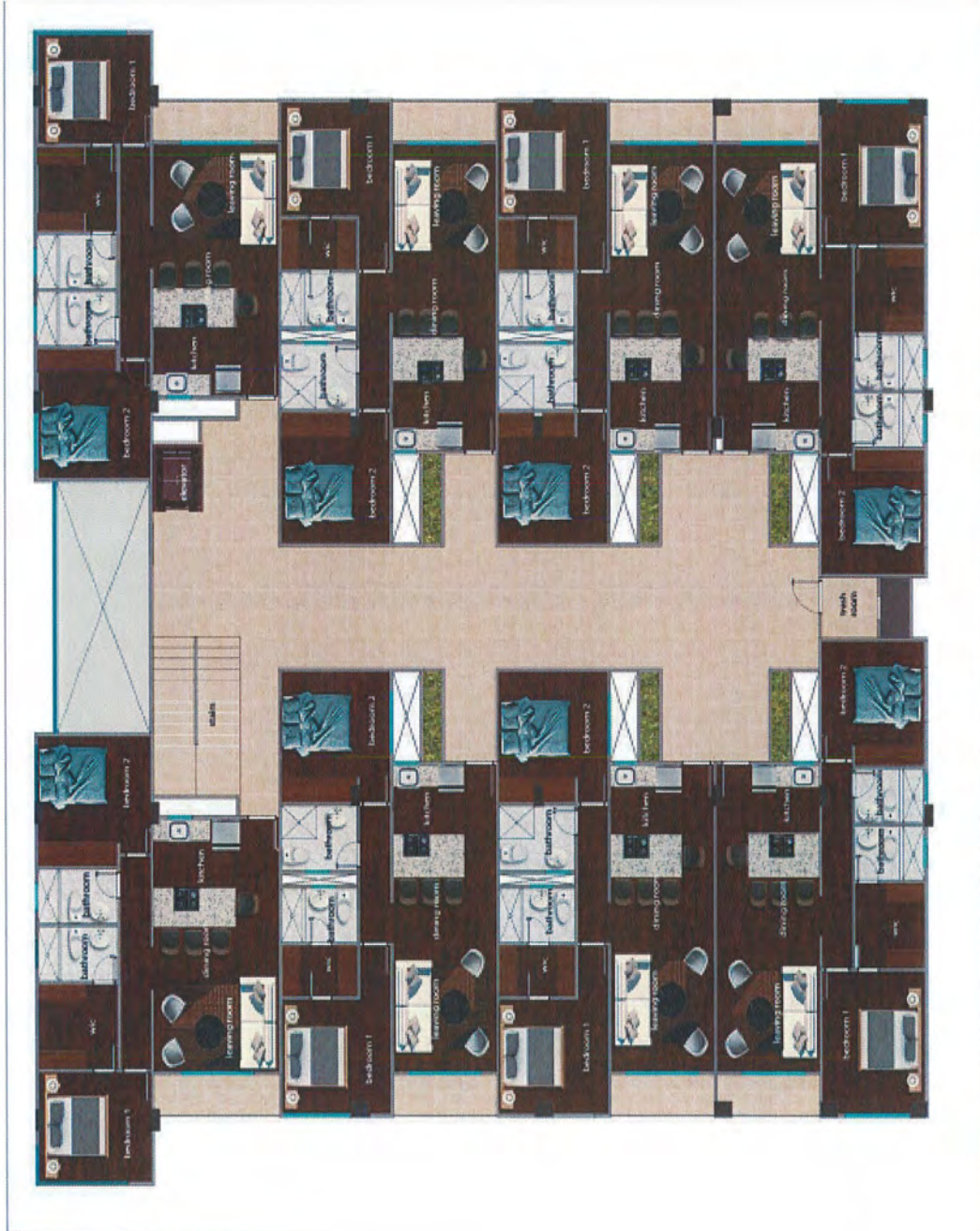
PROJECT NO.
 DRAWN BY: JMW
 CHECKED BY: JMW
 DATE: 07/20/2022
 FILE NAME

SITE PLAN

SHEET NO.

A-01

SHEET ___ OF ___



SECOND - FOURTH FLOOR PLAN
NEW HOPE

EXHIBIT 5



RidgeRock

Real Estate Sales, Financing & Management
618 E. South St. Suite 500 Orlando, FL 32801
Phone (407) 284-9945
www.ridgerockamg.com

02/10/23

Vincent Prince
LandAmerica Holdings & Investments Group, LLC
2200 N. Commerce Parkway, Suite 200
Weston, FL 3326

Dear Vincent.

We have reviewed your funding proposal for New Hope Rentals in Ft. Lauderdale, Florida and based on our review and on our preliminary underwriting, we and our various lending partners anticipate offering LandAmerica Development Corporation a construction funding commitment for the development of New Hope Rentals.

Sincerely,
Joseph Saul

Senior Vice President
RidgeRock Asset Management Group

EXHIBIT 6

New Hope Rentals
1316 NW 6th Street
Sources & Uses of Funds

		Loan to Cost	Loan to Value
Land Contribution	550,000		
Soft Costs	325,000		
Demolition and Site Preparation	25,000		
Site & Horizontal Building Costs	350,000		
Vertical Building Cost	4,318,000		
Construction Management Cost	250,000		
Development Fees	0		
Permits & Impact Fees	110,000		
Interest Reserve & Closing Costs	500,000		
Total Project Costs / Use of Funds	6,428,000		
Owner Investment - Contributed land value	550,000		
CRA Funding	2,000,000	31%	26%
Bank Financing	3,878,000	60%	51%
Total Source of Funds	6,428,000		
Projected as completed value	7,640,656		

New Hope Rentals

Rental Income Projections

	Projection 2024	Projection 2025	Projection 2026	Projection 2027	Projection 2028	Projection 2029	Projection 2030	Projection 2031	Projection 2032	Projection 2033
Revenues										
Property Rentals	261,000	522,000	522,000	532,440	532,440	532,440	532,440	532,440	532,440	532,440
Vacancy Allowance	-7,830	-15,660	-15,660	-15,973	-15,973	-15,973	-15,973	-15,973	-15,973	-15,973
Rental Commissions	-43,500	0	-1,400	-1,428	-1,428	-1,428	-1,428	-1,428	-1,428	-1,428
Other Income - Late Fees, Laundry, Vending	2,500	5,000	5,000	5,100	5,100	5,100	5,100	5,100	5,100	5,100
Total Revenues	212,170	511,340	509,940	520,139	520,139	520,139	520,139	520,139	520,139	520,139
Operating Expenses										
Advertising Expense	-5,000	-1,500	-1,500	-1,530	-1,530	-1,530	-1,530	-1,530	-1,530	-1,530
Property Management (G&G Property Investment Group)	-15,190	-30,380	-30,380	-30,988	-30,988	-30,988	-30,988	-30,988	-30,988	-30,988
Property Maintenance	-5,063	-10,127	-10,127	-10,329	-10,329	-10,329	-10,329	-10,329	-10,329	-10,329
Property Tax	-38,250	-76,500	-76,500	-78,030	-78,030	-78,030	-78,030	-78,030	-78,030	-78,030
Property Insurance (Front Line Insurance)	-5,400	-10,800	-10,800	-11,016	-11,016	-11,016	-11,016	-11,016	-11,016	-11,016
Total Expenses	-68,904	-129,307	-129,307	-131,893	-131,893	-131,893	-131,893	-131,893	-131,893	-131,893
Net Income	143,266	382,033	380,633	388,245	388,245	388,245	388,245	388,245	388,245	388,245

Projected Annual Debt Service (on Perm. Financing)
Debt Coverage

174,510
2.19

Required debt coverage to secure perm. financing

1.30

Project Valuation based on 5% CAP Rate

7,640,656

Permanent Debt Financing

3,878,000

PRELIMINARY SUMMARY CONSTRUCTION BREAKDOWN

Borrower: New Hope Development Corporation	
Point of Contact: Vincent Prince	Phone: (954) 637-2745
Property Address: 1316 NW 6th Street Ft. Lauderdale, FL	
Date:	

WORK ITEMIZATION

SOFT COSTS

- 1 Architecture & Engineering Fees
- 2 Permits

SITE COSTS

- 3 Demolition & Site Prep
- 4 Site Utilities & Paving
- 5 Cleanup / Dumpsters
- 6 Site Toilets

VERTICAL - EXTERIOR COSTS

- 7 Foundation & Shell
- 8 Fire Sprinklers
- 9 Roofing System
- 10 Impact Windows & Doors
- 11 Impact Windows & Doors - Install
- 12 Stucco
- 13 Exterior Painting
- 14 Gutter System
- 15 Irrigation
- 16 Cleanup / Dumpsters
- 17 Site Toilets

Budget
325,000
110,000
25,000
350,000
3,000
1,500
1,550,000
120,000
120,000
140,000
60,000
75,000
40,000
7,500
25,000
6,000
3,000

VERTICAL - INTERIOR COSTS

18 Interior Wall Framing	120,000
19 Electrical	350,000
20 Mechanical	350,000
21 Plumbing	285,000
22 Insulation	75,000
23 Drywall	75,000
24 Textured Walls & Ceilings	30,000
25 Floor & Wall Tiles	80,000
26 Tile Installation	110,000
27 Baseboards	20,000
28 Interior Doors	25,000
29 Interior Door Installation	25,000
30 Interior Painting & Caulking	35,000
31 Kitchen & Baths Cabinets & Counter tops	350,000
32 Kitchen & Bath Fixtures	36,000
33 Glass & Mirrors	25,000
34 Carpet	30,000
35 Appliances	105,000
36 Cleaning	6,000
37 Mailboxes	3,000
38 Garbage Collection	6,000
39 Entry Signs	5,000
40 Fence	12,000
41 Cleanup / Dumpsters	6,000
42 Site Toilets	3,000

OVERHEAD & MANAGEMENT COSTS

43 Project & Construction Management	250,000
44 Development Fees	0
45 Loan Carrying Costs	500,000
Totals	5,878,000

Cost per SF \$183.69



Jarvis M. Wyandon
Architect

4748 Rice Road
Shreveport, Louisiana
71119
(954) 854-4312 TEL

December 6, 2022

Re: 1316 N.W. 6th Street,
Ft. Lauderdale, FL 33311

To Whom It May Concern:

Please accept this budgetary price based on the proposed schematics for the location noted above. This is strictly a budgetary price of approximately 195.00 a square foot. Based off a 3 story building @ approximately 10,000 per floor. The ground level which is mostly garage, recreation room and some offices is approximately 65.00 a square foot.

Should you have any questions regarding this project, please feel free to contact this office.

If you should have any questions or concerns, please feel free to contact us at 954.200.2255.

Sincerely,

Jarvis Wyandon, AIA

MEMORANDUM

DATE: February 14, 2023

TO: NPF CRA Advisory Board Members

FROM: Clarence E. Woods III, NPF CRA Manager

BY: Bob Wojcik, Housing and Economic Development Manager

SUBJECT: Funding Request – 825 Progresso Drive LLC.
Indoor-Outdoor Mixed -Use Retail and Hospitality on Repurposed
Used Car Lot at 825-833 Progresso Drive
Property and Business Improvement Program - \$212,520.00
Façade Program - \$92,735.00
Streetscape Enhancement Program - \$97,440.00

FUNDING REQUEST

The Northwest -Progresso-Flagler Heights Community Redevelopment Agency (NPF CRA) has a funding request from 825 Progresso Drive LLC. for an indoor outdoor mixed use retail and hospitality project at 825-833 Progresso Drive. A Location Map is attached as **Exhibit 1**.

BACKGROUND

825 Progresso Drive, LLC has submitted a CRA funding application to redevelop 825-833 Progresso Drive from a former dilapidated used car lot into an indoor/outdoor venue offering yoga, fitness, art, food, market, music and family oriented recreation during the day hours and young professional oriented recreation during the evening hours. The Project will be called “Progresso Park”. The Developers application for funding is attached as **Exhibit 2** including business and financial projections.

The existing 10,000 square foot triangular site with 200 feet of frontage on Progresso Drive presently contains an existing 737 square foot building, asphalt, steel fencing and no landscaping. The reuse of the car lot at 825-833 Progresso Drive will contain repurposed, refurbished shipping containers or similar preconstructed buildings, along with refurbishing the existing building. The containers that are approximately 160 square foot each will be available for leasing to small business/retail establishments and will also be utilized for restrooms and storage space for a covered stage area for music venues and yoga instruction. The total leasable area will be approximately 2,500 square feet. The site will also contain covered outdoor seating, canopies, outdoor beverage/bar area, dog park, pavers, decking and landscaping. The existing building on site will be refurbished for restaurant use and extensive streetscape will be provided where none

presently exist, including sidewalks, street trees, landscaping, drainage and decorative lighting. Plans and illustrations of the project are attached as **Exhibit 3**.

Jay Adams is majority owner of 825 Progresso Drive, LLC. The site is across the street from historic Progresso Plaza at 901 Progresso Drive, which is also owned by Jay Adams who recently restored the 100 year old building and is home to Laser Wolf and Patio Bar & Pizza, that recently opened. Mr. Adams has been a corporate real estate broker/advisor for over 30 years and has kept his own buildings around downtown at near 100% leased for the past 25 years and has always managed to keep his rents affordable to local businesses. The container structures at Progresso Park are projected to rent starting at \$20 per square foot, or around \$700-\$900 each. He expects 5-12 businesses to lease here and some with a shared concept. The total project cost is estimated at \$697,980.

Mr. Adams is seeking approval of a total of \$402,695 in CRA funding for the project including \$92,735 from the Façade Program, \$212,520 from the Property and Business Improvement Program and \$97,440 from Streetscape Enhancement Program. Both the Façade Program and Property and Business Improvement (PBIP) Program can provide up to 75% of the improvement cost not to exceed \$225,000 under the PBIP Program and \$125,000 under the Façade Program. The Streetscape program can provide up to 70% of the streetscape cost, not to exceed \$500,000. CRA funding for this project represents approximately 57% of the total improvement cost.

	<u>Proposed Award Amount</u>
\$ 92,735	Facade Improvement Program
\$ 212,520	Property and Business Improvement Program
\$ 97,440	Streetscape Enhancement Program

The projected ten full time and ten part-time jobs created at Progresso Park are going to be mostly local from the leasing of the small bays and outdoor services. The customer draw will be mostly patrons from the area. This is a highly visible site along Progresso Drive and while this is a small site, it is expected to have a big impact on improving this area. The plans have site plan approval from the City of Fort Lauderdale and have been submitted for permits (**Exhibit 4**). Mr. Adams is prepared to commence with the project with CRA funding assistance. CRA assistance will help this traditionally automotive business portion of Progresso adjacent to the FEC Railroad tracks that has always struggled, primarily due to poor streetscape conditions, blighted properties, existing uses, crime and homelessness issues.

The project will promote small business development, offer affordable rents, help provide active uses that will serve the neighborhood and attract locals, tourist and others to the area. It will remove blight, improve safety and help activate the area for the community's benefit.

CRA funding will take the form of a forgivable loan secured by a first mortgage on the property. There is no other lender involvement. CRA funding will be applied to project construction cost.

CONSISTENCY WITH THE NPF CRA COMMUNITY REDEVELOPMENT PLAN

The NPF CRA Community Redevelopment Plan is designed, in part to stimulate private development of areas planned for commercial development. The project is consistent with the NPF CRA Community Redevelopment Plan which provides for direct physical improvements to enhance the overall environment, improve the quality of life and attract sound business and commercial development that provide employment and job opportunities.

Per the CRA plan, the CRA will establish incentive programs to address redevelopment obstacles. The CRA Plan, identifies strategic objectives, goals and measurements that include targeting and attracting businesses, retail uses and industries to establish a presence in the redevelopment area. In addition, it calls for investing in development projects that create job opportunities for area residents, promote public private partnerships and investment in the redevelopment area.

RECOMMENDATION

It is recommended the CRA Advisory Board approve a Motion recommending that CRA Board approve funding in the amount in the amounts of \$92,735 from the Façade Program, \$212,520 from the Property and Business Improvement Program and \$97,440 from Streetscape Enhancement Program to 825 Progresso Drive, LLC. for the Progresso Park Project at 825-833 Progresso Drive.

BW/CEW

Attachments

- Exhibit 1 – Location Map/Concept Renderings
- Exhibit 2 – Application for Funding
- Exhibit 3 – Plans and Illustrations
- Exhibit 4 – City Fort Lauderdale Administrative Review Approval
 - CASE PLN-AR-19120011

EXHIBIT 1

LOCATION MAP



Proposed Progresso Park Project
825-833 Progresso Drive



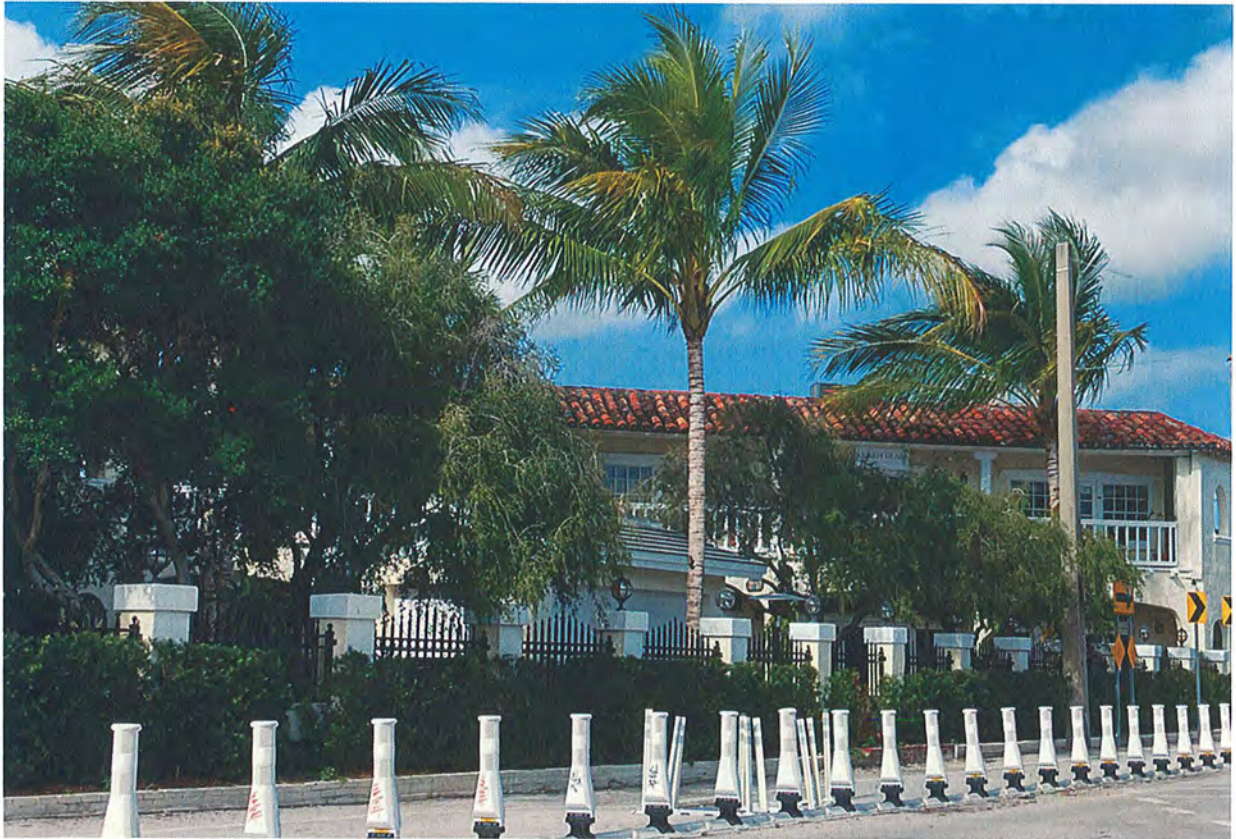
Proposed Site for "Progresso Park" Project



Proposed Site for "Progresso Park" Project

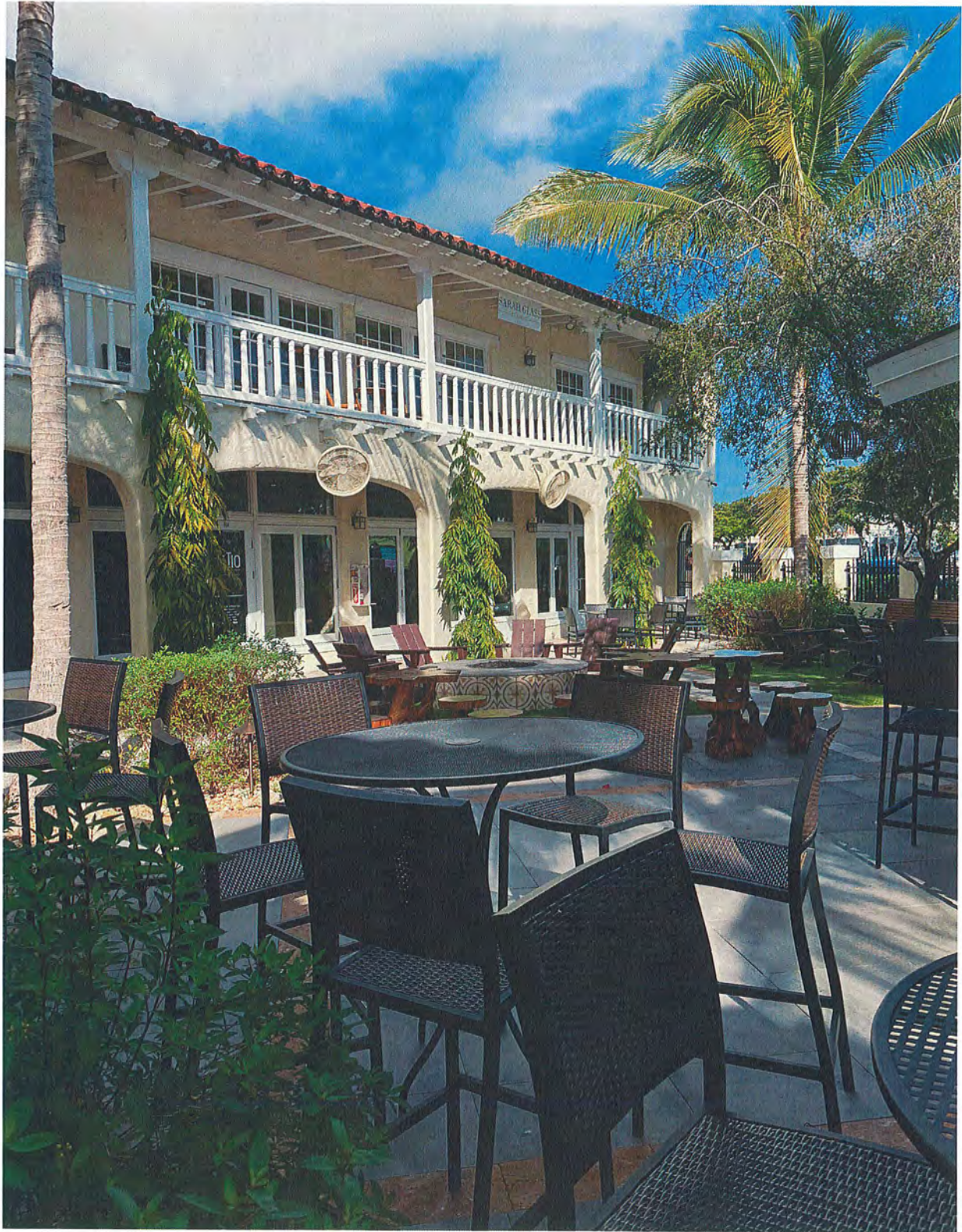


Existing Street Conditions at Proposed Site for "Progresso Park" Project



Jay Adams Completed Projects: Progresso Plaza Renovations and Patio Bar and Pizza





Jay Adams Completed Projects: Progresso Plaza Renovations and Patio Bar and Pizza

EXHIBIT 2

City of Fort Lauderdale

Northwest-Progresso-Flagler Heights
Community Redevelopment Agency
(NWPF CRA)



APPLICATION FOR CRA FUNDING ASSISTANCE

Name of Principal Owner in Charge Jay Adams		Tel. No. 954-401-9974	E-Mail Address jay.adams@nmrk.com
Primary Contact for this CRA Request Jay Adams		Tel. No.	E-Mail Address
Name of Business 825 Progresso Drive, LLC		Tax I.D. No. 562456581	Company Website
Business Address 919 SE 6th Court		Tel. No. 954-401-9974	Fax No.
City Fort Lauderdale		State FL	Zip Code 33301
Commencement Date to Begin Project: December 1, 2021		JOB INFORMATION	
Completion Date for Project: December 31, 2022			
Check Appropriate Description		Project Type	Facility Description
<input type="checkbox"/> Existing Business <input checked="" type="checkbox"/> New Business		<input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Relocation	Existing Space <u>1,000</u> sq. ft. New Space <u>7</u> sq. ft.
NAICS Code / Industry Type Property Owner		Date of Incorporation 5/10/2009	State where the business was incorporated FL
Proposed Project Location/City Fort Lauderdale		Proposed Address 825 Progresso Drive	
Property Control Number(s)		Property Owner Jay Adams	
Owner Tel. No. (include Area Code) 954-401-9974		Is there a lien on the property? <input checked="" type="radio"/> Yes <input type="radio"/> No	
Bank(s) Where Business Accounts for Projects Are Held (Non-Lender Bank Account)		TD Bank & Wells Fargo (Non-Lender Bank Accounts)	
1. First Republic Bank		2.	
Name of Participating Bank/Lender Property is owned free and clear			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Name of Other Financial Source			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Name of Other Financial Source			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Name of Other Financial Source			
Amount \$	Contact Person	Tel. No. (include Area Code)	Fax No. (include Area Code)
Project Purpose and Economic Impact The Progresso Park project will enhance an existing used car lot that has been vacant for several years. Use is to be a day time family park for outdoor yoga, training, dog sitting, coffee cafe, light foods and drinks. Night time activities to be open air bar and entertainment.			

