



BOARD OF ADJUSTMENT MEETING NOTICE

Date: May 2nd, 2025

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, May 14th, 2025 at 6:00 pm.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-25020001
OWNER:	COMAS TUSELL, EDILBERT; CARO RODRIGUEZ, SARA
AGENT:	GRAELL, ADRIANA
ADDRESS:	1208 NORTH EAST 16 TERRACE, FORT LAUDERDALE, FL 33304
LEGAL DESCRIPTION:	LOT 15, BLOCK 100 OF PROGRESSO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LANDS SITUATE LYING AND BEING IN BROWARD COUNTY, FLORIDA.
ZONING DISTRICT:	RC-15 - RESIDENTIAL SINGLE FAMILY AND CLUSTER/MEDIUM DENSITY
COMMISSION DISTRICT:	2
REQUESTING:	<u>Sec. 47-5.33. - Table of dimensional requirements for the RC-15 and RCs-15 districts. (Note A)</u>

- Requesting a variance from the required 5-foot side yard setback for a proposed conversion of an existing carport into a garage to be reduced to 2.7 feet, a total variance request of 2.3 feet.

Sec. 47-19.2.B - Accessory buildings, structures and equipment, general.

- Requesting a variance to allow an existing 1.6' deep overhang to remain whereas the code limits the maximum overhang depth to 0.9', or one-third of the setback (2.7' setback x 1/3 = .9') a total variance request of 0.7 feet

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA> OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR



Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-25020001

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet

Graphic Scale

PLN-BOA-25020001

Sec. 47-5.33. - Table of dimensional requirements for the RC-15 and RCs-15 districts. (Note A)

<i>Requirements</i>	<i>Single Family Dwelling</i>	<i>Single Family Dwelling, Attached: Duplex/Two(2) Family Dwelling</i>	<i>Single Family Dwelling: Zero-Lot-Line</i>	<i>Single Family Dwelling, Attached: Cluster</i>	<i>Single Family Dwelling Attached: Townhouses</i>
Maximum density (du/net acre)	15	15	15	15	15
Minimum lot size (sq. ft.)	5,000	5,000 2,500 each du	4,000	2,500 each du	7,500
Maximum structure height (ft.)	35	35	35	35	35
Maximum structure length (ft.)	None	None	None	None	200
Minimum lot width (ft.)	50	50	40	See Section 47-18.9	50
Minimum floor area (sq. ft.)	750 each du	400 each du	1,000	750 each du	750 each du
Minimum front yard (ft.)	25	25	25	15	25
Minimum corner yard (ft.)	25% of lot width but not less than 10 ft. nor greater than 25 ft. 20 ft. when abutting a waterway	25% of lot width but not less than 10 ft. nor greater than 25 ft. 20 ft. when abutting a waterway	See Section 47-18.38 20 ft. when abutting a waterway	Same as for single family requirement 20 ft. when abutting a waterway	25% of lot width but not less than 10 ft. nor greater than 25 ft. 20 ft. when abutting a waterway
Minimum side yard (ft.)	5 ft. - up to 22 ft. in height for one or two story buildings Where a building exceeds 22 ft. in	Same as single family requirement 20 ft. when abutting a waterway	See Section 47-18.38 20 ft. when abutting a waterway	Same as for single family requirement 20 ft. when abutting a waterway	See Section 47-18.33 20 ft. when abutting a waterway

	height that portion of the building above 22 ft. shall be set back an additional foot per foot of additional height 20 ft. when abutting a waterway				
Minimum rear yard (ft.)	15 20 ft. when abutting a waterway	15 20 ft. when abutting a waterway	15 20 ft. when abutting a waterway	Same as single family requirement 20 ft. when abutting a waterway	20
Minimum distance between buildings (ft.)	None	None	None	10	None

Note A: Dimensional requirements may be subject to additional regulations, see [Section 47-23](#), Specific Location Requirements, and [Section 47-25](#), Development Review Criteria.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-27, § 4, 5-4-99; Ord. No. [C-17-47](#), § 15, 1-3-18; [Ord. No. C-23-40](#), § 3, 10-17-23)

Sec. 47-19.2.B - Accessory buildings, structures and equipment, general

B. *Architectural features in residential districts.* Architectural features such as eaves, cornices, unenclosed balconies with open railings, window sills, awnings, chimneys, bay windows, and dormers accessory to a residential use are permitted to extend into a yard area a maximum distance of three (3) feet from the face of the building, or one-third ($\frac{1}{3}$) of the required yard, whichever is less. Unenclosed balconies with open railings may extend into the front yard a maximum distance of five (5) feet from the face of the building and may extend the entire linear length of the front facade. Accessory uses which encroach into any yard area, excluding unenclosed balconies encroaching into the front yard, are permitted to have a total combined linear facade length not greater than twenty (20) percent of the total linear length of the facade to which they are attached. Items such as windowsills or belt courses which extend six (6) inches or less into the yard area shall not be considered for the length limitation. Eaves shall not be subject to the length limitation. The dimensional limitations of this subsection shall not apply and the provisions of subsection C. shall apply to awnings accessory to a residential use in a nonresidential zoning district.