NOTE 1: If the project receives funds via another City, County, Federal or State program which also requires job creation/retention, the jobs created/retained for those programs must be in addition to the jobs required under this program.

NOTE 2: If project includes the purchase of equipment using CRA funds, then there must not be another UCC filing for the equipment.

Management: Owners, partners, officers, all holders of outstanding stock — 100% of ownership must be shown (use separate sheet if necessary).

Name	Complete Address	% Owned	From	To
Jay Adams	919 SE 6th Court 33301	100%		
Name	Complete Address	% Owned	From	To
Name	Complete Address	% Owned	From	To
Name	Complete Address	% Owned	From	To
Name	Complete Address	% Owned	From	To

PROJECT/ACTIVITY COST SUMMARY	
1. Please state the overall project cost:	\$ 697,980.00
2. Please state the overall project costs related to the CRA's assisted activity?	\$ 402,695.00
3. Please indicate the sources and uses of funds for the project on the following table.	

Project Source(s) of Funding	Amount	Rate	Term
Bank Loan (specify)	NA		
City funds	NA		
CRA funds	\$402,695		
Company's current cash assets	\$295,285		
Owner equity (specify) \$820,000 (Land)			
Other (specify) \$56,215 (Owner-Contingency)			
Other (specify) \$100,000 (Owner-Opportunity Zone Fund)			
Other (specify)			
Total Sources	\$697,980		
Select the Use(s) of Funds and the Amount Need for Each	Sources of Funds (Yes or No)	Amount	
Land Acquisition		0	
Real Property Acquisition		0	
Utility and road infrastructure improvements		\$139,220	
New construction of commercial and industrial buildings		\$508,760	
Rehabilitation of commercial and industrial buildings			
Purchase and installation of equipment and fixtures			
Other (specify) Design- Permitting- Impact Fees		\$50,000	
Other (specify)			
Other (specify)			
Total Uses		\$697,980	

NOTE 3: Other "uses" include Architectural/Engineering Fees, Application Fees, Permit Fees Impact Fees

BUSINESS INDEBTEDNESS: Furnish the following information on all outstanding installment debts, code and other liens, notes and mortgages payable that relate to this project. The present balances should agree with the latest balance sheet submitted (*use a separate sheet if necessary*).

To Whom Payable	Original Amount	Original Date	Present Balance	Rate of Interest	Maturity Date	Monthly Payment
Name: _____ None	\$		\$ 0	% <input type="text"/>		\$ 0
Name: _____ No further loans or debt	\$		\$	% <input type="text"/>		\$
Name: _____	\$		\$	% <input type="text"/>		\$
Name: _____	\$		\$	% <input type="text"/>		\$
Name: _____	\$		\$	% <input type="text"/>		\$

THE FOLLOWING ITEMS MUST BE COMPLETED AND SUBMITTED WITH YOUR APPLICATION

1. A business plan which describes the company mission, market analysis, applicant capacity, economic analysis and project feasibility, a brief history and description of the company (*including the founding of the company*), overview of operations, product information, customer base, method and areas of distribution, primary competitors and suppliers within the County.
2. A list of general and limited partners, officers, directors and shareholders of the company. Please provide a resume for all the principals and key management.
3. Corporate income tax returns for the last three years (*personal returns may also be requested*).
4. Two separate lists that detail the existing jobs on your payroll and the new jobs to be created (*within the list please provide the job title of each position, a brief description of each position, annual salary for existing and new positions and the industry average salary for those positions*).
5. If machinery and equipment are being purchased with CRA funds, provide a list of all the items to be purchased, with quotes on vendor's letterhead. Include a statement from the manufacturer, attesting to the economic life of the equipment.
6. If business is a franchise, include a copy of the franchise agreement;
7. Bank Commitment Letter detailing the conditions of the loan approval.
8. Copy of IRS determination letter as a non-profit organization (*required for all non-profit organizations only*).
9. Signed copy of resolution or minutes from the meeting of the governing body authorizing submission of the application (*required for all non-profit organizations only*).
10. Articles of Incorporation or Division of Corporations information identifying authorized signatories
11. Copy of the Property Deed (*if the applicant is the owner*)
12. Copy of By-Laws (*required for all non-profit organizations only*).
13. Please sign and submit *Statement of Personal History and Credit Check Release* (as attached).
14. If project involves construction, please provide a minimum of two (2) detailed cost estimates prepared by Architect/Engineer and/or General Contractor, preliminary plans and specifications, Architectural Illustration and photos of existing conditions.
15. Attach a street map showing the location of the proposed project, Property Folio number and Legal Description.
16. Preliminary Project Schedule.

The following items are also needed, if your funding request is \$500,000 or more
(*not applicable for Commercial Façade, Streetscape Enhancement and Property and Business Improvement Incentive requests*)

17. CPA audited corporate financial statements for the last three years (*Profit and Loss Statement and a Balance Sheet*).
18. If the most recent business return and/or financial statement is more sixty (60) days old, please submit a current Interim Financial Statement.
19. Three year financial pro formas which include operating statements, balance sheets, funding sources, and use details.
20. Ten year revenue and expense projection for the project
21. Copy of sales/purchase agreement when purchasing land or a building (*or an executed lease if applicable*).
22. Provide details regarding any credit issues, bankruptcies and lawsuits by any principal, owning 20% or more of the business.
23. The names of all affiliates and/or subsidiary companies, and their previous three (3) years financial statements and Interim Financial Statements if the financial statements are more than sixty (60) days old.
24. Letter from the Department of Sustainable Development (DSD) approving the proposed project with zoning and land use designations, and Plan Development Review number and comments.
25. Identification and qualifications of project development team (*i.e., attorney, engineer, architect, general contractor, etc.*).



Northwest-Progresso-Flagler Heights Community Redevelopment Agency

APPLICATION REQUEST SUPPLEMENTAL INFORMATION

CRA Incentive Programs

Please select the incentive(s) you are applying for and insert the amount of funding assistance you are seeking:

<input type="checkbox"/> COMMERCIAL FAÇADE IMPROVEMENT PROGRAM	\$ <u>\$92,735.00</u>
<input type="checkbox"/> PROPERTY AND BUSINESS IMPROVEMENT PROGRAM	\$ <u>\$212,520.00</u>
<input type="checkbox"/> STREETScape ENHANCEMENT PROGRAM	\$ <u>\$97,440.00</u>
<input type="checkbox"/> DEVELOPMENT INCENTIVE PROGRAM	\$ _____
<input type="checkbox"/> PROPERTY TAX REIMBURSEMENT PROGRAM	\$ _____

Please provide a supplement sheet responding to the following numbered questions:

1. Please describe your project.
2. What is the address, folio number and legal description of the property.
3. What is the existing and proposed use of the property? Please note that certain uses are not eligible for CRA assistance. This includes convenience stores, pawn shops, check cashing stores, tattoo parlors, massage parlors, liquor stores and other uses as may be determined by the CRA that are inconsistent with the CRA Community Redevelopment Plan. Please note that there will be restrictive covenants placed on the property for minimum of 5 years restricting use of the property to only those uses for which CRA funding was provided.
4. Are the proposed improvements to the property being made on behalf of a proposed tenant for the property. If so, please provide a copy of the lease agreement.
5. What is the zoning of the property?
6. Are you the property owner? Please provide a copy of the deed of the property. You must be the owner of the property to apply.
7. Is your project new construction or is it renovation?
8. What is the total capital investment of your project and what is your hard construction and soft cost? (While property acquisition cost is not an eligible CRA expense, it may be included in your total capital investment)
9. What is the current Broward County Assessed Value of the property?
10. Is there a mortgage on the property? Please provide OR Book and Page. Please note that CRA funding is in the form of a 0% interest forgivable loan, forgiven after 5 year of project completion secured by a first

mortgage or subordinate mortgage on the property. Projects receiving over \$225,000 in CRA assistance will be secured by a forgivable loan forgiven after 7 years to 10 years depending on the level of CRA funding. Other forms of security in lieu of a forgivable mortgage will be considered on a case by case basis.

11. Are there any other liens or pending liens on the property? Please provide OR Book and Page.
12. Are there any code violations on the property? Identify.
13. Is the property listed "For Sale." Please note that properties listed for sale may not apply for CRA program funding.
14. How many new permanent jobs will be created by the project? Please describe the jobs to be created and projected salaries.
15. What is the estimated construction commencement date of the project? Please note that no work is to commence on the project unless a Program Agreement is approved and fully executed between the CRA and the property owner and that work must commence within 90 days of CRA funding approval.
16. What is the estimated completion date of the project? Please note that all approved projects must be completed within a maximum of three (3) years.
17. Please provide proof of your matching funds (i.e. bank statement, line of credit, etc.) and identify other proposed forms of financing for your project.
18. Do you have general liability and fire and casualty insurance on the property? You will be required to demonstrate proof of insurance and may include bonding requirements as required by the City/CRA prior to commencement of work. The cost of insurance may be included as part of your total project cost funded by the program.
19. Have you previously received funding from the CRA? Explain.

If you are applying for funding from the Commercial Façade Improvement Program, Property & Business Improvement Program and/or Streetscape Enhancement Program, please also complete the following:

20. Do you have a detailed scope of work? If so, please include for CRA review and approval.
21. Do you have completed architectural drawings for the scope of work to be performed? Please include along with architectural illustration(s) of the proposed work, material specifications, color selections, etc. Please note that architectural cost may be included as part of your total project cost.
22. Have your project plans been submitted for City Development Review and/or permitting and if so what are the status of the plans and the plan review number? All work must be permitted and approved by the Building Official.
23. Do you have detailed, written contractor cost estimates? If so, please provide.
24. Have you selected a contractor from the attached City/CRA Approved Contractor List? Please note if your contractor is not on the City/CRA approved list, it may be possible to have your contractor become an approved CRA Contractor. He/She will need to complete the attached Contractor Application for consideration.
25. If you are applying for the Façade Program or Property and Business investment Program, and if you are not using a City /CRA Approved Contractor, you must secure two detailed licensed and insured contractor cost estimates and CRA funding is limited to 60% of the lowest cost estimate not to exceed \$50,000 which can only be funded on a reimbursement basis, rather than a direct payment to the contractor. In addition, all

projects over \$50,000 may be assigned a CRA Construction Review Specialist who will determine the scope of work to be funded and will secure contractor pricing for the project, manage funding request and provide general project oversight.

26. For Streetscape Enhancement Program projects, see additional requirements for projects in excess of \$300,000 as required by Florida Statute 255.20.

I Jay Adams attest that the information is correct to the best of my knowledge. I further understand that the CRA program benefits are contingent upon funding availability and CRA approval and are not to be construed as an entitlement or right of a property owner/applicant. I further understand that I am responsible for providing all documentation required by The CRA.



Signature of

Property Owner or Business Owner

Jay Adams
Print Name

825-833 Progresso Drive - Property Info

Search By Parcel Id Search By Name Search By Address Help About Marty Klar Broward County Property Appraiser Florida

Status: Zoom In

Parcel Information

Parcel Id: 494234062470

Owner: 825 PROGRESSO DR LLC % JAY ADAMS

Site Address: 825 PROGRESSO DR FORT LAUDERDALE FL 33304

Legal: PROGRESSO 2-18 D THAT PT OF TRIANGULAR PARCEL LYING S OF LOT 9 DESC'D AS, BEG AT SWLY COR OF LOT 9, E ALG S/L OF LOT 9 FOR 20, SELY TO PT ON E/L OF SAID PARCEL, SWLY 105 TO

Millage Code: 0312
 Use Code: 27
 Land Value: \$ 54,700
 Building Value: \$ 87,010
 Other Value: 0
 Total Value: \$ 141,710
 SOH Capped Value: \$ 141,710

Homestead Exempt Amt: 0
 WVD Exempt Amt: \$ 0
 Other Exempt Amt: \$ 0
 Taxable Value: \$ 141,710
 Sale Date 1: 05/07/2004
 Sale Price 1: \$ 178,000
 Deed Type 1: WD

Layer List

- Highways
- Major Roads
- Two-Reg-Sec
- City Limits
- Zip Codes
- CRA Boundaries
- FEMA Flood Zones
- Opportunity Zones
- Census Tracts
- City Zoning Codes
- County Land Use
- Comm Appraisal Districts
- Resid Appraisal Districts
- Subdiv. Number
- Subdiv. Name
- House Number
- Street
- Parcels

Aerials 2022
 No Sales
 Select Description

Important Disclaimer

Search By Parcel Id Search By Name Search By Address Help About Marty Klar Broward County Property Appraiser Florida

Status: Identify

Parcel Information

Parcel Id: 494234062340

Owner: 825 PROGRESSO DRIVE LLC % JAY ADAMS

Site Address: 833 PROGRESSO DR FORT LAUDERDALE FL 33304

Legal: PROGRESSO 2-18 D LOT 9 BLK 256 TOGETHER WITH ALL THAT PT OF BLK 256 LYING S OF LOT 9 & E OF ALLEYLESS PT DESC IN OR 2485/827

Millage Code: 0312
 Use Code: 27
 Land Value: \$ 80,200
 Building Value: \$ 108,500
 Other Value: 0
 Total Value: \$ 168,700
 SOH Capped Value: \$ 168,700

Homestead Exempt Amt: 0
 WVD Exempt Amt: \$ 0
 Other Exempt Amt: \$ 0
 Taxable Value: \$ 168,700
 Sale Date 1: 09/01/2016
 Sale Price 1: \$ 150,000
 Deed Type 1: WD
 Sale Date 2: 08/08/2014

Layer List

- Highways
- Major Roads
- Two-Reg-Sec
- City Limits
- Zip Codes
- CRA Boundaries
- FEMA Flood Zones
- Opportunity Zones
- Census Tracts
- City Zoning Codes
- County Land Use
- Comm Appraisal Districts
- Resid Appraisal Districts
- Subdiv. Number
- Subdiv. Name
- House Number
- Street
- Parcels

Aerials 2022
 No Sales
 Select Description

Important Disclaimer



MARTY KIAR
BROWARD
 COUNTY
 PROPERTY APPRAISER

Site Address	833 PROGRESSO DRIVE, FORT LAUDERDALE FL 33304	ID #	4942 34 06 2340
Property Owner	825 PROGRESSO DRIVE LLC % JAY ADAMS	Millage	0312
Mailing Address	919 SE 6 CT FORT LAUDERDALE FL 33301	Use	27-03
Abbr Legal Description	PROGRESSO 2-18 D LOT 9 BLK 256 TOGETHER WITH ALL THAT PT OF BLK 256 LYING S OF LOT 9 & E OF ALLEY, LESS PT DESC IN OR 2485/827		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2022 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2022*	\$60,200	\$108,500	\$168,700	\$168,700	
2021	\$60,200	\$108,500	\$168,700	\$168,700	\$3,919.06
2020	\$60,200	\$108,400	\$168,600	\$168,600	\$3,900.71

2022* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$168,700	\$168,700	\$168,700	\$168,700
Portability	0	0	0	0
Assessed/SOH	\$168,700	\$168,700	\$168,700	\$168,700
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$168,700	\$168,700	\$168,700	\$168,700

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
9/1/2016	WD-D	\$150,000	113911800	\$11.00	5,473	SF
8/8/2014	WD-D	\$50,000	112517865			
5/9/2003	SWD	\$120,000	35130 / 87			
5/25/2000	WD	\$79,400	30556 / 1521			
8/14/1997	QCD	\$50,000	26931 / 399			
				Adj. Bldg. S.F. (Card, Sketch)		417
				Eff./Act. Year Built: 1986/1985		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
C								
417						5473		



MARTY KIARD
BR  **WARD**
 COUNTY
 PROPERTY APPRAISER

Site Address	825 PROGRESSO DRIVE, FORT LAUDERDALE FL 33304	ID #	4942 34 06 2470
Property Owner	825 PROGRESSO DR LLC % JAY ADAMS	Millage	0312
Mailing Address	919 SE 6 CT FORT LAUDERDALE FL 33301	Use	27-03
Abbr Legal Description	PROGRESSO 2-18 D THAT PT OF TRIANGULAR PARCEL LYING S OF LOT 9 DESC'D AS,BEG AT SWLY COR OF LOT 9,E ALG S/L OF LOT 9 FOR 20,SELY TO PT ON E/L OF SAID PARCEL,SWLY 105 TO PT OF INTERSEC OF E/L OF ALLEY WITH NLY/L OF PROGRESSO DR,NLY TO POB BLK 256		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2022 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2022*	\$54,700	\$87,010	\$141,710	\$141,710	
2021	\$54,700	\$87,010	\$141,710	\$141,710	\$3,417.70
2020	\$54,700	\$84,690	\$139,390	\$139,390	\$3,361.03

2022* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$141,710	\$141,710	\$141,710	\$141,710
Portability	0	0	0	0
Assessed/SOH	\$141,710	\$141,710	\$141,710	\$141,710
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$141,710	\$141,710	\$141,710	\$141,710

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
5/7/2004	WD	\$178,000	37530 / 512	\$11.00	4,973	SF
12/30/1999	WD	\$65,000	30150 / 883			
7/19/1999	DRR	\$100	29971 / 1423			
7/19/1999	CET	\$91,400	29705 / 654			
10/1/1990	QCD	\$100	17951 / 543			
					Adj. Bldg. S.F. (Card, Sketch) 789	
					Eff./Act. Year Built: 1963/1946	

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
C								
789						4973		

1 -
WICRI-county FOR.
RECORD & RETURN TO

This instrument was prepared by:

Mark Allsworth, Esq.
Doumar, Allsworth, Laystrom
Voigt, Wachs & Adair, LLP
1177 S.E. Third Avenue
Fort Lauderdale, FL 33316-1197

Parcel ID Number: 4942-34-06-2340

WARRANTY DEED

THIS INDENTURE, Made on September 1, 2016 A.D., **Between** Alan Graff, a single man, of the County of Broward, State of Florida, **Grantor**, and 825 PROGRESSO DRIVE, LLC, a Florida limited liability company, whose address is: 200 E. Las Olas Blvd., #1620, Ft. Lauderdale, FL 33301 of the County Broward, State of Florida, **Grantee**.

WITNESSETH that the Grantor, for and in consideration of the sum of TEN & NO/100 (\$10.00) Dollars, and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee and Grantee's heirs and assigns forever, the following described land, situate, lying and being in the County of Broward State of Florida, to wit:

SEE LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A"

SUBJECT TO:

- (1) Comprehensive land use plans, zoning and other restrictions, prohibitions and requirements imposed by governmental authority;
- (2) Restrictions and matters appearing on the Plat or otherwise common to the subdivision;
- (3) Outstanding oil, gas and mineral rights of record, if any, without right of entry;
- (4) Unplatted public utility easements of record; and
- (5) Taxes for the 2016 tax year and subsequent years.

and the Grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither the Grantor nor any member of the household of the Grantor reside thereon. Grantor's address is listed below the signature on this document.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

Diane J. Carmody
Printed Name: Diane J. Carmody
Witness

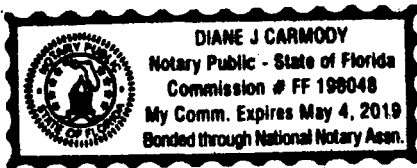
Alan Graff
ALAN GRAFF
3100 N. Ocean Blvd., #2301
Ft. Lauderdale, FL 33308

Anna Maria McCarthy
Printed Name: ANNA MARIA McCarthy
Witness

STATE OF FLORIDA)
 SS
COUNTY OF BROWARD)

The foregoing instrument was sworn to, subscribed and acknowledged before me on September 1, 2016 by Alan Graff.

NOTARY PUBLIC:



Diane J. Carmody
Print: Diane J. Carmody
State of Florida at Large (Seal)
My Commission Expires:

Personally Known or _____ Identification Produced
Type of identification produced: _____.

EXHIBIT "A"
LEGAL DESCRIPTION

Parcel A

Lot 9, Block 256, of the Townsite of Progresso, according to the Plat thereof, recorded in Plat Book 2, Page 18, of the Public Records of Dade County, Florida, said land situate, lying and being in Broward County, Florida.

Parcel B

All of that part Block Two Hundred and Fifty-six (256) lying South of Lot Nine (9) and East of alley, Townsite of PROGRESSO, according to the Plat thereof, recorded in Plat Book 2, Page 18 of the Public Records of DADE County, Florida, except the following:

That portion of the easterly irregularly shaped parcel land in Block 256, of the Townsite of Progresso, according to the Plat thereof, recorded in Plat Book, 2, Page 18, of the Public Records of Dade County, Florida, described as follows, to wit: Beginning at the southwest corner of Lot 9 of Block 256 of said Progresso and thence run in an easterly direction along southerly boundary line of said Lot 9, of Block 256 of Progresso, for a distance of 20 feet, thence run in a southeasterly direction, traversing said irregularly shaped parcel of land lying along the County rock road at a point 105 feet from the point of the intersection of the County rock road that certain alley lying west of said irregularly shaped parcel of land running from the County road to Avenue "D", as shown on said plat of Progresso; thence run in a southwesterly direction along the boundary a distance of 105 feet along the County road to the intersection of said County road and the aforementioned alley; thence in a northerly direction along the westerly boundary line of said irregularly shaped parcel of land to the southwest corner of said Lot 9 of Block 256, of Progresso, being the place of beginning, and lands situate, lying and being in Broward County, Florida.

825 PROGRESSO DRIVE, LLC

Supplemental Questions Part A

1. **A business plan which describes the company mission, market analysis, applicant capacity, economic analysis and project feasibility, a brief history and description of the company (including the founding of the company), overview of operations, product information, customer base, method and areas of distribution, primary competitors and suppliers within the County.**

Yes. See attached.

2. **A list of general and limited partners, officers, directors and shareholders of the company. Please provide a resume for all the principals and key management.**

Yes. See attached for Jay Adams Resume.

3. **Corporate income tax returns for the last three years (personal returns may also be requested).**

See attached for tax returns from 2018, 2019, and 2020. The 2021 Return is not filed as it is currently in an extension to be filed status.

4. **Two separate lists that detail the existing jobs on your payroll and the new jobs to be created (within the list please provide the job title of each position, a brief description of each position, annual salary for existing and new positions and the industry average salary for those positions).**

This is a site renovation work project.

5. ~~If machinery and equipment are being purchased with CRA funds, provide a list of all the items to be purchased, with quotes on vendor's letterhead. Include a statement from the manufacturer, attesting to the economic life of the equipment.~~

6. ~~If the business is a franchise, include a copy of the franchise agreement;~~

7. ~~Bank Commitment Letter detailing the conditions of the loan approval.~~

8. ~~Copy of IRS determination letter as a non-profit organization (required for all non-profit organizations only).~~

9. ~~Signed copy of resolution or minutes from the meeting of the governing body authorizing submission of the application (required for all non-profit organizations only).~~

10. **Articles of Incorporation or Division of Corporations information identifying authorized signatories.**

Yes. See attached.

11. **Copy of the Property Deed (if the applicant is the owner).**

Yes. See attached.

12. ~~Copy of By-Laws (required for all non-profit organizations only).~~

13. **Please sign and submit Statement of Personal History and Credit Check Release (as attached).**

See Application.

14. If the project involves construction, please provide a minimum of two (2) detailed cost estimates prepared by Architect/Engineer and/or General Contractor, preliminary plans and specifications, Architectural Illustration and photos of existing conditions.

Yes. See attached.

15. Attach a street map showing the location of the proposed project, Property Folio number and Legal Description.

Yes. See attached.

16. Preliminary Project Schedule

May 2023	2023 →	2023
<ul style="list-style-type: none"> • CRA Administrative Approval • Permitting Approval & Issuance 	<ul style="list-style-type: none"> • General Construction <ul style="list-style-type: none"> ○ Alterations ○ Certificate of Occupancy 	<ul style="list-style-type: none"> • Tenant Operations

Supplemental Questions Part B

1. Please describe your project

The Progresso Park project will enhance an existing used car lot that has been vacant for several years. Use is to be a day time family park for outdoor yoga, training, dog sitting, coffee cafe, light foods and drinks. Night time activities to be open air bar and entertainment. This application is for is site renovation work.

2. What is the address, folio number and legal description of the property.

- Property address
 - 825-833 Progresso Dr, Fort Lauderdale, FL 33304
- Folio Number:
 - 494234062470
 - 494234062340
- Legal Description:
 - PROGRESSO 2-18 D LOT 9 BLK 256 TOGETHER WITH ALL THAT PT OF BLK 256 LYING S OF LOT 9 & E OF ALLEY,LESS PT DESC IN OR 2485/827
 - PROGRESSO 2-18 D THAT PT OF TRIANGULAR PARCEL LYING S OF LOT 9 DESC'D AS,BEG AT SWLY COR OF LOT 9,E ALG S/L OF LOT 9 FOR 20,SELY TO PT ON E/L OF SAID PARCEL,SWLY 105 TO PT OF INTERSEC OF E/L OF ALLEY WITH NLY/L OF PROGRESSO DR,NLY TO POB BLK 256

3. What is the existing and proposed use of the property? Please note that certain uses are not eligible for CRA assistance. This includes convenience stores, pawn shops, check cashing stores, tattoo parlors, massage parlors, liquor stores and other uses as may be determined by the CRA that are inconsistent with the CRA Community Redevelopment Plan. Please note that there will be restrictive covenants placed on the property for minimum of 5 years restricting use of the property to only those uses for which CRA funding was provided.

Existing Use: Vacant Used Car Sales Lot & Warehouse

Proposed Use: Bar / Restaurant and Outdoor Park

~~4. Are the proposed improvements to the property being made on behalf of a proposed tenant for the property. If so, please provide a copy of the lease agreement.~~

5. What is the zoning of the property?

Northwest Regional Activity Center - Mixed Use Northeast (NWRAC-MUne)

6. Are you the property owner? Please provide a copy of the deed of the property. You must be the owner of the property to apply.

Yes. See attached.

7. Is your project new construction or is it a renovation?

This is site renovation work.

8. What is the total capital investment of your project and what is your hard construction and soft cost? (While property acquisition cost is not an eligible CRA expense, it may be included in your total capital investment)

Total Capital Investment:

9. What is the current Broward County Assessed Value of the property?

Current Broward County Assessed/SOH Value: \$310,410

~~10. Is there a mortgage on the property? Please provide OR Book and Page. Please note that CRA funding is in the form of a 0% interest forgivable loan, forgiven after 5 year of project completion secured by a first mortgage or subordinate mortgage on the property. Projects receiving over \$225,000 in CRA assistance will be secured by a forgivable loan forgiven after 7 years to 10 years depending on the level of CRA funding. Other forms of security in lieu of a forgivable mortgage will be considered on a case by case basis.~~

11. Are there any other liens or pending liens on the property? Please provide OR Book and Page.

No.

12. Are there any code violations on the property? Identify.

No.

13. Is the property listed "For Sale." Please note that properties listed for sale may not apply for CRA program funding.

No.

14. How many new permanent jobs will be created by the project? Please describe the jobs to be created and projected salaries.

This is a site renovation work project.

15. What is the estimated construction commencement date of the project? Please note that no work is to commence on the project unless a Program Agreement is approved and fully executed between the CRA and the property owner and that work must commence within 90 days of CRA funding approval.

Estimated construction commencement date: May 1, 2023

16. What is the estimated completion date of the project? Please note that all approved projects must be completed within a maximum of three (3) years.

Estimated construction completion date: Oct 1, 2023

17. Please provide proof of your matching funds (i.e. bank statement, line of credit, etc.) and identify other proposed forms of financing for your project.

See attached.

18. Do you have general liability and fire and casualty insurance on the property? You will be required to demonstrate proof of insurance and may include bonding requirements as required by the City/CRA prior to commencement of work. The cost of insurance may be included as part of your total project cost funded by the program.

Yes.

19. Have you previously received funding from the CRA? Explain.

Not for this property. In the past, Urban North, LLC; in which Jay Adams is the principal of, has received funding for a separate property project located at 901 Progresso Drive (Folio 494234062280).

20. Do you have a detailed scope of work? If so, please include for CRA review and approval.

See attached contractor bids and plans.

If you are applying for funding from the Commercial Façade Improvement Program, Property & Business Improvement Program and/or Streetscape Enhancement Program, please also complete the following:

21. Do you have completed architectural drawings for the scope of work to be performed? Please include along with architectural illustration(s) of the proposed work, material specifications, color selections, etc. Please note that architectural cost may be included as part of your total project cost.

Yes. See attached for our Fort Lauderdale Urban Design & Planning approved plans. If full Construction Documents are needed, please contact us for them.

22. Have your project plans been submitted for City Development Review and/or permitting and if so what are the status of the plans and the plan review number? All work must be permitted and approved by the Building Official.

Yes, this was approved via Fort Lauderdale Urban Design & Planning Case PLN-AR-19120011

23. Do you have detailed, written contractor cost estimates? If so, please provide.

Yes. See attached.

24. Have you selected a contractor from the attached City/CRA Approved Contractor List? Please note if your contractor is not on the City/CRA approved list, it may be possible to have your contractor become an approved CRA Contractor. He/She will need to complete the attached Contractor Application for consideration.

We are working with a contractor that is not currently on the CRA approved list, however they are fine with applying to be added on the list.

25. If you are applying for the Facade Program or Property and Business investment Program, and if you are not using a City /CRA Approved Contractor, you must secure two detailed licensed and insured contractor cost estimates and CRA funding is limited to 60% of the lowest cost estimate not to exceed \$50,000 which can only be funded on a reimbursement basis, rather than a direct payment to the contractor. In addition, all projects over \$50,000 may be assigned a CRA Construction Review Specialist who will determine the scope of work to be funded and will secure contractor pricing for the project, manage funding request and provide general project oversight.

~~**26. For Streetscape Enhancement Program projects, see additional requirements for projects in excess of \$300,000 as required by Florida Statute 255.20.**~~

~~**27. Provide owner affidavit if a tenant is applying for funding.**~~

Progresso Park--- located at 825 Progresso Drive, Fort Lauderdale

Currently and for many years this property at 825-833 Progresso Drive has been an eye-sore, defunct, used car lot and auto repair shop- located west of the FEC Train tracks at NE 3rd Ave/8th Street, and Progresso Drive. It is not a pretty site currently with virtually no landscaping, steel fencing, asphalt slab, and constant graffiti. It will take large investment to accommodate the city code requirements- with water retention, sidewalks, landscaping, utilities, elevations, drainage, upgraded electric, new plumbing, hurricane code, etc. The financial help from CRA will probably make this happen. - Our vision is small in scale but should have big impact on this Progresso area west of the tracks, to help kick off a segment that has always struggled, primarily due to no critical mass of people- high crime-and homeless issues.

Physically the property is a total land size of approximately 10,000 sq ft- triangular with 200 feet of frontage on Progresso drive and limited set backs- so super efficient. See the attached plans that are in for third round of administrative approvals- We are planning to have 11 containers or similar preconstructed buildings; of 160 sq ft each plus an existing 737 sf building- for a total building area of 2,497 sq ft. We are planning on a dog park, a yoga/entertainment stage, outdoor seating, canopies, pavers, decking, and well landscaped.

Progresso Park Ftl, LLC is the master tenant and will lease to small individual businesses that bring a mix of entertainment, retail, produce, etc that we hope to attract the new younger age mix of residents and also provide an affordable price point for both leasing of space and our cost of common area services.

The owner of the property and majority owner of Progresso Park- is Jay Adams, who purchased these lots 14 years ago. Jay Adams also owns the building next door, a 1925 historic landmark that he has renovated over the past 15 years. Progresso Plaza is one of the best and largest historic renovations in Fort Lauderdale and Mr Adams owns two other historic buildings on South Andrews that were completely renovated 20 years ago. Mr Adams is a commercial leasing advisor for NKF, and has been a corporate real estate broker/advisor for 30 years. Mr Adams expertise in leasing and having kept both his own smaller buildings (7 buildings) around downtown at near 100% for past 25 years and his achievements with working for institutional clients, provides a unique proven track record.

Jobs at Progresso Park are going to be mostly on a local level and expected to draw retail business owners to lease small bays, and outdoor services. The customer draw will be mostly patrons from the immediate Flagler/Progresso/Sunrise Blvd areas. This is a small site and small amount of space but should have a big positive impact with lifestyle and entertainment. We expect 5- 12 businesses to lease here and maybe even with a shared concept. If the trend is more towards entertainment after Covid then the employment could be relatively large- and if no entertainment then we expect to be less- but again unique and affordable for local businesses. Each container is only around \$700-900 to lease.

Progresso Park- 825 Progresso Drive- CRA Application

1. Business Plan: See attached separately more detailed business plan---- Progresso Park will provide an open space park like atmosphere with family and pets during day and entertainment at night. The location is ideal for creative users and businesses to provide services that are in demand for this warehouse and used car area of town. Daytime uses would be outdoor Yoga, work-out sessions, arts and crafts, vegan days, dog park, future small retailers. within corrugated or container buildings. Evening is planned to enhance the existing area with Bar 27 next door, Laser Wolf, American Icon, and Patio Pizza. This location and area needs a boost and more synergy for the businesses to survive- which this use should provide. Jay Adams the owner of the next door property- Progresso Plaza has kept the 12,000 sq ft Plaza at 93-100% leased for past 15 years while renovating. Now is the time to improve 825 Progresso Drive as the area is finally in need of this type use and the demand will be strong for the right mix of successful tenants.
2. Jay Adams is the sole owner. Jay over 30 years of successful leasing within Broward county - with corporate clients and his own portfolio of office and retail in downtown. Just in the past two years- he has completed several of the largest leases in the county with 71,000 square foot-10 year lease to Jazwares in Plantation, 180,000 Sq ft office purchase to Chetu Software, 45,000 sq ft single tenant building to ATF, Aetna 10 year lease for 85,000 sq ft, HCA 26,000 sq ft, Kemet 55,000 sq ft. Jay's renovation and developments for his personal account are considered some of the best Historic restorations with attention to historic details and duplication of the 1920's. All investments have thrived under Jay's leasing and renovations for past 25 years.
3. Tax Returns See attached.
4. Jobs- See attached
5. No equipment at this time.
6. Not a franchise
7. No loan required- Jay has cash out from refinancing Progresso Plaza that is to be utilized here per his CRA agreement.
8. For Profit
9. Not required -
10. Corporate Resolution and LLC documentation attached
11. Deed attached
12. Not required
13. Included and sign credit checks
14. No construction at this time except for site work. Property has site plan approvals, and in for permit for all site work. See attached plans.
15. See street map attached
16. See schedule
- 17.

Business Plan:

Progresso Park Mission

Property was purchased back in 2004 and was a used car dealership for many years. The property we are designing is an open air, outdoor venues for families and higher end weekend/night social interaction. Our mission is to make a destination location for families and those that live in the area of Progresso and Flagler. It will take a substantial investment accommodating the city code requirements - with new water retention , 7.5 ' sidewalks, mature sidewalk trees, street lights, landscaping, utilities etc The CRA assistance will make this happen - Our vision is small in scale but should have big impact on the Progresso area to help kick off what has always struggled, due to not enough critical mass of people and just outside of the downtown growth.

Market Analysis

- Entertainment area outside of the massive growth
- Many of the smaller establishments in Mass/Flagler/Fat Village are recently torn down
- Synergy with the existing WineWatch/Laser Wolf Beer/Patio Bar and Pizza/Aida Mexican/Bar 27
- Rental rate and demand is good for new small development but the construction costs are too high without CRA assistance
- This particular location has great access and visibility
- Planning to have the Art Walk, Car Shows, Food Fairs at this location and will close a few less traveled streets

Progresso Park is designed as a family friendly day time and early evening destination. We plan to have an inviting outdoor experience with many venues such as exercise classes, pottery, art, cars shows, events, weddings, graduations, birthday parties, business functions, family oriented activities. At night we expect to have professional early crowd and then later on weekends select live music and entertainment on a small/medium scale.

Applicant Credibility

Jay Adams is 825 Progresso Drive, LLC with Jay Adams as the sole owner. Jay has a 20 year track record in downtown having owned 8 buildings- all successful and averaging 98% leased. Jay has also renovated and leased three historic buildings which are known as some of the best historic renovations- located at 901 Progresso Drive/1425 South Andrews/Eleven SW 15th Street. Jay works as corporate leasing specialist throughout Broward and has built and leased to many of our county's largest office users while at CBRE and NMRK – including:

Aetna/Citrix/Microsoft/NBHD/Comcast/Medtronics/Kemet/Pernod
Ricard/WellsFargo/YumBrands/ATT/Kaplan/Crawford/Motorola/Jazzwares/Chetu -etc.

The operator is a team of professionals that have been in the hospitality business for many years, with a great track record of managing and promoting successful establishments in downtown. Our estimated

revenues and expenses are attached. The property owner Progresso Drive, LLC/Jay Adams is the CRA borrower.

Property Description:

Total land area is 10,000 sq ft and new venue consist of approximately 2,490 square feet of open area and the indoor a total of around 2,497 sf.

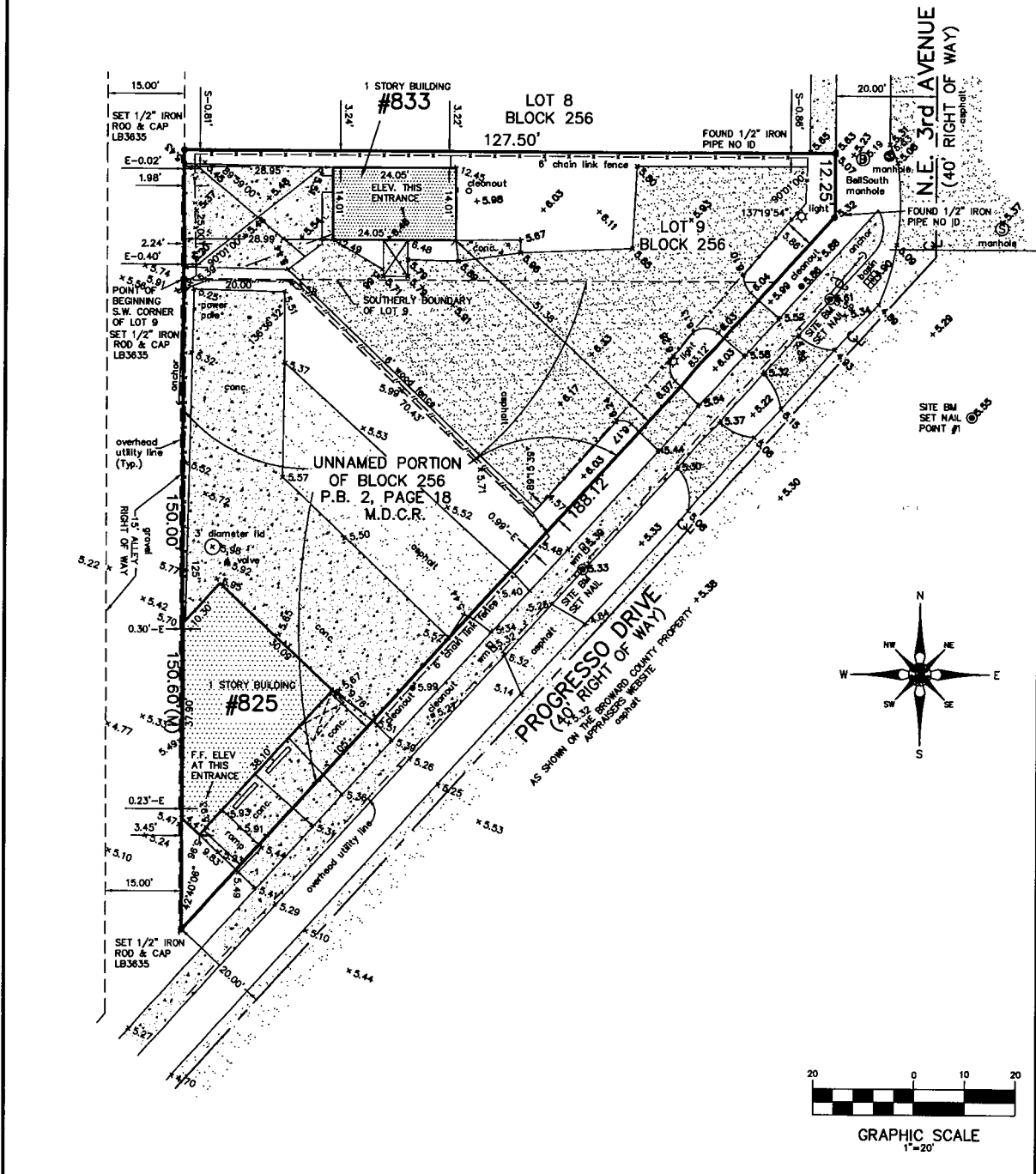
Progresso Park Ftl, LLC is the operator/tenant and will manage a lease the property. We are expecting the Net Rent to be below market for the first year and then stabilize around 80% of market. We want rent below market so as to help with training/start-up, encourage savings passed through to patrons, and to provide higher-end functions, marketing etc.

ECONOMIC ANALYSIS AND FEASIBILITY

Economic breakdown for property owner with and without participation in business profits:

Land Costs	\$328,000
Mortgage Interest Costs	0
Total Costs to improve	\$650,000-850,000
CRA Loan	\$402,695
Annual Net Rental Income	\$99,740 (4,987 sf @ \$20 NNN)
Property Operating Expenses	Paid by tenant in addition to NNN rent (estimated to be around \$42,000 annual -RE taxes, insurance, maintenance, utilities)
Property value- Net Rent at 8% cap	\$1,246,750

Progresso Park Rental Schedule 825 Progresso Drive	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10
Rentable Square Feet	4,987	4,987	4,987	4,987	4,987	4,987	4,987	4,987	4,987	4,987
Per Sq Ft NNN	\$20	\$24	28	30	32	34	36	38	40	42
Annual Net Rent	99,740	119,688	139,636	149,610	159,584	169,558	179,532	189,506	199,480	209,454
Operating Expenses										
Op Exp per Sq Ft NNN	6	\$8.07	8.9	9.4	10.06	10.51	10.85	11.21	11.5	11.67
Op Exp per year	29,324	40,245	44,384	46,878	50,169	52,413	54,109	55,904	57,351	58,198
Gross Rent per Sq Ft Annual	\$26	\$32	\$37	\$39	\$42	\$45	\$47	\$49	\$52	\$54
Total Gross Rent Annual	129,064	159,933	184,020	196,488	209,753	221,971	233,641	245,410	256,831	267,652
Annual NOI after Oper Expenses										
Breakdown of Operating Expenses										
Annual Real Estate Taxes	9500	18000	20000	21000	22000	23000	23200	24000	24200	24300
Per Rentable Sq Foot Annual	1.904953	3.609384	4.010427	4.210948	4.41147	4.611991	4.652095	4.812513	4.852617	4.872669
Property Insurance	5200	6000	7000	8000	9000	10000	11000	11500	12000	12500
	1.042711	1.203128	1.403649	1.604171	1.804692	2.005214	2.205735	2.305996	2.406256	2.506517
Water Sewer	5000	6000	6500	6700	7000	7200	7500	7700	7900	8100
	1.002607	1.203128	1.303389	1.343493	1.403649	1.443754	1.50391	1.544014	1.584119	1.624223
Electric	3100	3300	3500	3600	4000	4100	4200	4300	4400	4500
	0.621616	0.66172	0.701825	0.721877	0.802085	0.822138	0.84219	0.862242	0.882294	0.902346
Common Area Maintenance	2300	2500	2900	3000	3200	3300	3400	3500	3600	3700
	0.461199	0.501303	0.581512	0.601564	0.641668	0.66172	0.681773	0.701825	0.721877	0.741929
Management/Acct/Legal/misc	4200	4400	4500	4600	4700	4800	4800	4900	5000	5100
	0.84219	0.882294	0.902346	0.922398	0.94245	0.962503	0.962503	0.982555	1.002607	1.022659
Total Annual Op Exp per sq ft	5.875276	8.060958	8.903148	9.404452	10.00602	10.50732	10.84821	11.20914	11.44977	11.67034
Net Operating Income after Op Exp to owner	99,740	119,688	139,636	149,610	159,584	169,558	179,532	189,506	199,480	209,454



NOTES:
 1. UNLESS OTHERWISE NOTED FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
 2. ANGLES SHOWN HEREON ARE PER FIELD OCCUPATION.
 3. THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS, OR OTHER MATTERS OF RECORDS BY ACCURATE LAND SURVEYORS, INC.
 4. OWNERSHIP OF FENCES AND WALLS IF ANY NOT DETERMINED.
 5. THIS DRAWING IS THE PROPERTY OF ACCURATE LAND SURVEYORS, INC. AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
 6. THIS SURVEY CONSISTS OF A MAP AND TEXT REPORT. ONE IS NOT VALID WITHOUT THE OTHER.
 7. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE CERTIFIED HEREON, TO BE VALID ONE YEAR FROM THE LAST DATE OF SURVEY AS SHOWN.
 8. THE FLOOD ZONE INFORMATION SHOWN HEREON IS FOR THE DWELLABLE STRUCTURE ONLY UNLESS OTHERWISE INDICATED.
 9. THE LOCATION OF OVERHEAD UTILITY LINES ARE APPROXIMATE IN NATURE DUE TO THEIR PROXIMITY ABOVE GROUND. SIZE, TYPE & QUANTITY MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
 10. THIS SURVEY MEETS OR EXCEEDS SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET.

CERTIFICATION:
 THIS IS TO CERTIFY THAT THIS ABOVE GROUND SKETCH OF BOUNDARY SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SKETCH MEETS THE CURRENT STANDARDS OF PRACTICE, ESTABLISHED BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Digitally signed by Robert L Thompson
 Date: 2022.05.02 12:47:12 -04'00'
ROBERT L THOMPSON (PRESIDENT)
 PROFESSIONAL SURVEYOR AND MAPPER No.3889 - STATE OF FLORIDA



REVISIONS & SURVEY UPDATES		DATE OF SURVEY & REVISIONS		BY

DATE OF SURVEY	DRAWN BY	CHECKED BY	FIELD BOOK
03-10-2020	AL	RLT	20-0447

SCALE 1"=20'
 SKETCH NUMBER SU-20-0447

Contract Proposal

DATE 06-15-22

**Scott Coloney • CGC1525667
Rock Solid Home Builders
606 E Broward Blvd, Fort Lauderdale, FL 33301
Phone (954) 801-0123
email scoloney@gmail.com**

**SUBMITTED TO:
825 Progresso Drive, LLC // JAY ADAMS
825 Progresso Drive
Fort Lauderdale, FL**

We hereby propose to provide the necessary labor and materials needed to complete improvements to 825/833 Progresso Drive, Fort Lauderdale.

ALL WORK SHALL BE DONE IN ACCORDANCE TO PLAN PROVIDED

**Streetscape Enhancement
Progresso Park
825/833 Progresso Drive**

Item	Cost
200 Foot x 7.5 Foot Paved or Concrete Sidewalk	\$21,000.00
8 Poured in Place Concrete Planters in Sidewalk	\$11,500.00
Root Barriers/Structural Soil under Sidewalk	\$6,800.00
Lighting/Electric	\$18,500.00
Irrigation	\$5,500.00
Parking spaces, Curbing and Pavers	\$24,000.00
Landscaping	\$23,000.00
Handicap Ramps and Access	\$5,800.00
Contractor Profit and Overhead	23,220.00
TOTAL PROJECT COST	\$139,220.00

Façade Renovation
 Progresso Park
 825/833 Progresso Drive

Renovation of existing 825 Building

Item	Cost
Eleven (11) Glass Impact Doors	\$36,000.00
24 Foot Opening with Countertop (Corner Building)	\$17,000.00
Signage	\$10,000.00
Entryway and Perimeter Fencing/Gates and Structure	\$30,000.00
New Extended Roof Line	\$24,000.00
New Stucco /Paint	\$4,500.00
Lighting	\$4,200.00
Security Cameras	\$3,100.00
Contractor Profit and Overhead	25,760.00
TOTAL PROJECT COST	\$154,560.00

PBIP Improvements
 Progresso Park
 825/833 Progresso Drive

Outdoor Common Areas and Container Buildings:

Item	Cost
Landscape and Fence	\$9,100.00
Water Feature	\$2,500.00
Planters	\$18,000.00
Irrigation	\$11,000.00
Lighting	\$18,000.00
Electric	\$34,000.00
Plumbing	\$39,000.00
HVAC	\$6,000.00
5 Shipping Containers & 1 Bathroom Unit	\$61,000.00
Concrete Container Pads	\$14,000.00
Paving and Decking	\$28,900.00
Permanent Outdoor Furniture	\$23,000.00
Permanent Outdoor Fans	\$18,500.00
Shade Canopies	\$24,000.00
Water Retention Per Code	\$15,000.00
Subtotal of Construction Costs	\$322,000.00
Contractor Profit and Overhead	\$32,200.00
TOTAL PROJECT COST	\$354,200.00



Giant Containers
 2400 NW 7th Ave
 Miami
 FL
 USA, 33127

QUOTE
 Progresso Park v5 - GC-3828
 Valid Until: 30/11/2022
 Quote Number : 2387856000072020119
 Account: **Progresso Park**
 Contact: **Bobby Velez**

BILL TO:

-
 Fort Lauderdale
 FL
 -

SHIP TO:

Fort Lauderdale

S.No.	Product Details	Quantity	List Price	Tax	Total
1.	40' New - HC Container 40HC-NEW-SCD 40' HC Beverage Service: Budgeted Specs: - (40' HC 1 Trip) Repurposed container complete w/ structural, openings, plates , opening frames w/ HSS, and reinforcements as per provided drawings. 2x food service compartments. - Custom exterior & interior prime & paint - MEP openings & framing - Sub flooring (marine grade ply or fiber cement board) - Handling - Partition - Aluminum frame service window (2) - HM steel door w/ premium hardware (2) - Interior steel strapping for mounts & electrical - Finish flooring (Line-X) - Electrical - Structural Engineered stamp (one location only) - PM/Admin: 10 hours @ \$80/hr - Arch / Eng @ 30 hours allocated. One-time cost for same design. (split between qty x2) *If 30 hours exceeded, client can authorize further design work @ \$100/hr. - Giant project management - Project admin - Consumables - General labor - 3rd Party QA & Inspections - Delivery via chassis to Fort Lauderdale, FL.	2	\$ 48,550.00	\$ 0.00	\$ 97,100.00
2.	40' New - HC Container 40HC-NEW-SCD "White box" Food Service: 40' HC Concession:	1	\$ 107,500.00	\$ 0.00	\$ 107,500.00

S.No.	Product Details	Quantity	List Price	Tax	Total
	Budgeted Specs: - (40' HC 1 Trip) Repurposed container complete w/ structural, openings, plates , opening frames w/ HSS, and reinforcements as per provided drawings. 2x food service compartments. - Custom exterior & interior prime & paint - MEP openings & framing - Sub flooring (marine grade ply or fiber cement board) - Handling - Partition - Aluminum frame service window (2) - HM steel door w/ premium hardware (2) - Interior steel stud framing (light gauge steel) - Interior spray foam insulation (2lb closed cell) - Interior fit & finish (food grade) - Finish flooring (Line-X) - Hood supply & install - Electrical - Plumbing rough-ins - Structural Engineered stamp (one location only) - PM/Admin: 10 hours @ \$80/hr - Arch / Eng @ 30 hours allocated. One-time cost for same design. (split between qty x2) *If 30 hours exceeded, client can authorize further design work @ \$100/hr. - Giant project management - Project admin - Consumables - General labor - 3rd Party QA & Inspections - Delivery via chassis to Fort Lauderdale, FL.				
3.	40' New - HC Container 40HC-NEW-SCD 40' HC (Signage only): - Custom exterior prime & paint - Handling - Via Chassis to site *assumes adequate access for truck.	1	\$ 8,800.00	\$ 0.00	\$ 8,800.00
4.	20' Used - Regular Container 20STD-USE-SCD 20' WWT Used Stage units: - Custom exterior prime & paint - Budget for brackets / structural anchors for roofing system - Handling - Via Chassis to site *assumes adequate access for truck.	4	\$ 6,500.00	\$ 0.00	\$ 26,000.00
				Sub Total	\$ 239,400.00
				Tax	\$ 0.00
				Adjustment	\$ 0.00
				Grand Total	\$ 239,400.00

Terms and Conditions

- Budgetary only.
- Quote is exclusive of sales taxes. Applicable sales taxes will be added to overall purchase price ahead of contract issuance.
- Pricing in USD.

Below supplied & installed by client:

- Fixtures (1x urinal in ADA, 7 toilet stalls)
- ADA interior (grab bars, change station)

Optional:

20' STD Used (Good condition) Operational Reefer Container - \$32,950

Machinery: Thermo King Magnum Plus

- Via Chassis to site

*assumes adequate access for truck.

*inventory must be verified prior to invoicing.

Exclusions:

- MEP Engineering
- Cabinetry & millwork
- Restaurant equipment
- Install w/ crane or forklift
- Appliances
- Architectural review & code compliance
- Local taxes, if applicable
- Exterior cladding
- Any on-site deck work, landscape, guardrail
- Site conditions
- Foundation
- Foundation anchorage
- Foundation engineering
- Furniture
- Connection to on-site services
- Street closure permit
- Site protection
- Landscaping
- Permit



ESTIMATES #	DATE	EXPIRES
PPS-001	05/25/2022	06/24/2022

Progresso Park (Phase 1)

CUSTOMER

Progresso Park
Jay Adams - Sr Managing Director

SERVICE ADDRESS

825 Progresso Drive
Fort Lauderdale, Florida 33304

General Conditions

Project Manager
25% Time Allocation
Site Supervision/Superintendent
100% Time Allocation
Aluminum Fence w/Man Gates
ALLOWANCE
Gates
ALLOWANCE
Temp Chain Link Fence (Construction)
Portalets
Dumpsters
Safety & Protection

Subtotal: \$55,400.00

Site/Civil (ALLOWANCE)

Site Demolition
ALLOWANCE
Erosion & Sediment Control
Concrete Sidewalks
Earthwork
Site Utilities
Paving & Striping
Three (3) Parking Spaces
Pavers
Sand Bedding



ESTIMATES #	DATE	EXPIRES
PPS-001	05/25/2022	06/24/2022

Site/Civil (ALLOWANCE)
Structural Soil Under Sidewalk @ 3' depth

Subtotal: \$180,000.00

Landscape & Irrigation
Landscape Irrigation ALLOWANCE Synthetic Turf ALLOWANCE

Subtotal: \$72,200.00

Concrete/Masonry
Dumpster Enclosures Slab & CMU Block Wall at Rear ONLY

Subtotal: \$5,000.00

Plumbing
Plumbing Work Future Waste Connections Future Water Connections Four (4) Hose Bibs One (1) Grease Interceptor (GB-250)

Subtotal: \$76,300.00

Electrical
Electrical Work Electrical Service to future Tenant Containers New 100A Panel "H" Future 200A Panels "B" and "R" Light Fixtures Included

Subtotal: \$89,500.00

Markup



ESTIMATES #	DATE	EXPIRES
PPS-001	05/25/2022	06/24/2022

Markup

GC Overhead & Profit

Subtotal: \$71,600.00

Subtotal \$550,000.00
 Tax: (0.000%) \$0.00
Total \$550,000.00



INCLUSIONS

1. Construction Schedule is based on one (1) mobilization.
2. Duration is based three (3) months from NTP.
3. Dumpsters are included.
4. Aluminum Fence Allowance is included. No elevations or specifications provided.
5. Site/Civil Allowance is included.
6. Irrigation Allowance is included.
7. Synthetic Turf Allowance is included.
8. **RIGHT-OF-WAY (ROW) WORK: PAVING/ SIDEWALKS/ STRUCTURAL SOIL BREAKOUT COST OF \$26,600 IS INCLUDED.**

EXCLUSIONS



ESTIMATES #	DATE	EXPIRES
PPS-001	05/25/2022	06/24/2022

1. Prevailing Wage is excluded.
2. Permit Fees are excluded. By OWNER.
3. Payment and Performance Bond is excluded. ADD 3.5% to Bid.
4. Builder's Risk is excluded.
5. Salvaging of all Owner's items is excluded.
6. Any work not list above is excluded.



ESTIMATES #	DATE	EXPIRES
PPS-001	05/25/2022	06/24/2022

TERMS & CONDITIONS

Sagoma Construction Services Inc. is pleased to present this Proposal which, unless rescinded earlier, shall remain open for up to 60 days. The scope of work described above supersedes any and all prior communication about this Proposal. By accepting this Proposal, Customer understands that changes to the scope for any reason not controlled by Sagoma Construction may result in additional charges. Invoices for work completed shall be presented at least monthly and shall be due as noted in billing terms.

APPROVAL

This Estimates has been accepted on _____ by _____

Signature: _____



List of all Jobs to be Created

Job Title	#	Brief Job Description	Annual Average Salary	Industry Average Salary	Experience/Education/Skills Required
General Manager	1	Manage entire staff & building	35,000	52,000	5-10 yrs Exp
Assistant Manager	1	Assist GM	30,000	38,000	3-5 yrs exp
Bartender	1	Serve guests	12,000+35,000 tips each	22,000+19,000	1 yr exp
Part Time Bartender	3	Serve guests	10,000+14,000 tips		
Bar Back	2	Assist bartender/servers	7,000+10,000	22,000	N/A
Part Time Bar Back	1	Assist	7,500+12,000		
Hostess/Maitre	1	Greet Accommodate guests	10,000	29,000	1 yr exp
Waiters/servers	2	Serve guests	10,000+30,000 tips	14,000+18,000	1 yr exp
Part Time Waiters	2	Serve guests	6,000+15,000 tips		
Bussers/food runners	1	clean	18,000+5,000	21,000	N/A
Dishwashers	1	Clean	24,000	22,000	N/A
Part Time Bookkeeper	1	Financials	10,000	20,000	5 yr exp
Part Time Marketing/IT	1	Marketing, Social Media	25,000	32,000	5 yr exp
Part Time DJ/Entertainment	1	Entertainment	30,000	20,000	1 yr exp

11 **CRA INCENTIVE APPLICATION**
Last updated: September 16, 2016

Maintenance part time	1	Repair + Clean	18,000	15,000	N/A
Retailers	3	Sell from small bay stores	15,000	NA	NA
Totals	10 Full Time and 10 Part Time		\$277,500 Salaries and \$204,000 Tips		

825 Progresso Drive, LLC

General and Limited Partners consists only of Jay M. Adams as sole owner and partner.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
825 PROGRESSO DRIVE, LLC

Filing Information

Document Number	L09000046649
FEI/EIN Number	56-2456581
Date Filed	05/13/2009
Effective Date	05/10/2009
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	12/01/2016

Principal Address

919 SE 6TH CT
FORT LAUDERDALE, FL 33301

Changed: 07/19/2022

Mailing Address

919 SE 6TH CT
FORT LAUDERDALE, FL 33301

Changed: 07/19/2022

Registered Agent Name & Address

ADAMS, JAY
919 SE 6TH CT
FORT LAUDERDALE, FL 33301

Name Changed: 07/19/2022

Address Changed: 07/19/2022

Authorized Person(s) Detail

Name & Address

Title MGRM

ADAMS, JAY

919 SE 6TH CT
FORT LAUDERDALE, FL 33301

Annual Reports

Report Year	Filed Date
2020	06/28/2020
2021	07/16/2021
2022	07/19/2022

Document Images

07/19/2022 -- ANNUAL REPORT	View image in PDF format
07/16/2021 -- ANNUAL REPORT	View image in PDF format
06/28/2020 -- ANNUAL REPORT	View image in PDF format
04/25/2019 -- ANNUAL REPORT	View image in PDF format
02/16/2018 -- ANNUAL REPORT	View image in PDF format
04/30/2017 -- ANNUAL REPORT	View image in PDF format
12/01/2016 -- REINSTATEMENT	View image in PDF format
04/30/2014 -- ANNUAL REPORT	View image in PDF format
04/12/2013 -- ANNUAL REPORT	View image in PDF format
04/27/2012 -- ANNUAL REPORT	View image in PDF format
04/01/2011 -- ANNUAL REPORT	View image in PDF format
03/31/2010 -- ANNUAL REPORT	View image in PDF format
05/13/2009 -- Florida Limited Liability	View image in PDF format

2020 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L09000046649

Entity Name: 825 PROGRESSO DRIVE, LLC

Current Principal Place of Business:

919 SE 6 COURT
FORT LAUDERDALE, FL 33301

Current Mailing Address:

919 SE 6 COURT
FORT LAUDERDALE, FL 33301 US

FEI Number: NOT APPLICABLE

Name and Address of Current Registered Agent:

ADAMS, JAY
919 SE 6 COURT
FORT LAUDERDALE, FL 33301 US

FILED
Jun 28, 2020
Secretary of State
9170511088CC

Certificate of Status Desired: No

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: JAY ADAMS

Electronic Signature of Registered Agent

06/28/2020

Date

Authorized Person(s) Detail :

Title PRESIDENT
Name ADAMS, JAY
Address 919 SE 6 COURT
City-State-Zip: FORT LAUDERDALE FL 33301

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JAY M ADAMS

Electronic Signature of Signing Authorized Person(s) Detail

PRESIDENT

06/28/2020

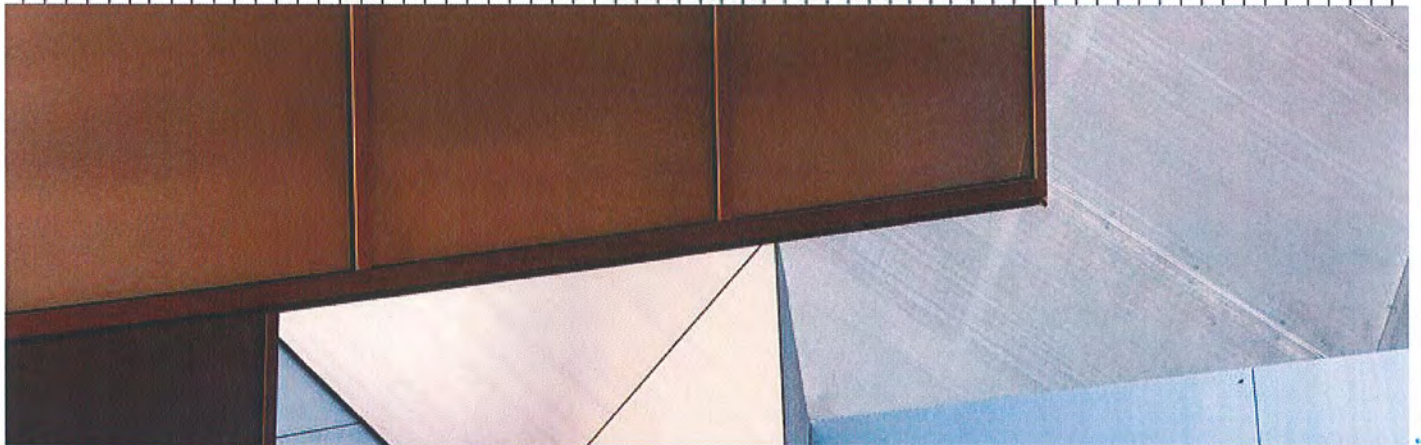
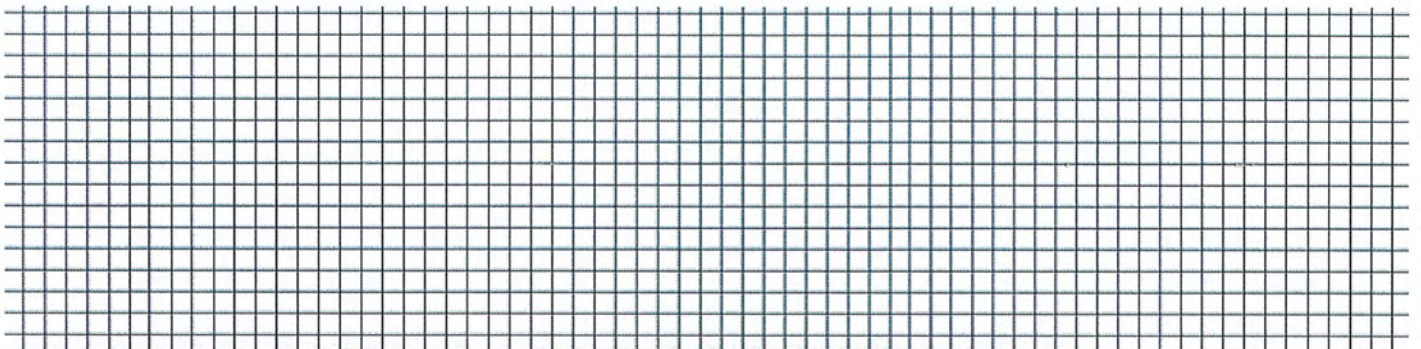
Date

PEOPLE > JAY ADAMS

Jay Adams

Senior Managing Director

Boca Raton



E: JAY.ADAMS@NMRK.COM

P: [561-893-6240](tel:561-893-6240)



Jay Adams joined Newmark in 2016 as a senior managing director in the company's Boca Raton office, where he specializes in landlord representation. Mr. Adams focuses his practice on office agency leasing on behalf of corporate,

institutional and entrepreneurial property owners. His responsibilities include new business development, negotiation, strategic planning and management of all aspects of landlord representation real estate services, including property and asset management.

Mr. Adams has more than 23 years of commercial real estate experience, predominately in single-tenant and large-block office building advisory throughout South Florida, as well as multi-tenant buildings with an emphasis on national credit users. Mr. Adams is consistently a top producer in the state and regularly places among South Florida's top five producers.

Prior to Newmark, Mr. Adams served as first vice president for CBRE's Brokerage Services Division in the Fort Lauderdale office for over 20 years. He previously worked with The Allen Morris Company on tenant representation and office leasing assignments.

TRANSACTION EXPERIENCE

- Kaplan/Purdue, 240,000 RSF
- Kaplan Online, 120,000 RSF
- Career City College, 110,000 RSF
- Convergys, 100,000 RSF
- GSA, 100,000 RSF
- Fairfield Enterprises, 93,000 RSF
- Aetna, 85,000 RSF
- Citrix, 75,000 RSF
- Comcast, 65,000 RSF
- Crawford & Company, 64,000 RSF
- Kemet HQ, 62,000 RSF
- Microsoft, 60,000 RSF
- Sprint, 55,000 RSF

- Watson Title Services, 54,000 RSF
- AT&T, 50,000, RSF
- State Farm, 50,000 RSF
- Medtronic, 50,000 RSF
- iQor, 45,000 RSF
- US Gas and Electric, 42,000 RSF
- Akamai, 33,000 SF
- Brown & Brown Insurance, 30,000 RSF
- NECC, 27,000 RSF
- Fifth Third Bank, 25,000 SF
- Seitlin Insurance (acquired by Marsh & McLennan Agency in 2011), 25,000 RSF
- U.S. Social Security Administration, 24,000 RSF
- Crowe Chizek (now Crowe Horwath), 22,000 RSF
- Pernod Ricard, 22,000 SF
- Liberty Life, 22,000 RSF
- Stearns Weaver Miller Weissler Alhadeff & Sitterson, 21,000 RSF
- YUM! Brands, 21,000 RSF

PARTIAL CLIENT LIST

- Crawford & Company
- Deutsch Bank
- INVESCO Realty Advisors
- Koneco Building Services (KBS)
- Midgard
- NTS Development Company
- Piedmont Office Realty Trust

- Regency
- RM Realty
- RREEF Property Trust
- Space Coast Credit Union (SCCU)
- TIAA
- Wells Fargo

PROFESSIONAL AFFILIATIONS

- NAIOP
- Society of Industrial and Office Realtors (SIOR)
- Beach Redevelopment Board, city of Fort Lauderdale
- Historic Preservation Board, city of Fort Lauderdale
- Riverwalk Trust Board, city of Fort Lauderdale

Mr. Adams graduated from the University of Arkansas, where he earned a Bachelor of Science degree in business administration with a focus on real estate and finance.

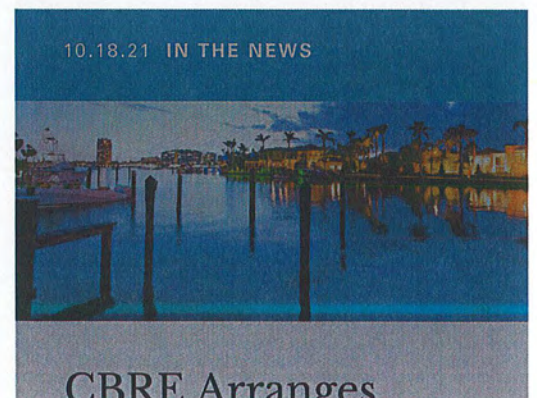
LANDLORD REPRESENTATION

Related Media



Bansii Properties to

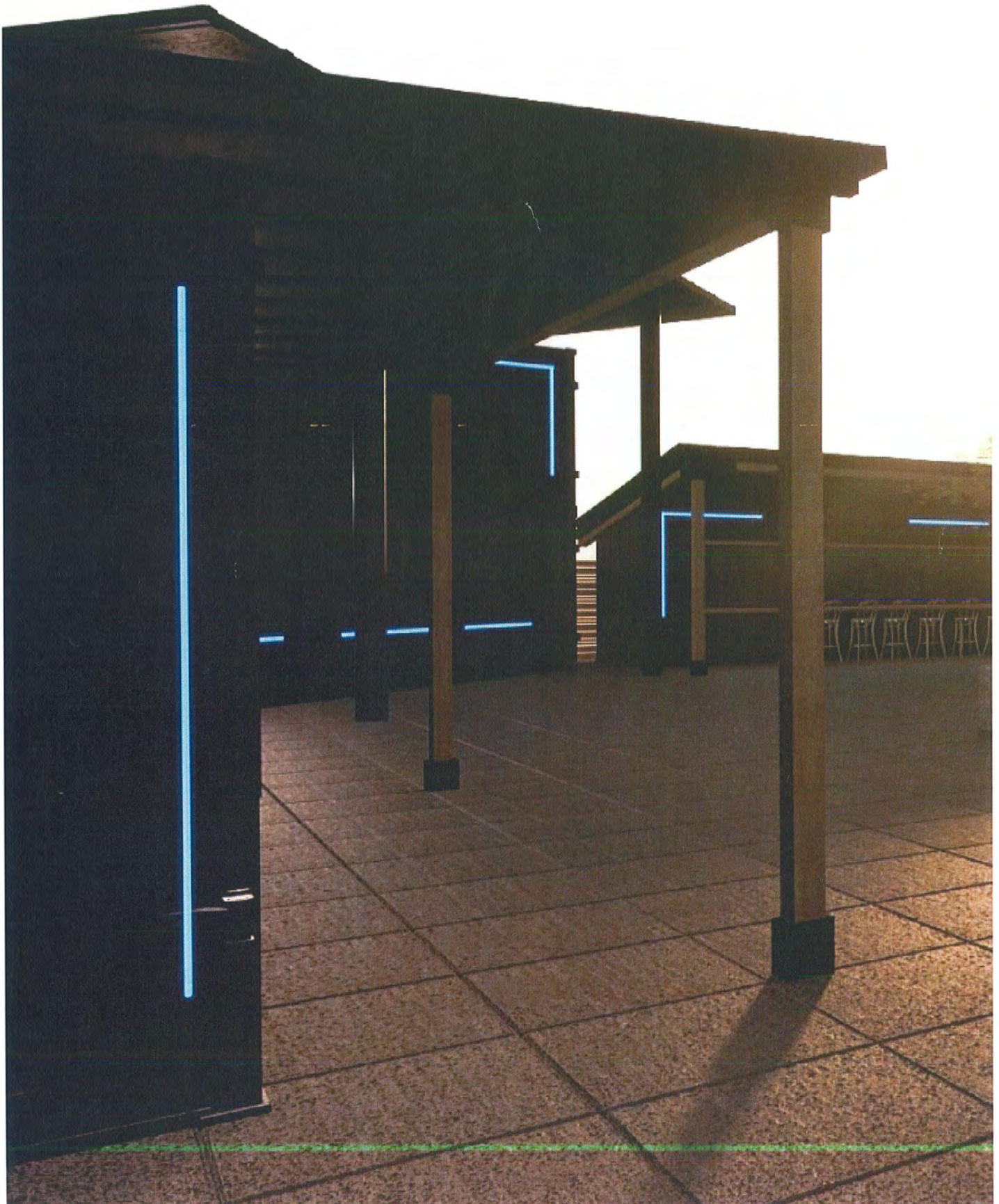
NWPFH Redevelopment Advisory Board



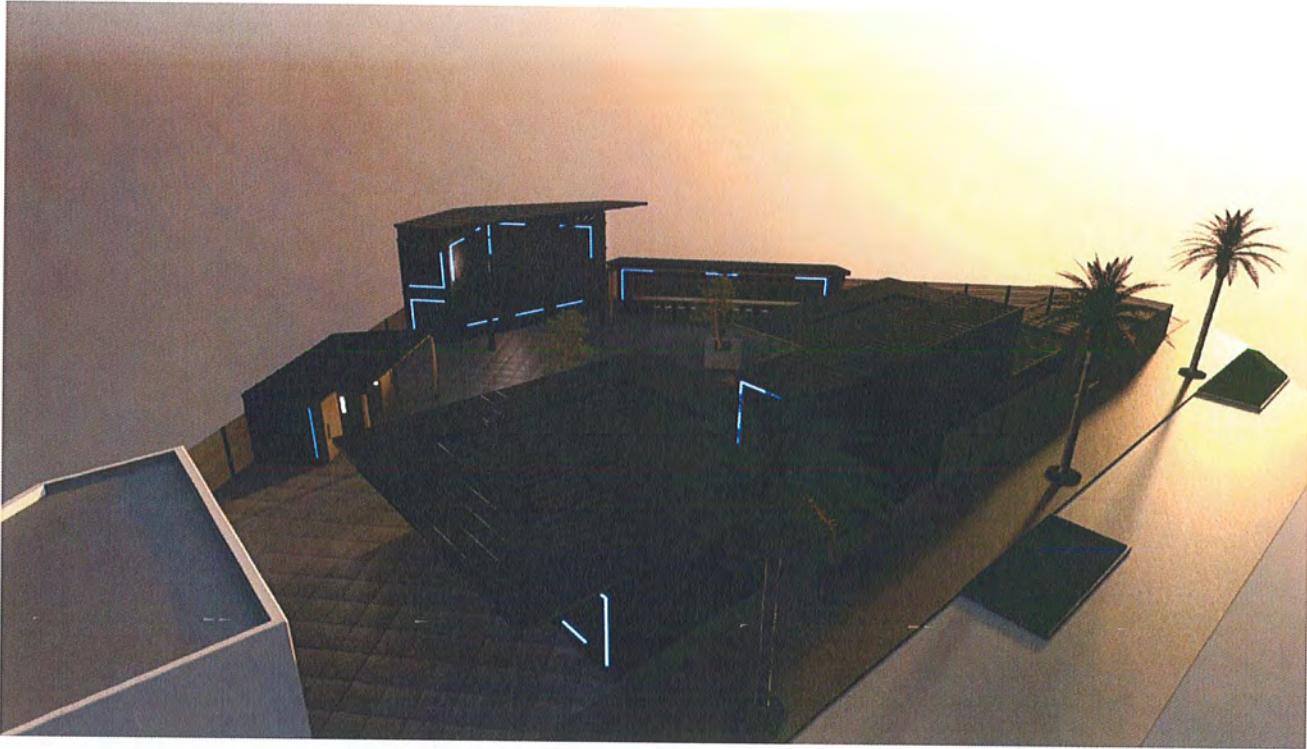
CBRE Arranges

EXHIBIT 3









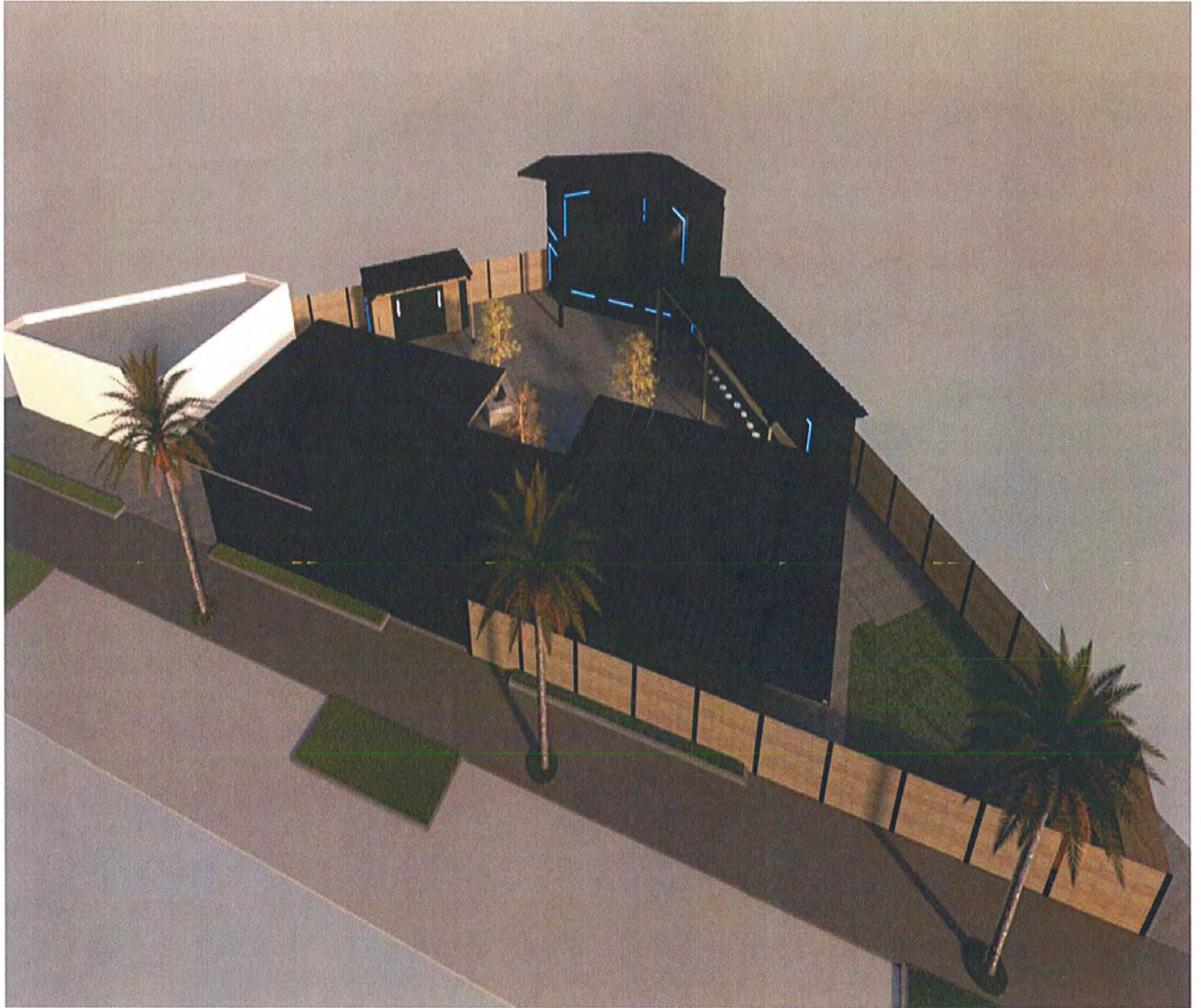


EXHIBIT 4



ADMINISTRATIVE REVIEW – NOTICE OF DETERMINATION

Site Plan Level I: Change of Use from used car lot to retail/restaurant/dog park with outdoor seating

Project Name / Case No: Progresso Park / PLN-AR-19120011

Applicant / Agent: 825 Progresso Drive, LLC / Jay Adams

Location: 825 & 833 Progresso Drive

Zoning District: North West Regional Activity Center-Mixed Use northeast (NWRAC-MUne)

Land Use: Northwest Regional Activity Center

Project Description: The applicant is proposing a change of use from an existing used car lot to a retail/restaurant with a dog park and outdoor seating.

Determination: The Administrative Review Committee reviewed the project on January 2, 2020. Approved as per plans and narratives submitted with this application.

Conditions: All applicable ULDR requirements must be complied with. All proper building permits must be applied for.
Engineering:
1. Advisory comments to be tracked during permitting.

Determination Approved By:
[Zoning Administrator or Designee]

Approval Date: February 8, 2021

Staff Present: Nicholas Kalargyros, Adam Schnell, Yvonne Redding

Staff Contact Person: Tyler Laforme 954-828-5633

NOTE: Please be advised that Administrative Approval is the first step of the development review process. A building permit must be obtained subsequent to this approval.

ADMINISTRATIVE REVIEW						
CASE NUMBER: PLN-AR-19120011			PROJECT NAME: Progresso Park			
✓	DEPARTMENT / DISCIPLINE	REPRESENTATIVE SIGNATURE	APPROVED	SUBJECT TO CONDITIONS	ADDITIONAL COMMENTS	NOT APPLICABLE
X	ENGINEERING	RJM	X		X	
X	LANDSCAPE		X			
X	TRANSPORTATION AND MOBILITY	BKR	X			
X	URBAN DESIGN AND PLANNING	Tyler Laforme	X			
	ZONING					
	OTHER:					
APPROVAL DATE: February 8, 2021			COMMENTS OR CONDITIONS OF APPROVAL MAY BE FOUND IN THE NOTICE OF DETERMINATION <small>*Please note that administrative approval does not extend site plan expiration dates pursuant to ULDR Section, 47-24.1.M. Expiration of site plan and conditional use approvals. Final approval date is the date on which the project was approved by the applicable approving body: Site Plan Level I - Final DRC approval date, Site Plan Level II - PZB approval date, Site Plan Level IV - City Commission approval date.</small>			

DEPARTMENT OF SUSTAINABLE DEVELOPMENT
700 NW 19 AVENUE | FORT LAUDERDALE, FLORIDA 33311
954-828-5207 | www.fortlauderdale.gov

PROGRESSO PARK CONSTRUCTION PERMIT UPDATES NOVEMBER 3, 2021

OWNER/ CUENT:

**PROGRESSO PARK
C/O JAY ADAMS
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304**

ARCHITECT:

ERIC CHANCELLOR, AIA, NCARB

**DEC PARTNERS
400 NW 7th Ave #305
Fort Lauderdale, FL 33311
954.507.7150
AR08770**



LOCATION MAP



AERIAL LOCATION

GENERAL NOTES

- WHERE A TYPICAL CONDITION IS DETAILED & NOT NOTED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO THE FACE OF THE STUDY WALL UNLESS NOTED OR FACE OF MASONRY (BRICK, CMU) UNLESS NOTED OTHERWISE. DIMENSIONS AT WALLS WITH FINE FINISH ARE TO THE FACE OF SUBSTRATE.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OR ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK.
- THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS & SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY & ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE PROJECT MANUAL REQUIRED FOR THE EXECUTION OF SUCH WORK.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION & RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION & RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING & UTILITY CONDITIONS & SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS & THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION & RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION & RESOLUTION AS NECESSARY TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL DETAILS, DETAILS, ETC., & FOR OTHER COMPONENTS NOT DRAWN BUT NECESSARY OR IMPLIED BY EXECUTION OF THE WORK, & ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURER'S REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO NOISE, WATER SUPPLY, DRAINAGE, PADS, PENETRATING WALLS &/OR FLOOR/CEILING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, & ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS & SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE & INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES, & SUPPORTING BRACKETS NOT DRAWN OR SPECIFIED BUT REQUIRED FOR THE PROPER INSTALLATIONS OF ALL CASEWORK & SHELVING, TOILET & BATH ACCESSORIES, HAND & GARD RAILS, & OTHER FEATURES.

DEFINITIONS:

- EXISTING RESTORATION DEFINITIONS**
- NEW** - PROVIDE MATERIAL WHICH MATCHES ORIGINAL MATERIAL IN ALL RESPECTS. USE MATERIAL WITH PERFORMANCE CHARACTERISTICS THAT WILL CLEAN OR SURPASS THAT OF THE ORIGINAL MATERIAL.
 - REPAIR** - RETURN ENTIRE ASSEMBLY TO SOUND CONDITION. MATCH ORIGINAL PROFILES UNLESS NOTED OTHERWISE. INCLUDE ASSOCIATED MATERIALS WHETHER OR NOT EXPOSED TO VIEW AS PART OF THE COMPLETED WORK.
 - REPLACE** - REMOVE EXISTING AND INSTALL NEW MATERIAL IN SUCH A MANNER AS TO INSURE STRUCTURAL AND VISUAL INTEGRITY OF THE ENTIRE AREA.
 - RESTORE** - RETURN TO ORIGINAL FORM AND CONDITION.

DRAWING LIST

GENERAL	COVER
A000	CODE REVIEW & LIFE SAFETY SHEET/
A010	SITE PLAN
L100	LANDSCAPE PLAN
L-2	EXISTING TREE DISPOSITION PLAN
L-3	LANDSCAPE DETAILS & SPECIFICATIONS
R-1	IRRIGATION PLAN
R-2	IRRIGATION DETAILS & SPECIFICATIONS

SYMBOLS

REMOVE EXISTING WALL ASSEMBLY OF EQUIPMENT	
REMOVE EXISTING DOOR AND FRAME	
EXISTING WALL CONSTRUCTION	
NEW PARTITION AS PER SCHEDULE	
NEW MASONRY AS PER SCHEDULE	
CEILING HEIGHT & TYPE	
DOOR NUMBER	
WINDOW TYPE LABEL	
WINDOW TYPE	
WINDOW NUMBER	
STONEFRONT TYPE LABEL	
STONEFRONT TYPE	
STONEFRONT NUMBER	
ROOM LABEL	
ROOM NAME	
ROOM NUMBER	
WALL TYPE	
REVISION KEY	
KEY NOTE	
DEMO KEYNOTE	
APPLY KEYNOTE TO ALL CONDITIONS THAT APPLY BETWEEN ARCHITECTS	

DEC
partners



Registered Architect
ERIC CHANCELLOR
LIC #AT12325
400 NW 7th Ave #305
Fort Lauderdale, FL 33311
954.507.7150
AR08770

Project:

PROGRESSO PARK

SITE IMPROVEMENTS
825 & 833 Progresso Drive
Fort Lauderdale, FL 33304

Architect:

Notes:

Mark:

Key:

Legend:

Scale:

Copyright:

Unauthorized Use Prohibited

Cover:

A000

CONSTRUCTION PERMIT

Progresso Park

825 & 833 Progresso Drive, Fort Lauderdale, Florida

<p>ARCHITECTURE: CHASE ARCHITECT, INC. 835 SW 1st AVENUE, SUITE B FORT LAUDERDALE, FLORIDA 33301 TEL: (954) 467-7882</p>	<p>LANDSCAPE ARCHITECTURE: M.I.A. GROUP, INC. 1016 NE 46th STREET OAKLAND PARK, FLORIDA 33334 TEL: (954) 763-4071</p>	<p>CIVIL ENGINEERING: GATOR ENGINEERING ASSOCIATES, INC. 11300 TEMPLE STREET COOPER CITY, FLORIDA 33330 TEL: (954) 434-5904</p>
--	---	---

REVISIONS

NO.	DATE	BY	DESCRIPTION

IN THE STATE OF FLORIDA, I, **TODD E. CHASE**, being duly sworn, depose and say that the foregoing is a true and correct copy of the original as the same appears in the files of the undersigned architect.

TODD E. CHASE
 ARCHITECT

PROGRESSO SITE DEVELOPMENT
 FOR
PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE
 FORT LAUDERDALE, FLORIDA

TODD E. CHASE
 ARCHITECT
 835 SW 1st AVENUE, SUITE B
 FORT LAUDERDALE, FLORIDA 33301
 Phone (954) 467-7882

CHASE ARCHITECT, INC.
 835 S. SW 1st AVENUE
 FORT LAUDERDALE, FLORIDA 33301
 Phone (954) 467-7882

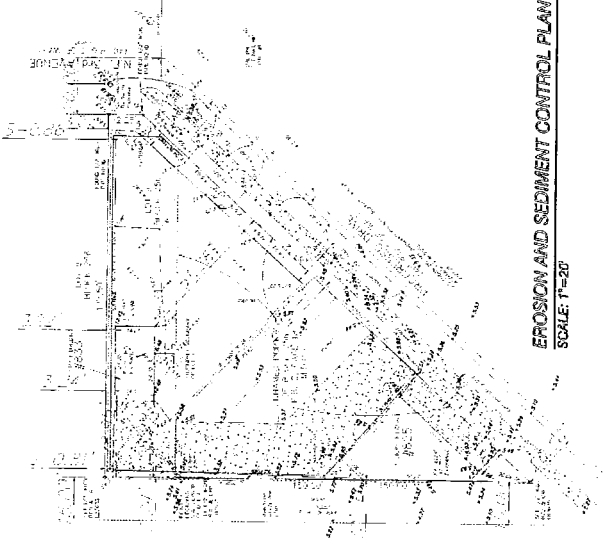
RUSSELL C. CHASE
 ARCHITECT
 835 S. SW 1st AVENUE
 FORT LAUDERDALE, FLORIDA 33301
 Phone (954) 467-7882

Todd E. Chase
 R. CHASE
 835 SW 1st AVENUE, SUITE B
 FORT LAUDERDALE, FLORIDA 33301
 TEL: (954) 467-7882

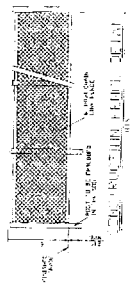
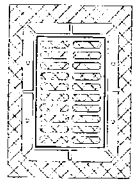
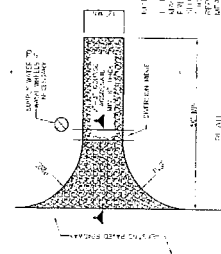
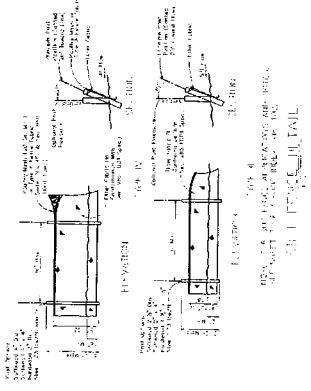
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EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMITS FOR THIS PROJECT.
2. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL, REFER TO 'THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL' FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).
3. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
4. ALL EXCAVATIONS AND BATHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND ROUTED THROUGH FILTERS, SILTATION DAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.
5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY CAUSE AND ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO MAINTAIN THE PROPER EROSION CONTROL MEASURES AND RASING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
7. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DO TO UNFORSEEN CONDITIONS OR ACCIDENTS.
8. SILT FENCES SHALL BE USED ALONG THE PROPERTY LINES TO MINIMIZE OFFSITE SILTATION MITIGATION.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. FILTER FABRIC SHALL BE INSTALLED UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.
12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL AND AS NEEDED.
13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
15. ALL DISTURBED AREAS SHALL BE GRASSSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
16. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER BARRIER ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
19. FLOATING TURBIDITY BARRIERS WILL BE PLACED OFF SET FROM THE SEAWALL ADJACENT TO THE PROPERTY. IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL ALSO BE INSTALLED IN A MANNER TO PREVENT MANNAGE ENTANGLEMENT.
20. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION AND SHALL BE REMOVED WHEN AREAS HAVE BEEN STABILIZED.



EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1"=20'



GATOR ENGINEERING ASSOCIATES, INC.
1700 BURNING STREET
CORONA DEL MAR, FL 32808
TEL: (954) 494-0006 FAX: (954) 494-0004
CERTIFICATE OF AUTHORIZATION NUMBER 20220

SCALE
DATE
DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES
DESIGNED BY: J. J. JONES
APPROVED BY: J. J. JONES

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

NO.	REVISIONS

PROJECT NO. 2001
DATE: 11/11/01
SCALE: 1"=20'
DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES
DESIGNED BY: J. J. JONES
APPROVED BY: J. J. JONES

EROSION & SEDIMENT CONTROL PLAN
C1 of 4



THE 1991-2000 PLAN (64) 434-0004
 CERTIFICATE OF AUTHORIZATION NUMBER 2070

LEGAL DESCRIPTION
 THE 1991-2000 PLAN (64) 434-0004
 CERTIFICATE OF AUTHORIZATION NUMBER 2070

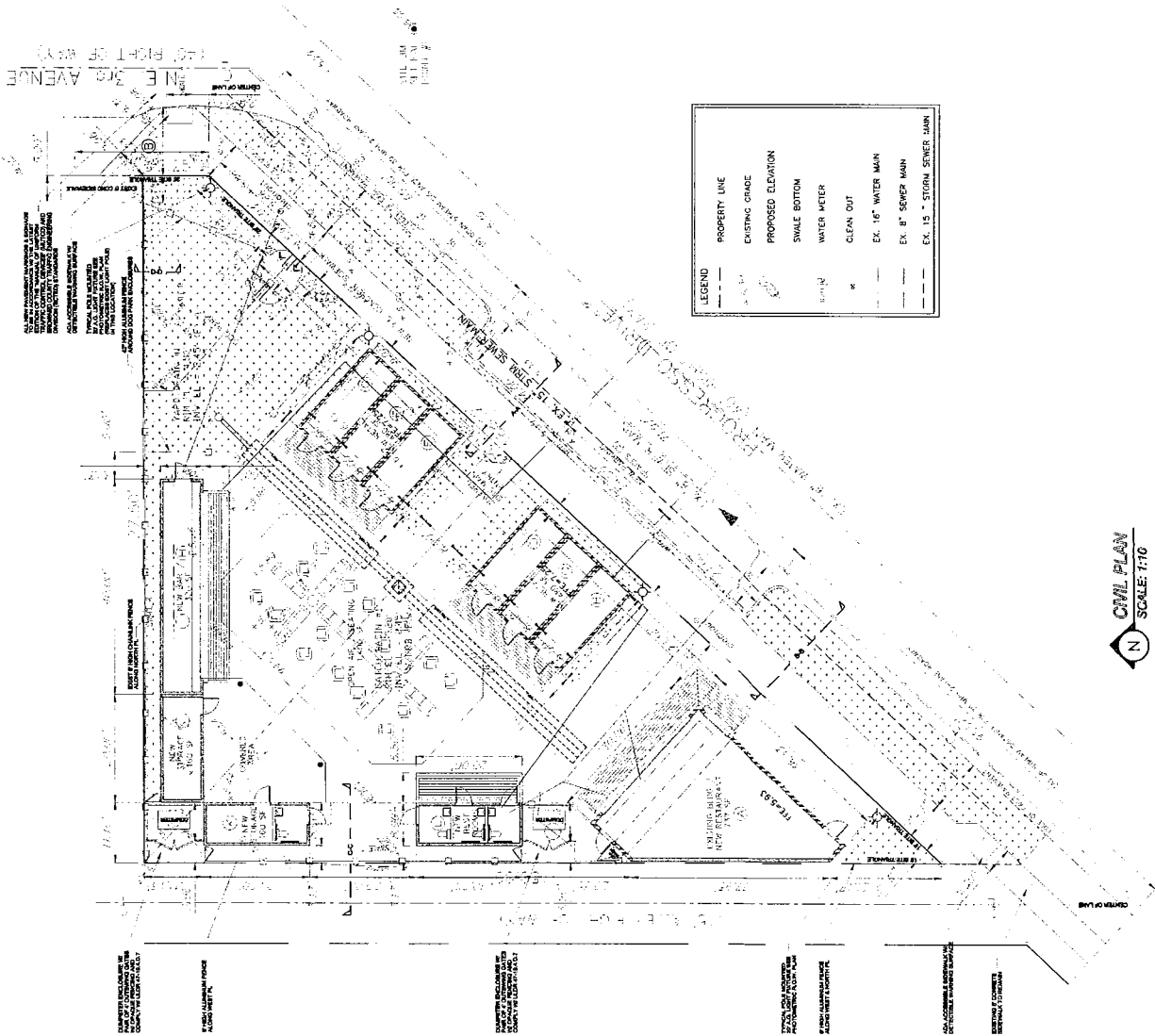
GENERAL NOTES:
 1. THE 1991-2000 PLAN (64) 434-0004
 CERTIFICATE OF AUTHORIZATION NUMBER 2070

SPECIFIC NOTES:
 1. THE 1991-2000 PLAN (64) 434-0004
 CERTIFICATE OF AUTHORIZATION NUMBER 2070

SITE CALCULATIONS:
 TABLE WITH 4 COLUMNS: TYPE UNIT, ERCS/UNIT, NO. OF UNITS, ERCS. Rows include Prior Water Demand, Prop. Water Demand, and Prop. Wastewater Demand.

DEMAND TABLE

Type Demand	Type Unit	ERCS/Unit	No. of Units	ERCS
Prior Water Demand	Office	0.636	1137	0.723
Prior Wastewater Demand	Office	0.636	1137	0.723
Prop. Water Demand	Restaurant	2.495	797	1.839
	Bar	1.236	320	0.396
	Retail	0.55	960	0.528
Prop. Wastewater Demand	Restaurant	2.495	797	1.839
	Bar	1.236	320	0.396
	Retail	0.55	960	0.528



CIVIL PLAN
 SCALE: 1"=10'

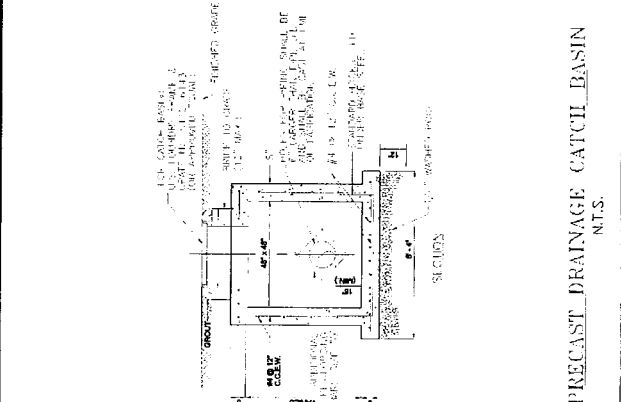
PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

REASONS

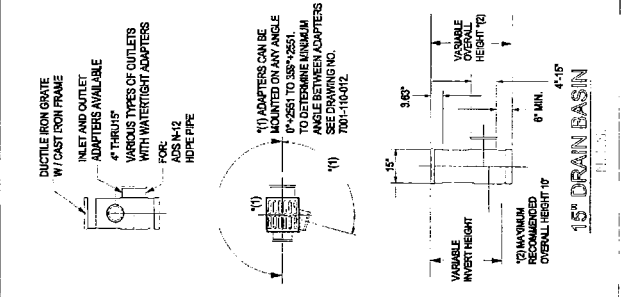
NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

DATE: 04/15/2007
 DRAWN BY: J. J. JONES
 CHECKED BY: J. J. JONES
 APPROVED BY: J. J. JONES

CIVIL PLAN
 SHEET NO. 4



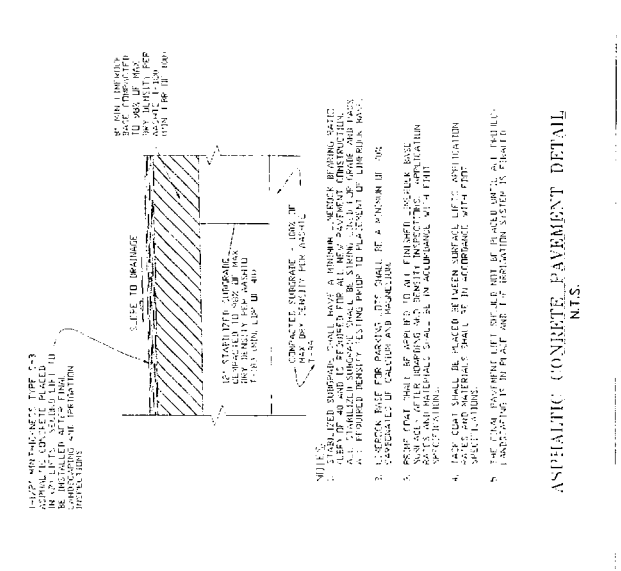
PRECAST DRAINAGE CATCH BASIN
 N.T.S.



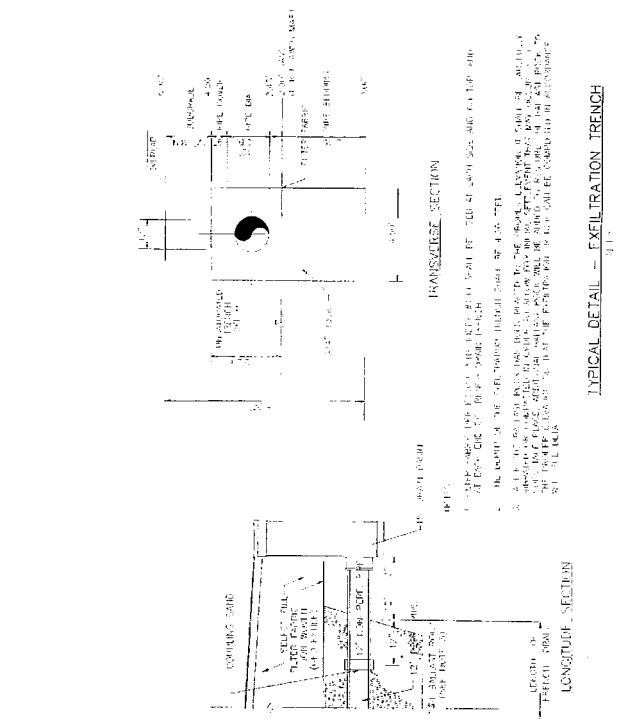
**15\"/>
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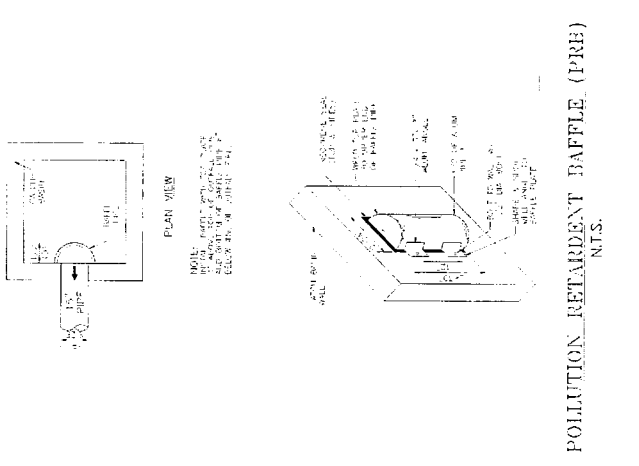
POLLUTION RETARDANT BAFFLE (PRB)
 N.T.S.



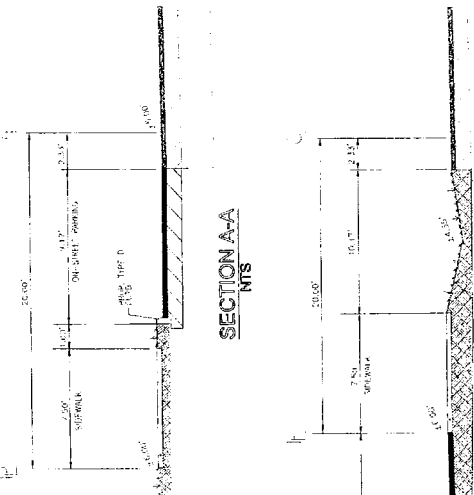
ASPHALTIC CONCRETE PAVEMENT DETAIL
 N.T.S.



TYPICAL DETAIL - EXFILTRATION TRENCH
 N.T.S.



CURB RAMP DETECTABLE WARNING
 N.T.S.

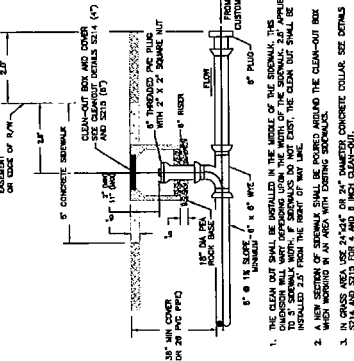


SECTION A-A
NTS

SECTION B-B
NTS

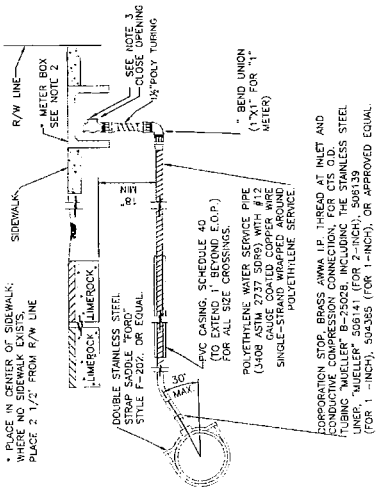
SECTION C-C
NTS

SECTION D-D
NTS



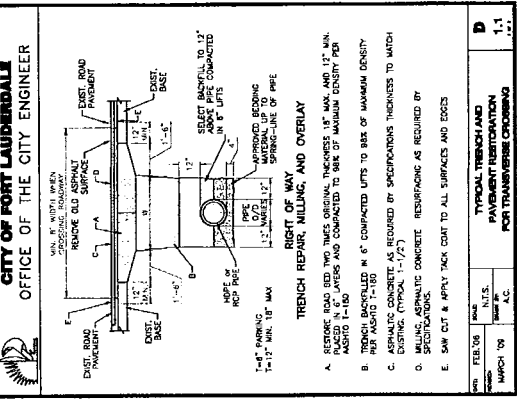
1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THE CLEANOUT SHALL NOT BE INSTALLED UNDER ANY OTHER UTILITY OR UNDER ANY OTHER STRUCTURE. THE CLEAN OUT SHALL BE INSTALLED 24" FROM THE FRONT OF ANY CURB.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX.
3. IN CROSS AREA, SEE 24" x 24" OR 24" DIAMETER CONCRETE DOLLAR. SEE DETAILS S14 AND S15 FOR 4" AND 8" INCH CLEARANCE.

213
SANITARY SERVICE CONNECTION AT
PROPERTY LINE OR EASEMENT LINE.
NTS
(PROFILE)



1. PLACE IN CENTER OF SIDEWALK. WHERE NO SIDEWALK EXISTS, PLACE 2 1/2" FROM R/W LINE.
2. 1/2" POLY TUBING TO EXISTING 1" BROUND (C.O.P.) FOR ALL SIZE CROSSINGS.
3. BEND UNION (1"X1" FOR 1" POLYETHYLENE WATER SERVICE PIPE (H-08 ASTM 2737 5096) WITH #12 GAUGE CO-OLD COPPER WIRE WELD TO POLYETHYLENE SERVICE.
4. CORROSION STOP, BRASS ANNA LIP, THREAD AT INLET AND CONDUCTIVE COMPRESSION CONNECTION FOR CTS OLD POLYETHYLENE WATER SERVICE LINE OR STAINLESS STEEL LINE. "MUELLER" 508141 (FOR 2-INCH), 508139 (FOR 1 1/2-INCH), 504385 (FOR 1-INCH), OR APPROVED EQUAL.

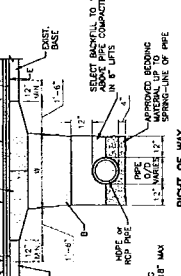
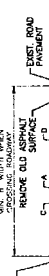
TYPICAL WATER SERVICE INSTALLATION 300



- TRENCH REPAIR, NULLING, AND OVERLAY**
1. REMOVE ROAD BED TWO TIMES ORIGINAL THICKNESS, 18" MAX. AND 17" MIN. DEPTH AND COMPACTED TO BE OF MAXIMUM DENSITY PER ASTM D 1557.
 2. TRENCH BACKFILLED WITH COMPACTED LPTS TO BE OF MAXIMUM DENSITY PER ASTM D 1557.
 3. ASPHALTIC CONCRETE AS REQUIRED BY SPECIFICATIONS THICKNESS TO MATCH EXISTING. (TYPICAL 1 1/2")
 4. SURFACE FINISH TO MATCH EXISTING.
 5. SAW CUT & APPLY TACK COAT TO ALL SURFACES AND EDGES.

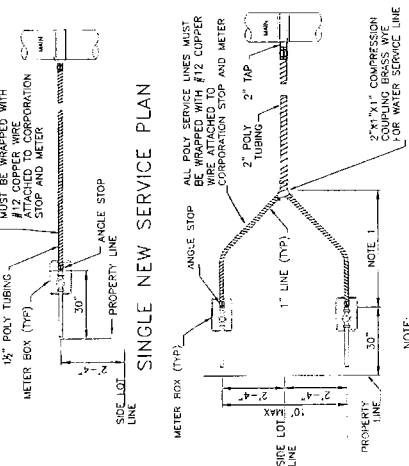
TYPICAL TRENCH AND
PAVEMENT RESTORATION
FOR TRANSVERSE CROSSING
D

CITY OF FORT LAUDERDALE
OFFICE OF THE CITY ENGINEER



- TRENCH REPAIR, NULLING, AND OVERLAY**
1. REMOVE ROAD BED TWO TIMES ORIGINAL THICKNESS, 18" MAX. AND 17" MIN. DEPTH AND COMPACTED TO BE OF MAXIMUM DENSITY PER ASTM D 1557.
 2. TRENCH BACKFILLED WITH COMPACTED LPTS TO BE OF MAXIMUM DENSITY PER ASTM D 1557.
 3. ASPHALTIC CONCRETE AS REQUIRED BY SPECIFICATIONS THICKNESS TO MATCH EXISTING. (TYPICAL 1 1/2")
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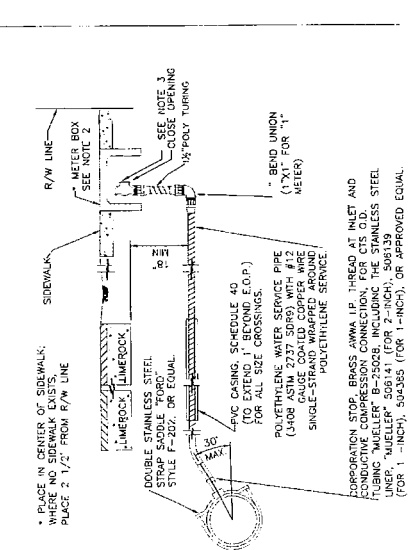
TYPICAL TRENCH AND
PAVEMENT RESTORATION
FOR TRANSVERSE CROSSING
D



- SINGLE NEW SERVICE PLAN**
1. ALL POLY SERVICE LINES MUST BE WRAPPED WITH #12 COPPER WIRE ATTACHED TO CORPORATION STOP AND METER.
 2. 2" POLY TUBING.
 3. ANGLE STOP.
 4. 2" POLY TUBING.
 5. 2"X1" COMPRESSION COUPLING BRASS WYE FOR WATER SERVICE LINE.

301

TYPICAL WATER SERVICE



- DOUBLE NEW SERVICE PLAN**
1. KEEP 18" WYE AS CLOSE AS POSSIBLE TO METER BOX.

TYPICAL WATER SERVICE INSTALLATION 300

ATYOR ENGINEERING ASSOCIATES, INC.
1180 TOWNHALL STREET
CORNER OF W. 33RD
AVENUE, SUITE 200
FORT LAUDERDALE, FL 33309
TEL: (954) 494-8805 FAX: (954) 494-8904
CERTIFICATE OF AUTHORIZATION NUMBER 2220

PROGRESSO PARK
825 & 893 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

REVISIONS
DATE
BY
DESCRIPTION

DETAILS
C4-10-4

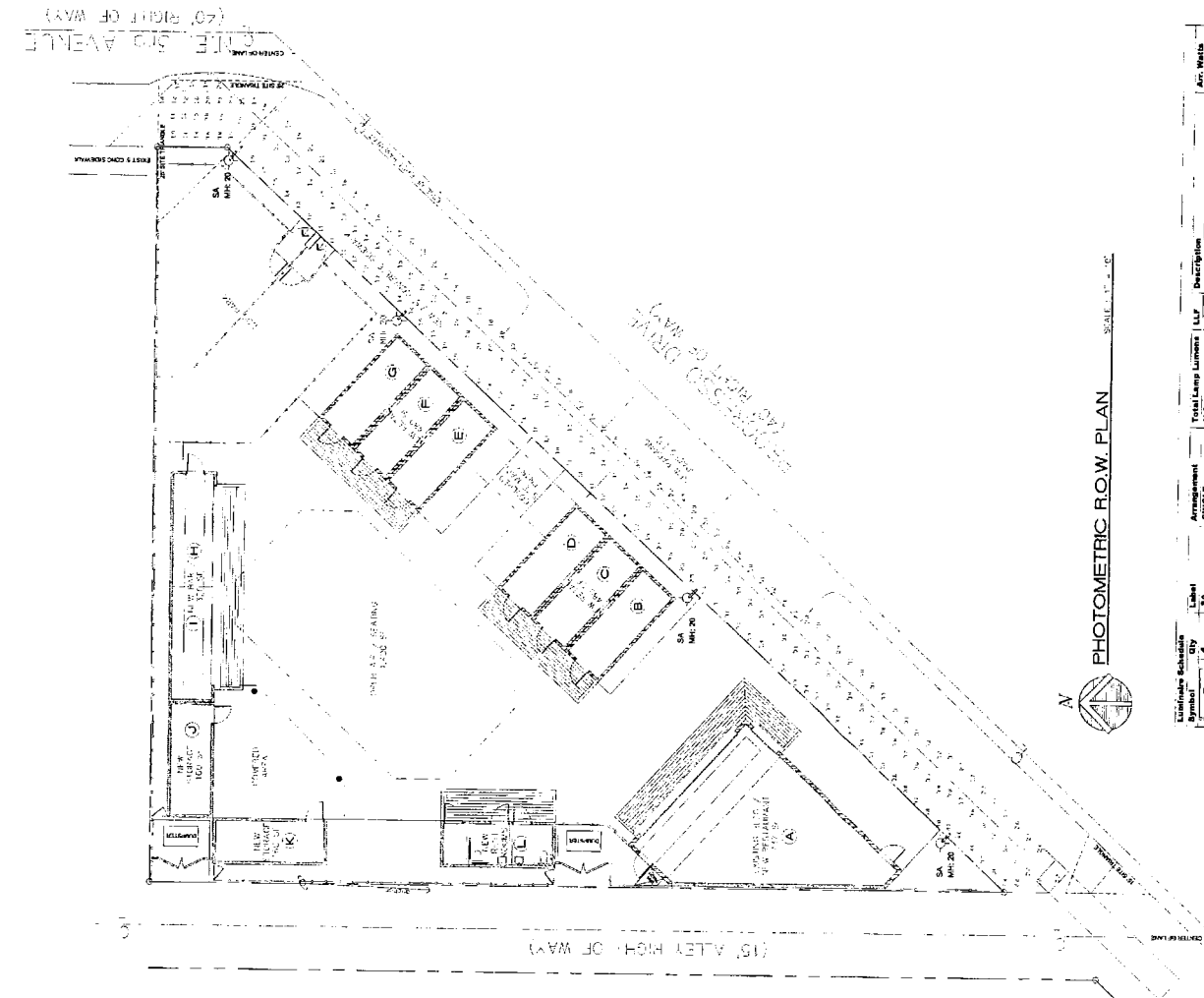
REVISIONS BY DATE

DATE: 7/15/23
 DRAWN: AS
 CHECKED: J.S.C.
 DATE: 2023
 SHEET: 2023-001

CHASE ARCHITECT, INC.
 635 B Southwest 1st Avenue
 Fort Lauderdale, Florida 33301
 Phone (954) 467-7892
 Corporation
 AA-C000660

TODD R. CHASE
 A.F. 041754
 RUSSELL C. CHASE
 AR 005818

Todd R. Chase
 R. Chase
 CHASE ARCHITECT, INC.
 635 B Southwest 1st Avenue
 Fort Lauderdale, Florida 33301
 Phone (954) 467-7892
 Corporation
 AA-C000660



PHOTOMETRIC R.O.W. PLAN SCALE: 1" = 10'

Lighting Schedule	Light	Applicability	Foot Lamp Lumens	L.U.	Description	Art. Watts
1	SA	SHIELD	1,100	1.100	ALUMINUM POLE MTD. 25' A.G.	329
Lighting Summary						
Units	74	Units	81,800	Avg	1,100	Max
Units	74	Units	81,800	Avg	1,100	Max
Units	74	Units	81,800	Avg	1,100	Max



ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1521 QUINN RD.
WINTER PARK, FL 32782
850.390.2600



PROGRESSO PARK

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL
33304

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL
33304

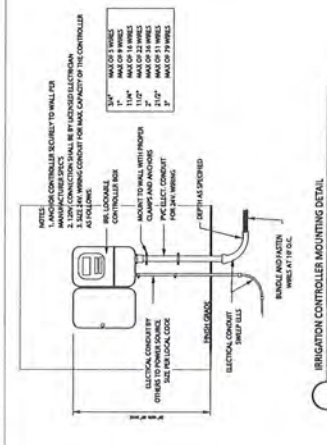
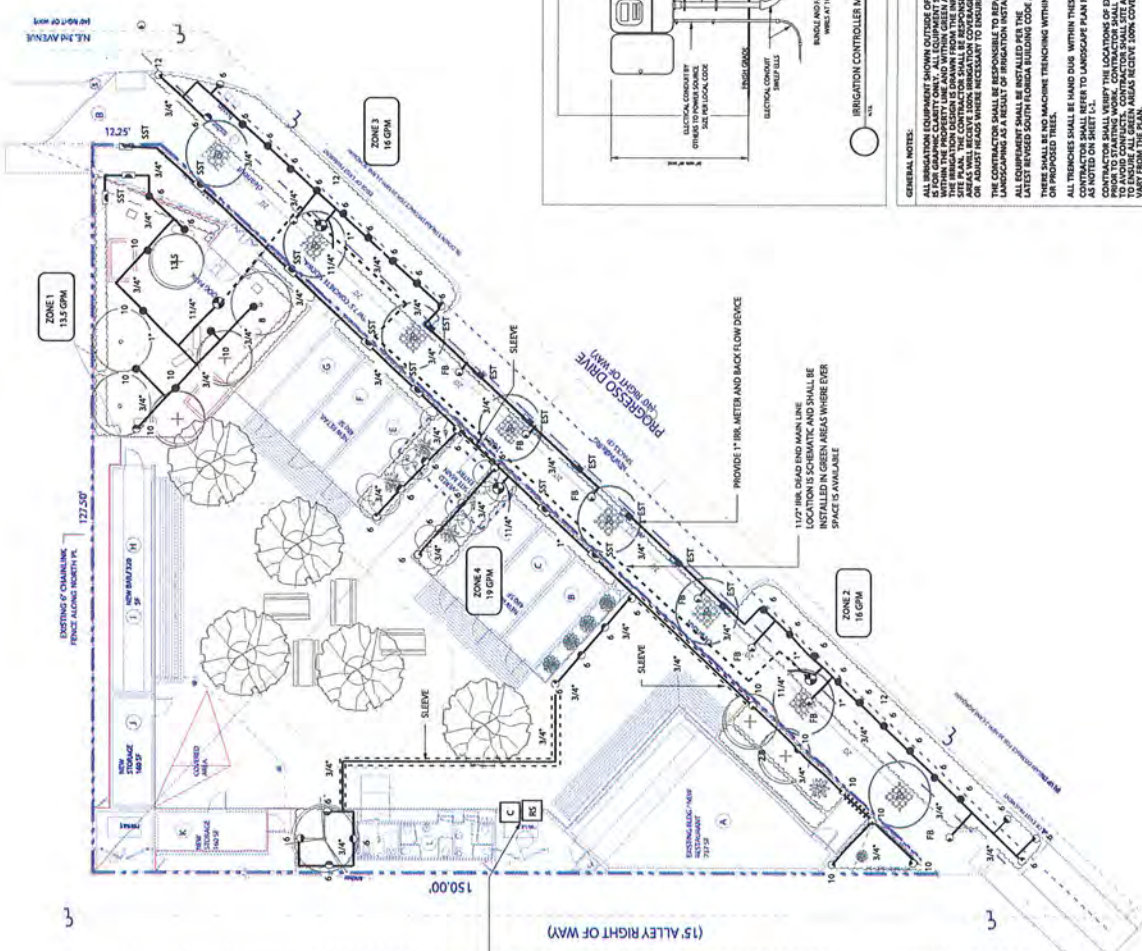
NO.	DATE	REVISION

C:\PROJECTS\2021\UNLICENSED\16197.DWG
DATE: 12/13/2021
DRAWN BY: TEG
CHKD BY: TEG
SCALE: AS SHOWN

IRIGATION PLAN
SHEET

IR-1

CONSTRUCTION PERMIT



GENERAL NOTES:

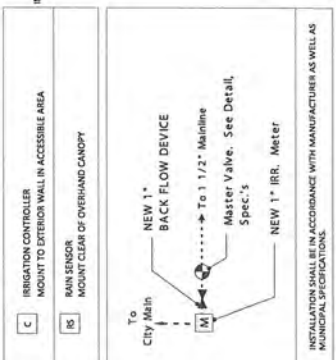
- ALL IRRIGATION MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS WELL AS MUNICIPAL SPECIFICATIONS.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S AS WELL AS MUNICIPAL SPECIFICATIONS.
- IRIGATION SYSTEM TIME SCHEDULES

SYSTEM 1

- 000 NO. ZONES + 4
- 000 NO. ZONES + 3
- RUN TIMES + 20 MIN. PER ZONE ON MON. WED. FRI.
- EVEN NO. ZONES + 1 HR.
- ODD NO. ZONES + 3
- RUN TIMES + 20 MIN. PER ZONE ON SAT. SUN.
- TOTAL RUN TIME PER DAY = 1 HR.

NOTE: IRRIGATION MATERIALS SHALL BE DAILY WATERING FOR A PERIOD OF 3 WEEKS OR UNTIL ESTABLISHED. ONCE MATERIAL IS ESTABLISHED WATERING SHALL BE REDUCED TO 2-3 DAYS A WEEK DURING STABLE WEATHER CONDITIONS. IRRIGATION SHALL BE ADJUSTED PERIODICALLY TO COMPENSATE FOR NATURAL EVENTS SUCH AS HEAVY RAIN, HIGH WIND AND DROUGHT. IRRIGATION SHOULD NOT BE RUN DURING PERIODS OF DROUGHT. IRRIGATION SHOULD BE RUN BETWEEN THE HOURS OF 5:00 AM AND 7:00 AM. IRRIGATION ZONES SHOULD NOT BE RUN DURING MID DAY OR EVENING HOURS.

LEGEND		PIPE SLEEVING SCHEDULE	
VALVE	PIPE SIZE	PIPE SIZE	SLEEVE SIZE
●	1"	1"	2"
○	1 1/4"	1 1/4"	2"
○	1 1/2"	1 1/2"	3"
○	2"	2"	4"
○	2 1/2"	2 1/2"	6"
○	10" NOZZLE		
○	8" NOZZLE		
○	6V 6" NOZZLE		
○	4V 4" NOZZLE		



IRIGATION CONTROLLER MOUNTED TO EXTERIOR WALL IN ACCESSIBLE AREA

RAIN SENSOR MOUNT CLEAR OF OVERHAND CANOPY

NEW 1" BACK FLOW DEVICE

To City Main

To 1 1/2" Mainline

Master Valve. See Detail, Spec.'s

NEW 1" IRR. Meter

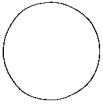
INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S AS WELL AS MUNICIPAL SPECIFICATIONS.

IRIGATION SYSTEM TIME SCHEDULES

SYSTEM 1

- 000 NO. ZONES + 4
- 000 NO. ZONES + 3
- RUN TIMES + 20 MIN. PER ZONE ON MON. WED. FRI.
- EVEN NO. ZONES + 1 HR.
- ODD NO. ZONES + 3
- RUN TIMES + 20 MIN. PER ZONE ON SAT. SUN.
- TOTAL RUN TIME PER DAY = 1 HR.

NOTE: IRRIGATION MATERIALS SHALL BE DAILY WATERING FOR A PERIOD OF 3 WEEKS OR UNTIL ESTABLISHED. ONCE MATERIAL IS ESTABLISHED WATERING SHALL BE REDUCED TO 2-3 DAYS A WEEK DURING STABLE WEATHER CONDITIONS. IRRIGATION SHALL BE ADJUSTED PERIODICALLY TO COMPENSATE FOR NATURAL EVENTS SUCH AS HEAVY RAIN, HIGH WIND AND DROUGHT. IRRIGATION SHOULD NOT BE RUN DURING PERIODS OF DROUGHT. IRRIGATION SHOULD BE RUN BETWEEN THE HOURS OF 5:00 AM AND 7:00 AM. IRRIGATION ZONES SHOULD NOT BE RUN DURING MID DAY OR EVENING HOURS.



ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1501 GUNN RD.
WINTER PARK, FL 32792
850.380.2600

PROGRESSO
PARK
PROGRESSO PARK
825 & 833 PROGRESSO
DRIVE,
FORT LAUDERDALE, FL
33304

PROGRESSO PARK
825 & 833 PROGRESSO
DRIVE,
FORT LAUDERDALE, FL
33304

NO.	DATE	DESCRIPTION
1.	04-27-22	ISSUE
2.	04-27-22	ISSUE
3.	04-27-22	ISSUE

DESIGNED BY: ERIC CHANCELLOR
DRAWN BY: ERIC CHANCELLOR
CHECKED BY: ERIC CHANCELLOR
DATE: 04/27/22

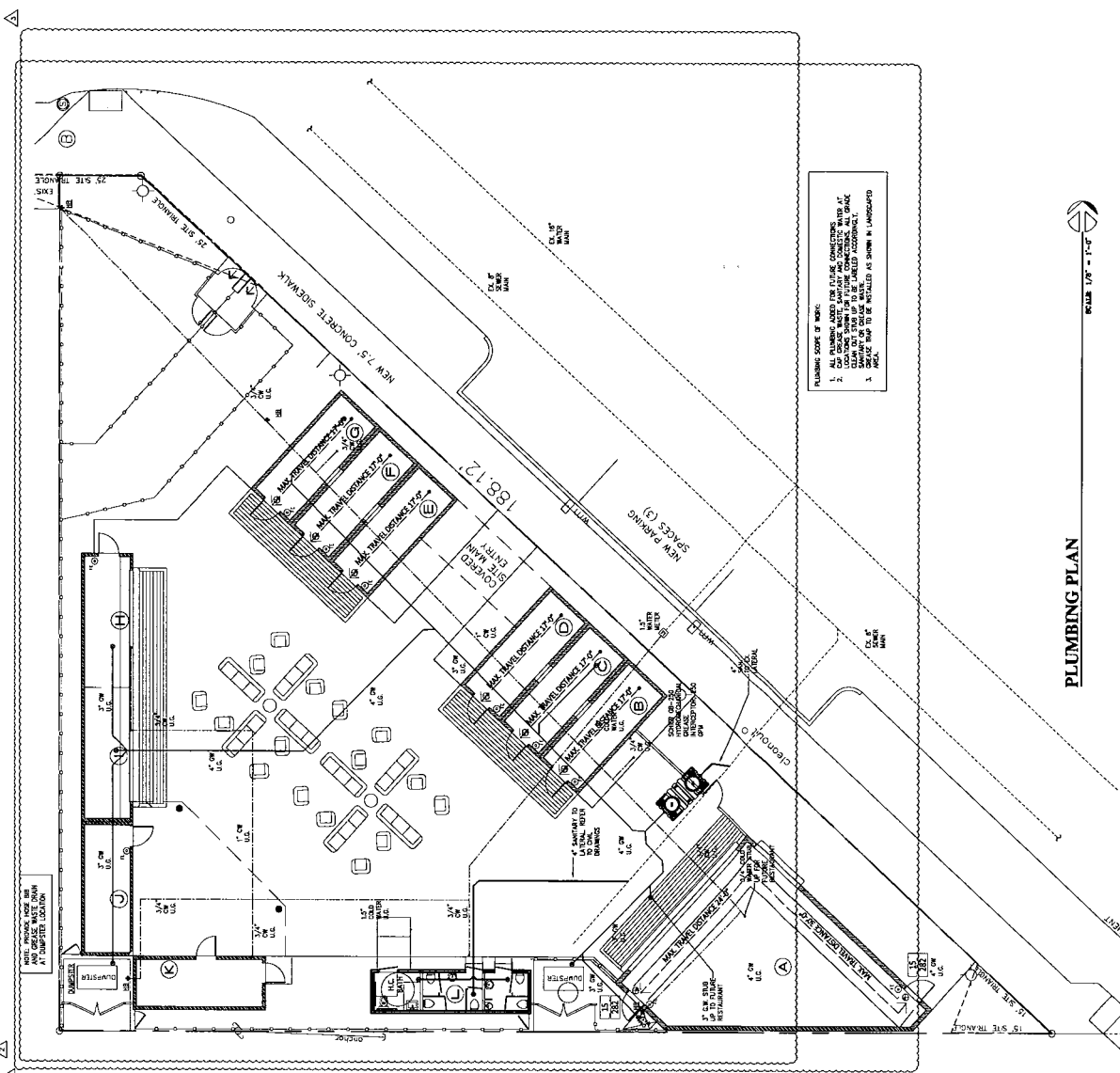
P-1

CONSTRUCTION PERMIT

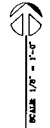
Richard Corbett
Digitally signed by
Richard Corbett
Date: 2022.04.27
10:32:56 -04'00'

PROJECT No. 210600

PLUMBING PLAN



PLUMBING SYMBOLS:
1. ALL PLUMBING TO BE INSTALLED AS SHOWN IN LANDSCAPED
2. ALL PLUMBING TO BE INSTALLED AS SHOWN IN LANDSCAPED
3. ALL PLUMBING TO BE INSTALLED AS SHOWN IN LANDSCAPED



PLUMBING PLAN

NOTE: ALL FIXTURES SHOWN
ARE TO BE INSTALLED
AS SHOWN IN THE
SCHEDULE UNLESS
OTHERWISE NOTED.

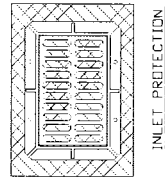
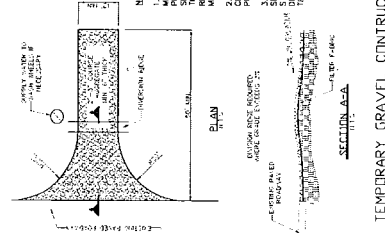
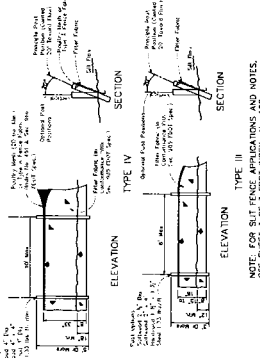
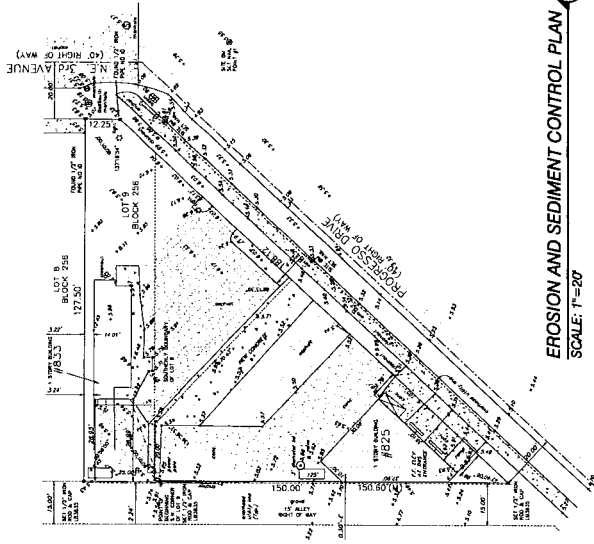
NOTE: PROVIDE USE OF
BATH AT DUMPSTER LOCATION
AT DUMPSTER LOCATION

NOTE: PROVIDE USE OF
TOILET RESTROOM AT
RESTAURANT SHALL BE
INSTALLED SEPARATE FROM
DUMPSTER LOCATION

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMIT(S) FOR THIS PROJECT.
2. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).
3. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES THAT MUST BE INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
4. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND ROUTED THROUGH FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.
5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM THE PERMITTING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
7. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DO TO UNFORSEEN CONDITIONS OR ACCIDENTS.
8. SILT FENCES SHALL BE USED ALONG THE PROPERTY LINES TO MINIMIZE OFFSITE SILTATION/MITIGATION.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. FILTER FABRIC SHALL BE INSTALLED UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.
12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL AND AS NEEDED.
13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
15. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
16. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER BARRIER ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
19. FLOATING TURBIDITY BARRIERS WILL BE PLACED OFF SET FROM THE SEAWALL ADJACENT TO THE PROPERTY. IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED IN THESE AREAS. TURBIDITY BARRIERS SHALL ALSO BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTRAINMENT.
20. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION AND SHALL BE REMOVED WHEN AREAS HAVE BEEN STABILIZED.

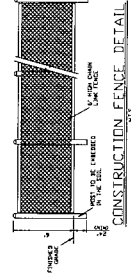
This item has been digitally signed and sealed by Regina Bobo-Jackson, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.



NOTE: INSTALL FILTER FABRIC UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.

NOTES:

1. THE ENTRANCE SHALL BE PROVIDED IN SUCH A MANNER AS TO PREVENT ANY PUBLIC RIGHT-OF-WAY, DRIVEWAY OR DRIVEWAY FROM BEING USED TO TRAP SEDIMENT.
2. ALL SEDIMENT TRAPPING SHALL BE PROVIDED IN ACCORDANCE WITH THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).
3. WHEN WASHING IS REQUIRED, IT SHALL BE PERFORMED WITH GRATED STONE THAT IS STABLE AND WILL NOT BE TRIPPED BY SEDIMENTARY BASIN.



GATOR ENGINEERING ASSOCIATES, INC.
11300 TEMPLE STREET
SUITE 100
FORT LAUDERDALE, FL 33304
TEL: (954) 444-0000 FAX: (954) 404-0000
CERTIFICATE OF AUTHORIZATION NUMBER 30230

Regina Bobo-Jackson, P.E.
Professional Engineer
Professional Seal
FL. P.E. NO. 38550
DATE: 08/08/2024

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

REVISIONS	DATE	BY	DESCRIPTION

EROSION & SEDIMENT CONTROL PLAN
SHEET NO. 4
C1 of 4

LEGAL DESCRIPTION

LOT 23, 25, AND 27, BLOCK 179, PROGRESSO, ACCORDING TO THE PLAT THEREOF, LOCATED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, FOLIO # 4942 34 OF 7260

GENERAL NOTES:

1. MAKE SURVEY BY ACCURATE LAND SURVEYING, INC.
2. ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RECTIFYING ANY DISTURBED EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO, ANY AND ALL EXISTING UTILITIES, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.
7. TO AVOID MISUNDERSTANDING AND TO INSURE COMPLIANCE WITH SPECIFICATIONS, THE CONTRACTOR SHALL FURNISH A COPY OF EACH DRAWING OR ILLUSTRATION SHEET FOR REVIEW BY THE ENGINEER. THE CONTRACTOR SHALL NOT RELY ON THE CONTRACTOR'S RESPONSIBILITY FOR ERRORS OR OMISSIONS, DIMENSIONS, NOTATIONS, OR OTHER INFORMATION NOT SHOWN ON THE DRAWINGS.
8. THE LOCATION OF EXISTING FACILITIES WERE OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

SPECIFIC NOTES:

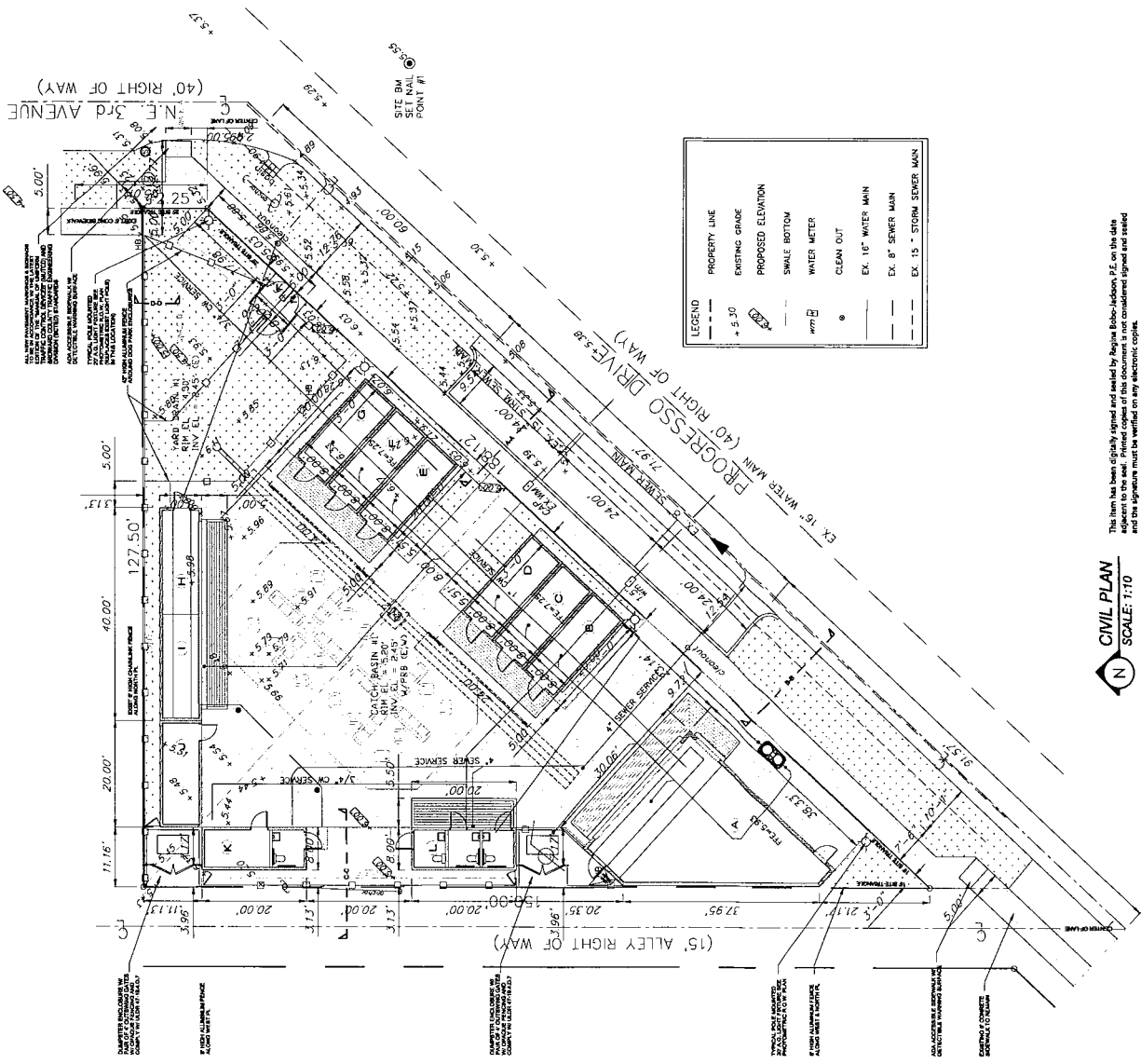
1. THE DISCHARGE OF ALL WASTEWATER MUST REMAIN INSITE. NO DISCHARGE IS ALLOWED INTO THE PUBLIC RIGHT OF WAY.
2. FOLLOWING EXHAUSTION WATER AND SEWER SERVICES SHOULD BE INSTALLED TO PREPARE FOR SURFACE CONCRETE PADS TO BE MANFOLD BELOW THE PROPOSED WASHROOM BUILDING (REFER TO PLUMBING PLANS).
3. ANY EXISTING PAVEMENT TO REMAIN IN ACCORDANCE WITH THE TRENCHING DETAIL ON C4).
4. NO NEW SEWER OR WATER SERVICES ARE PROPOSED.
5. THESE PLANS SHALL BE COORDINATED WITH THE PLUMBING AND LANDSCAPE PLANS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

SITE CALCULATIONS:

	EXISTING	PROPOSED
BUILDING FOOTPRINTS (AT GRADE)	1,079.50 FT ²	2,497.50 FT ²
EXIST. PAVED SURFACES	6,810.50 FT ²	0.50 FT ²
NEW PAVED SURFACES	0.50 FT ²	5,185.50 FT ²
GREEN AREA	2,529.50 FT ²	2,773.50 FT ²
TOTAL AREA	10,439.50 FT ²	10,463.50 FT ²
TOTAL PERVIOUS AREA	2,529.50 FT ²	2,773.50 FT ²
TOTAL IMPERVIOUS AREA	7,889.50 FT ²	7,689.50 FT ²
TOTAL 5/8" HALF AREA	4,115.50 FT ²	4,115.50 FT ²
TOTAL PERVIOUS AREA	1,802.50 FT ²	1,802.50 FT ²
TOTAL IMPERVIOUS AREA	2,313.50 FT ²	2,423.50 FT ²

DEMAND TABLE

Type Demand	Type Unit	ERCs/Unit	No. of Units	ERCs
Prior Wastewater Demand	Office	0.636	1,137	0.723
Prior Wastewater Demand	Office	0.636	1,137	0.723
Prop. Water Demand	Restaurant	2.495	737	1.839
	Bar	1.256	320	0.396
	Retail	0.55	960	0.528
Prop. Wastewater Demand	Restaurant	2.495	737	1.839
	Bar	1.256	320	0.396
	Retail	0.55	960	0.528



LEGEND

- PROPERTY LINE
- EXISTING GRADE
- PROPOSED ELEVATION
- SMALL BOTTOM
- WATER METER
- CLEAN OUT
- EX. 18" WATER MAIN
- EX. 8" SEWER MAIN
- EX. 15" STORM SEWER MAIN

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CIVIL PLAN
SCALE: 1:10



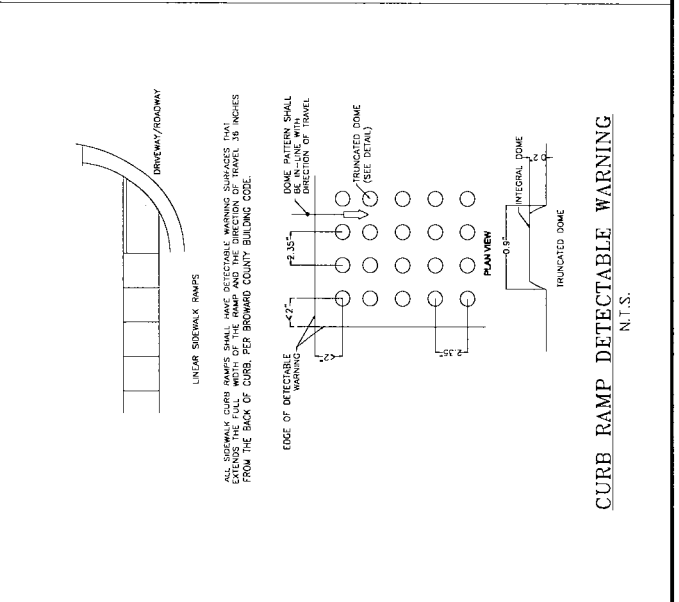
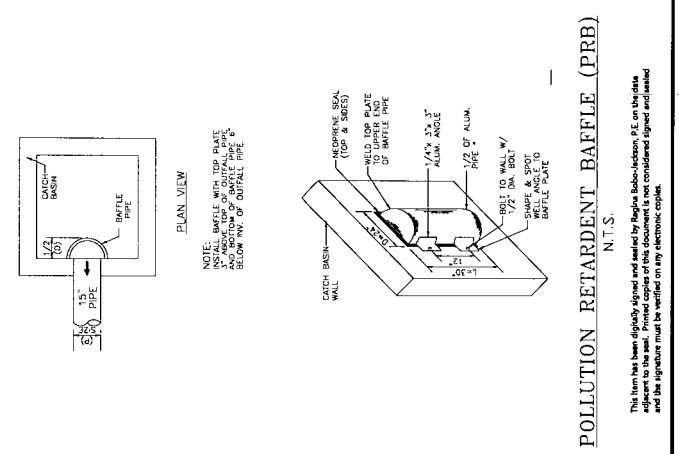
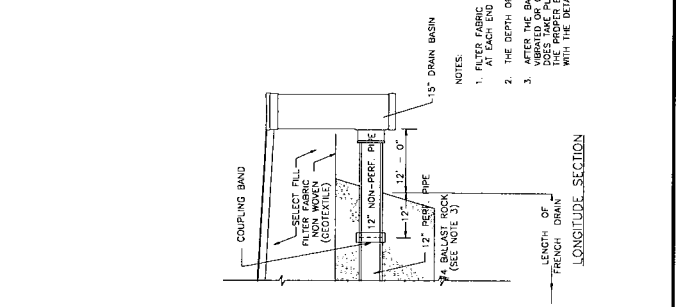
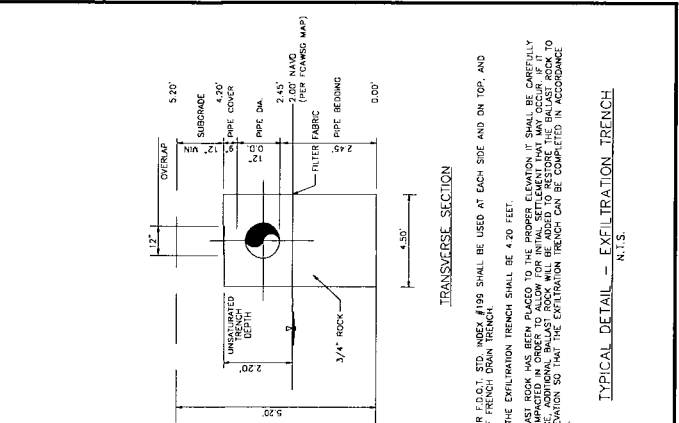
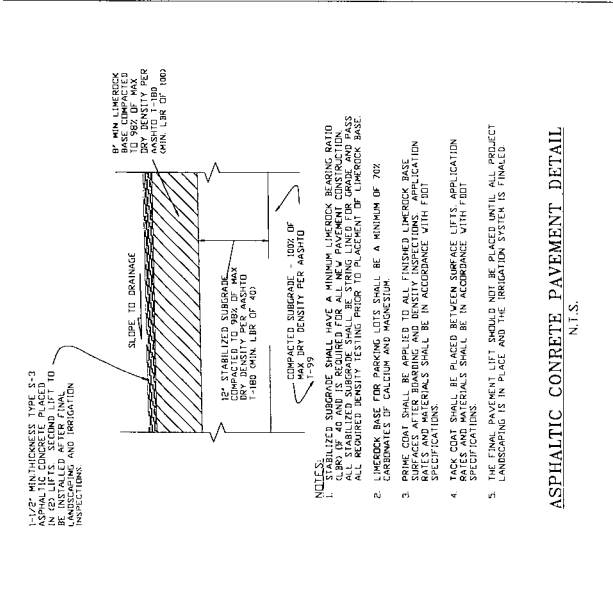
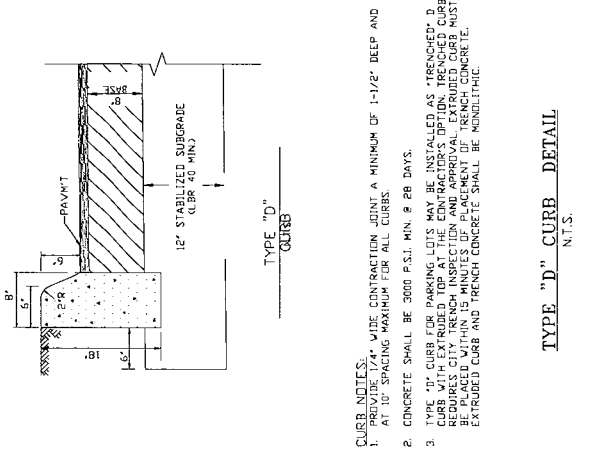
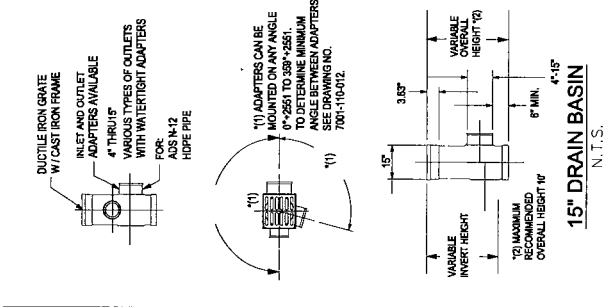
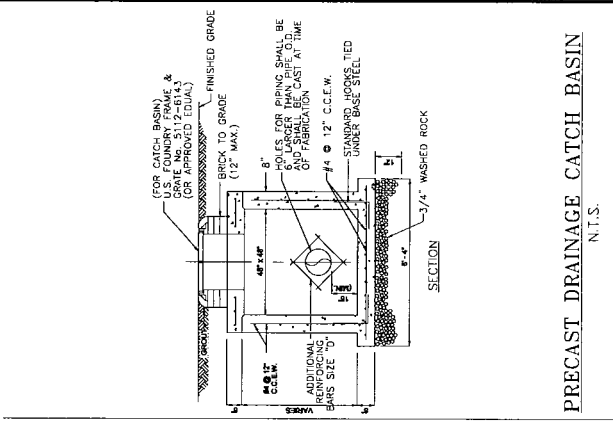
RAYOR ENGINEERING ASSOCIATES, INC.
11800 N.W. 11th Street
Coral Gables, FL 33134
TEL: (305) 454-8805 FAX: (305) 454-3904
CERTIFICATE OF AUTHORIZATION NUMBER 32230

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION

SCALE: AS SHOWN
DRAWN BY: J. L. BROWN
CHECKED BY: J. L. BROWN
DATE: 08/11/11
PROJECT: PROGRESSO PARK
SHEET TITLE
CIVIL PLAN
C2 of 4



This item has been digitally signed and sealed by Regina Bobo-Jackson, P.E. on the date adjacent to the seal. Printed copies of this document is not considered signed and sealed and the signature must be verified on any electronic copies.



Registered Architect:
ERIC CHANCELLOR
 DEC PARTNERS
 400 NW 7th Ave #395
 Fort Lauderdale, FL 33311
 954.507.7150
 A98770

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL
 33304

DATE	14.12.22
DRAWN BY	W.M.C.
CHECKED BY	W.M.C.
SCALE	AS SHOWN



PROJECT NO.	14-222
DATE	14.12.22
DRAWN BY	W.M.C.
CHECKED BY	W.M.C.
SCALE	AS SHOWN

DEMO SHEET

A101

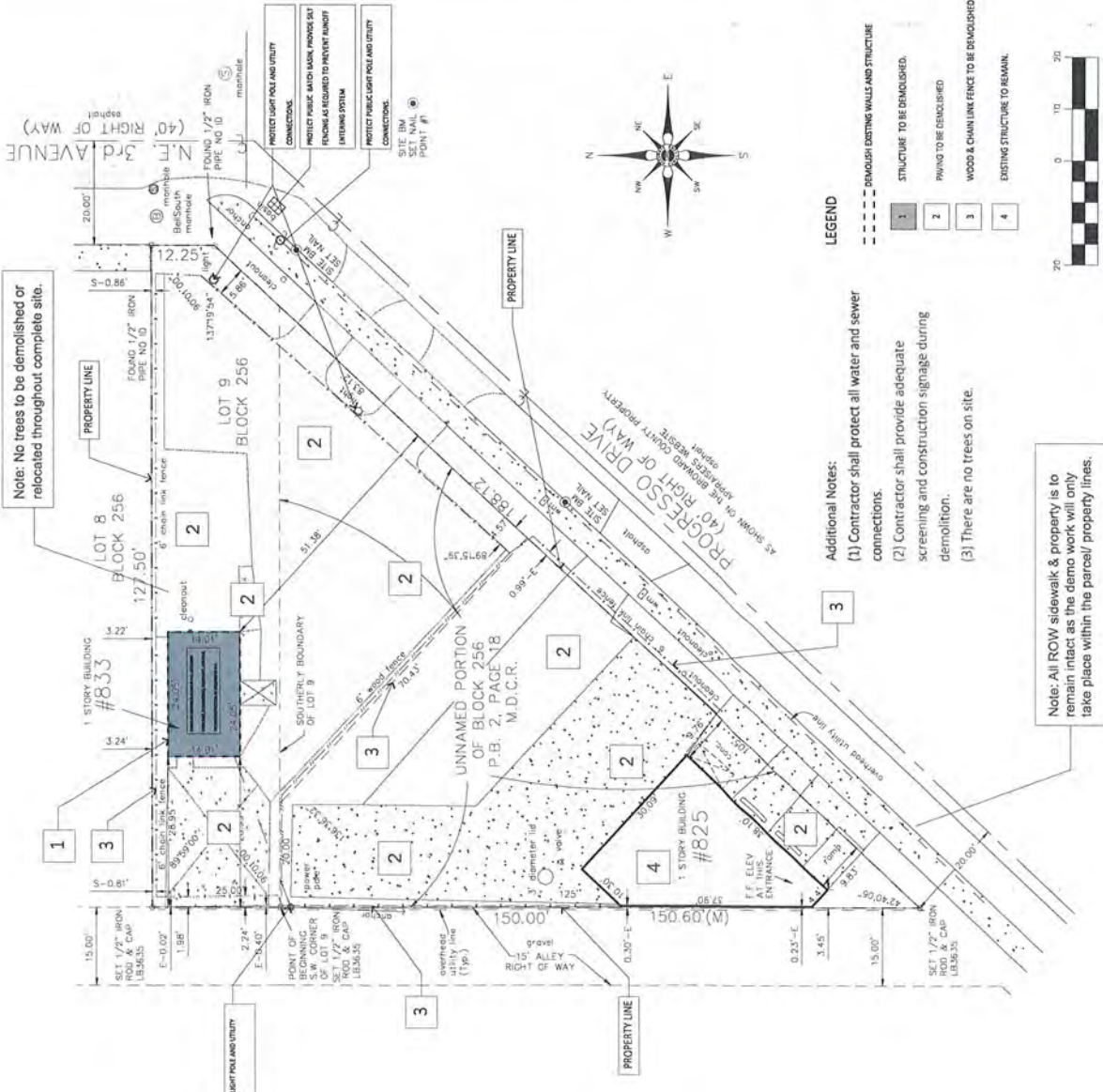
DEMO PERMIT

CODE SUMMARY

BUILDING INFORMATION	825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304
BUILDING ADDRESS	494234052470 & 494234052480
PARCEL ID	27-AUTO SALES, REPAIR AND STORAGE
EXISTING USE CODE	30,448 SF, 0.23 ACRES
SITE AREA	MWPAC-Mix-Use - MIXED-USE, NORTHEAST
ZONE	
BUILDINGS TO BE DEMOLISHED	#825
BUILDING TO REMAIN	#825
APPLICABLE CODES	REFS
THE BUILDING SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS, & GUIDELINES	
CODE OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA	
2020 IBC - BUILDING, 6TH EDITION	
2020 IBC - EXISTING BUILDING, 6TH EDITION	
2020 IBC - PLUMBING, 6TH EDITION	
2020 IBC - ACCESSIBILITY, 6TH EDITION	
2020 FLORIDA FIRE PREVENTION CODE	

DEMOLITION GENERAL NOTES

- THE PLANS ARE DIAGRAMMATIC ONLY AND MAY NOT SHOW ALL DEMOLITION WHICH MAY BE REQUIRED. THE CONTRACTOR MUST VISIT THE SITE TO DOCUMENT ALL SITE CONDITIONS WHICH WILL BE REMOVED TO CONSTRUCT THE PROJECT AS DOCUMENTED.
- CONTRACTOR SHALL LOCATE ALL LOAD BEARING WALLS, COLUMNS, ETC. PRIOR TO COMMENCING WORK AND SHALL PROTECT ALL STRUCTURAL ELEMENTS UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL SUPPORTS, ACCESSORIES AND CONVEYANCES RELATED TO EQUIPMENT AND FIXTURES THAT ARE REMOVED.
- EXISTING SURFACES SHALL BE CLEANED AND THE PATH SHALL BE PROPERLY PREPARED FOR THE INSTALLATION OF NEW EQUIPMENT. THIS IS TO BE INSTALLED AS PER MANUFACTURER'S SPECS AND GUIDELINES PRIOR TO RECEIVING NEW SCHEDULED FINISHES.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EIT WAYS AND SHALL NOT BLOCK ANY EXIT PATHS. IF AN EXIT PATH MUST BE BLOCKED, AN ALTERNATIVE MEANS OF EGRESS SHALL BE PROVIDED AS APPROVED BY THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION OR REMOVAL OF ANY HAZARDOUS MATERIAL INCLUDING BUT NOT LIMITED TO ASBESTOS IN ANY FORM. PARTIES RESPONSIBLE FOR DEMOLITION SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY SUSPECTED MATERIALS. ALL FEES SHALL BE PAID FOR BY THE GENERAL CONTRACTOR OF RECORD.
- AFTER DEMOLITION AND BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND IMMEDIATELY ALERT THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING FIELD CONDITIONS.
- UNLESS OTHERWISE NOTED, THE MATERIALS AND WORKMANSHIP REQUIRED IN SUCH REPAIR WORK SHALL CONFORM IN ALL RESPECTS TO THAT OF THE EXISTING SURFACES.
- SURFACES, SUCH AS PLASTER, DRYWALL, MASONRY, CONCRETE, ETC., SHALL BE MATCHED WITH SUFFICIENT ACCURACY SO THAT WHEN FINISHES ARE APPLIED, THE JUNCTURE BETWEEN EXISTING AND REPAIRED SURFACES SHALL BE INDETERMINABLE.
- FINISHES, INCLUDING PAINTS, CERAMIC TILES, TILE CEILINGS, VINYL WALL FABRICS, VINYL COMPOSITION TILES CARPETS, ETC., SHALL NOT BE PATCHED UNLESS SUCH AVAILABLE PATCHING MATERIALS ARE TOTALLY INDISTINGUISHABLE FROM THE EXISTING. IF NOT AND UNLESS OTHERWISE NOTED, PROVIDE ALL NEW FINISHES FOR ENTIRE FLOOR, WALL, CEILING, ETC. OR PORTION OF THE SAME, IF A DISTINCT BREAK OR CHANGE OF PLANS OCCUR.
- SAVAGED MATERIALS MAY BE USED AS A SOURCE OF MATCHING MATERIALS FOR PATCHING, WHEN APPROVED BY OWNER.
- DURING DEMOLITION, THE CONTRACTOR SHALL MAINTAIN FREE AND SAFE PASSAGE TO AND THROUGH THE WORK AS REQUIRED. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN DUST-PROOF PARTITIONS AND/OR BARRICADES AS REQUIRED.



Note: No trees to be demolished or relocated throughout complete site.

- Additional Notes:**
- Contractor shall protect all water and sewer connections.
 - Contractor shall provide adequate screening and construction signage during demolition.
 - There are no trees on site.

Note: All ROW sidewalk & property is to remain intact as the demo work will only take place within the parcel/ property lines.

GRAPHIC SCALE
1"=20'



ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1521 GUNN RD.
WINTER PARK, FL 32789
850.380.3000
48977C
FLORIDA PROFESSIONAL ENGINEER



PROGRESSO PARK

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL
33304

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL
33304

NO.	DATE	REVISION
1	14.02.22	RESTROOM LAYOUT

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UNPUBLISHED OR PROPRIETARY
DATE: 11/14/2021
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

SITE PLAN, CODE REVIEW & LIFE SAFETY
A010

CHANGE OF USE PERMIT
TO THE NEXT WHOLE NUMBER.

CODE SUMMARY	
BUILDING INFORMATION	825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304
PARCEL ID:	49423602470 & 49423602340
EXISTING USE CODE:	27- AUTO SALES, REPAIR AND STORAGE
SITE AREA:	10,446 SF, 0.23 ACRES
ZONE:	MPRAC-Mixed - MEDIUM-DENSITY NORTH-EAST
APPLICABLE CODES:	THE BUILDING SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS, & GUIDELINES CODE OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA
2020 IBC - BUILDING, 6TH EDITION	
2020 IBC - PLUMBING, 6TH EDITION	
2020 IBC - ACCESSIBILITY, 6TH EDITION	
2020 FLORIDA FIRE PREVENTION CODE	
CHANGE OF OCCUPANCY	COMMERCIAL USED CAR SALES
EXISTING OCCUPANCY	MIXED-USE, "A-2" ASSEMBLY WITH "B" AND "M" MERCANTILE
PROPOSED OCCUPANCY	MIXED-USE WITH "B" AND "M" MERCANTILE
CONSTRUCTION TYPE	CHAPTER 10, 2020 IBC EXISTING BUILDING, 6TH EDITION
II-B	
MASONRY EXTERIOR BEARING WALLS WITH COMBUSTIBLE ROOF CONSTRUCTION	CHAPTER 6, 2020 IBC BUILDING, 6TH EDITION
FIRE AND SMOKE RATINGS	TABLE 601.2, 2020 IBC BUILDING, 6TH EDITION
EXTERIOR BEARING WALLS	2 HRS
INT. NON-BEARING WALLS, FLOOR & ROOF CONSTRUCTION	0 HRS
FIRE PROTECTION SYSTEMS	CHAPTER 9, 2020 IBC BUILDING, 6TH EDITION
NON-SPRINKLERED (PERMANENTLY NOT REQUIRED IF OCCUPANCY UNDER 50K, NOTE EXCEPTION # FC-W13.1.1.2)	
AUTOMATIC FIRE ALARM SYSTEM WITH AUTOMATIC FIRE DETECTION	
PORTABLE FIRE EXTINGUISHERS	
BUILDING HEIGHT AND AREA	ONE STORY
BUILDING HEIGHT:	ONE STORY ALLOWED WITHOUT SPRINKLERS
BUILDING AREA:	2,497 SQUARE FEET
5,500 SF ALLOWED WITHOUT SPRINKLERS	
TABLE 504.2 & 504.4, 2020 IBC BUILDING, 6TH EDITION	
TABLE 506.2, 2020 IBC BUILDING, 6TH EDITION	
SEC 47-13.21	
PLANT COVERAGE:	2,497 SF @ 0.23 AC = 23.5% 90% ALLOWED
SETBACKS:	15 FT MIN. ABUTTING RESIDENTIAL
MEANS OF EGRESS:	
PRIMARY OCCUPANT LOAD FACTORS	OCCUPANCY SF
RESTAURANT (ASSEMBLY/ UNCONCENTRATED)	1 PER 15
737 SF x 1.175 = 865 P	
BAR (ASSEMBLY/ UNCONCENTRATED)	1 PER 15
320 SF x 1.175 = 375 P	
OUTDOOR SEATING (ASSEMBLY/ UNCONCENTRATED)	1 PER 15
1,400 SF x 1.175 = 1,645 P	
RETAIL (MERCANTILE)	1 PER 60
960 SF x 1.00 = 960 P	
STORAGE (STORAGE S-1)	1 PER 300 SF GROSS
320 SF x 1.2500 = 2.9 P	
TOTAL OCCUPANCY LOAD:	183 PERSONS
12 EXITS (CLASS "A")	
TABLE 1004.1.2, 2020 IBC	
TABLE 1004.1.2, 2020 IBC	
TABLE 1006.1.1, 2020 IBC	
FIG. A.7.3.1.3.2, 2018 IFPA 101	
SEC 1004.4, 2020 IBC	
RESTROOM REQUIREMENTS:	
RESTAURANT (1 WC / 75 P)	50 P / 75 P = 0.67 WC
BAR (1 WC / 40 P)	37 P / 40 P = 0.93 WC
OUTDOOR SEATING (1 WC / 40 P)	93 P / 40 P = 2.33 WC
RETAIL (1 WC / 100 P)	16 P / 100 P = 0.16 WC
STORAGE (1 WC / 100 P)	2 P / 100 P = 0.02 WC
TOTAL WATER CLOSETS REQUIRED:	3.58 WC
TOTAL WATER CLOSETS PROVIDED:	4.0 WC
(4) SINGLE OCCUPANT ACCESSIBLE TOILET ROOMS	

FIRE SAFETY LEGEND

REFER TO FLOOR PLAN AND PARTITION TYPES FOR SPECIFIC PARTITION LOCATIONS AND DETAILS.

ROOM NAME	ROOM OCCUPANT LOAD
XXX SF	AREA IN SQ FT
XX SF	OCCUPANT LOAD FACTOR
ACTUAL = XXX	OCCUPANT LOAD
(IF APPLICABLE)	ACTUAL OCCUPANT LOAD
	EXIT CAPACITY
	ACTUAL LOAD
	EXIT CAPACITY

DIRECTIONAL OF TRAVEL WHICH ACCUMULATED OCCUPANT LOAD
 HORIZONTAL EXIT
 MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT
 EXIT
 AREA OF REFUGE
 NON-ACCESSIBLE EXIT
 ACCESSIBLE EXIT
 CLASS "K" PORTABLE FIRE EXTINGUISHER
 EDGE-LIT DIRECTIONAL EXIT SIGN

FIRE RATING DESIGNATIONS

SMOKE PARTITION

- 1 HOUR FIRE SEPARATION WALL
- 2 HOUR FIRE SEPARATION WALL
- 3 HOUR FIRE SEPARATION WALL
- 4 HOUR FIRE SEPARATION WALL

PARKING CALCULATIONS

RESTAURANT (1 / 100 SF GFA)
865 (1 / 66 SF GFA)

OUTDOOR SEATING (1 / 66 SF GFA)

NORMAL MULTI-UNIT DISTRICT PARKING REQUIREMENT (1 PER 200 SF GFA OCCUPANCY)

RETAIL (1 / 200 SF GFA)
320 SF / 80 SF = 4.00 SPACES

STORAGE (1 / 80 SF GFA)
160 SF / 0 SF = 0.00 SPACES

DOG PARK (NONE REQUIRED)

1280 SF / 0 SF = 0.00 SPACES

TOTAL
4.24 SPACES

NWPRAC-MIXED DISTRICT PARKING REQUIREMENT (60% OR REQUIRED PARKING)

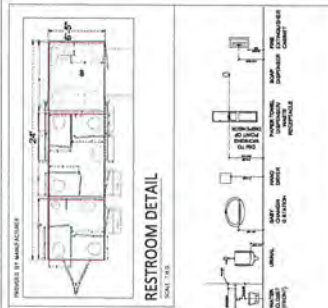
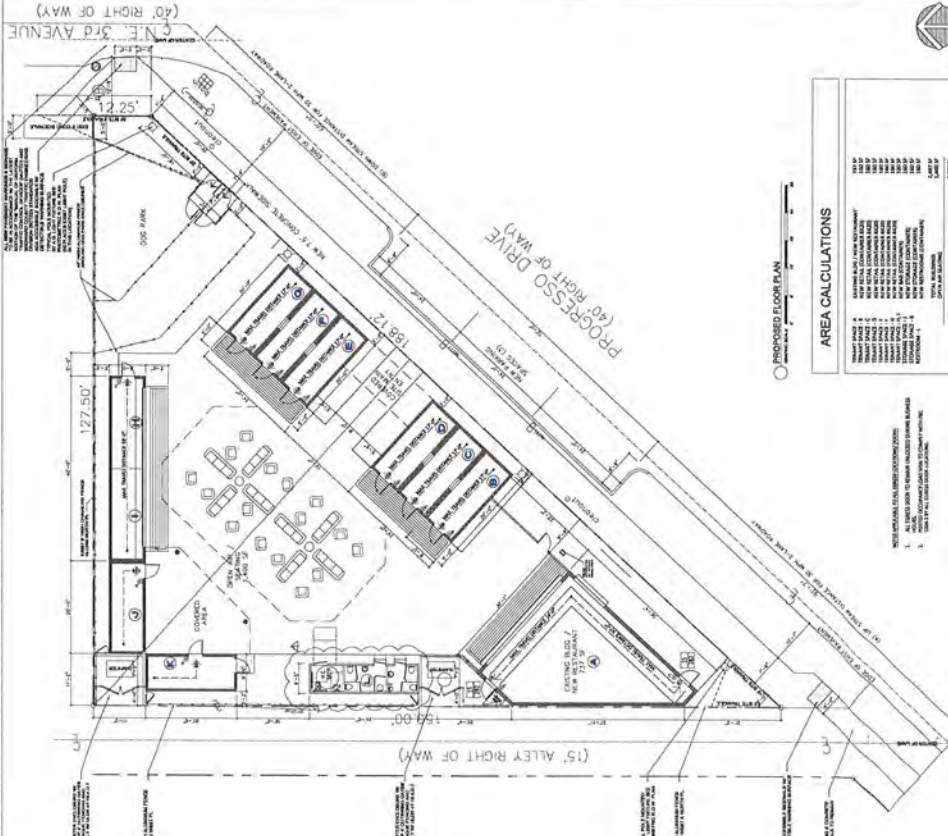
4.24 SPACES x 0.60 = 2.54 SPACES

2.54 SPACES
3.0 SPACES
(3.0 ON-STREET PARKING SPACES)

TOTAL PARKING SPACES REQUIRED

TOTAL PARKING SPACES PROVIDED

TABLE 1, SEC 47-35.35 FT. LAURELZONING AND TABLE 2, SEC 47-50.1 FT. LAURELZONING



DRAINAGE CALCULATION
FOR
825-833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA
NOVEMBER, 2020

Prepared By:

Gator Engineering Associates, Inc.
11390 Temple Street
Cooper City, Florida 33330

GEC Project No. 20017

Signed: **Regina Bobo-Jackson**
Digitally signed by Regina Bobo-Jackson
Date: 2020.11.07 19:01:20 -05'00'



Regina Bobo-Jackson, P.E.
P.E. No. 0038550
Dated: _____
Pages 1-39

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I. INTRODUCTION

The project, 825-833 Progresso Drive, is proposed on a 10,405 square feet (0.239 Ac) site located at Progresso Drive within the City of Fort Lauderdale, Broward County, Florida. The project proposes the development of an existing building, 3 additional modular units with supporting outdoor seating.

The site drainage is design to satisfy the Broward County Surface Water Management Division and SFWMD drainage criteria and regulations.

II. GIVEN PARAMETERS

- The average wet season water table is 2.00' NAVD per the FCAWSG map.
- Flood Zone: X
Map No.: 125105/120011C 0369H
Base Flood Elevation: N/A
- The average existing site grade is 5.56' NAVD
- Site elevations

Road Crown (Progresso Drive)
Proposed Finish Floor

Highest Elevation = 5.38' NAVD
Elevation = 7.25' NAVD

III. SITE BREAKDOWN

	EXISTING	PROPOSED
• Total	(0.239 Ac)	(0.239 Ac)
• Impervious		
Buildings	(0.025 Ac)	(0.057 Ac)
Parking Areas & Sidewalk	(0.156 Ac)	(0.119 Ac)
• Pervious	(0.058 Ac)	(0.063 Ac)