Record

Showing 1-7 of 7

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-25020001	REQUEST FOR VARIANCE FOR CARPORT TO GARAGE CONVER...	COMAS	Z- Board of Adjustment (BOA)	792		1208	NE	16	TER		Open
<input type="checkbox"/>	BLD-GEN-24110484	CARPORT ENCLOSURE TO GARAGE.	Alteration Permit	Structural Permit	530		1208	NE	16	TER		Awaiting C
<input type="checkbox"/>	BLD-WIN-24110449	REPLACE 7 WINDOWS AND 2 DOORS TO HURRICANE IMPACT. I	Window and Door Permit	Structural Permit	0		1208	NE	16	TER		Issued
<input type="checkbox"/>	ELE-SERV-24070029	OH to UG conversion, new meter and mb pane	Electric Services Permit	Electrical Permit	0		1208	NE	16	TER		Complete
<input type="checkbox"/>	CE23060718	TRASH BINS LEFT OUT ON THE SIDE OF THE STREET I		Code Case	0	Bernstein Saim...	1208	NE	16	TER		Closed
<input type="checkbox"/>	PM-16060825	REROOF FLAT AND SHINGLE 1583SF I	REROOF FLAT AND SHINGLE 1583SF I	Re-Roof Permit	0		1208	NE	16	TER		Complete
<input type="checkbox"/>	AB-0078920		ROYSTON,HERMENIA I	Resident/Business Aarm Registration	0		1208	NE	16	TER		Active



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: May 14th, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25020001

Sec. 47-5.33. - Table of dimensional requirements for the RC-15 and RCs-15 districts.
(Note A)

- Requesting a variance from the required 5-foot side yard setback for a proposed conversion of an existing carport into a garage to be reduced to 2.7 feet, a total variance request of 2.3 feet.

Sec. 47-19.2.B - Accessory buildings, structures and equipment, general.

- Requesting a variance to allow an existing 1.6' deep overhang to remain whereas the code limits the maximum overhang depth to 0.9', or one-third of the setback (2.7' setback x 1/3 = .9') a total variance request of 0.7 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING:
www.fortlauderdale.gov/FLTV , www.youtube.com/cityoffortlauderdale or Cable
Television- Comcast Channel 78 and AT&T U-Verse Channel 99
TO VIEW MORE INFORMATION ABOUT THIS ITEM:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-25020001

APPLICANT: EDILBERT COMAS TUSELL

PROPERTY: 1208 NE 16 TERRACE

PUBLIC HEARING DATE: MAY 14 2025

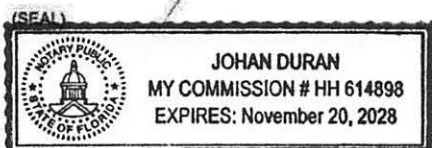
BEFORE ME, the undersigned authority, personally appeared EDILBERT COMAS TUSELL who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale I/LDR I will forfeit my sign deposit. ECT (initial here)

[Handwritten Signature]
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 29 day of April, 2025



[Handwritten Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
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- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-25020001

APPLICANT: SARA CARO RODRIGUEZ

PROPERTY: 1208 NE 16 TERRACE

PUBLIC HEARING DATE: MAY 14 2025

BEFORE ME, the undersigned authority, personally appeared SARA CARO RODRIGUEZ who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
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5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. SCR (Initial here)


Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 29 day of April, 2025



Johan Duran
NOTARY PUBLIC
MY COMMISSION EXPIRES:



 CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING
DATE: May 14th, 2025 TIME: 6:00 P.M. CASE: PLN-BOA-25020001

Sec. 47-5.33 - Table of dimensional requirements for the RC-15 and RCs-15 districts, (Note A)

- Requesting a variance from the required 5-foot side yard setback for a proposed conversion of an existing carport into a garage to be reduced to 2.7 feet, a total variance request of 2.3 feet.

Sec. 47-19.2.8 - Accessory buildings, structures and equipment, general.

- Requesting a variance to allow an existing 1'4" deep overhang to remain whereas the code limits the maximum overhang depth to 0'9", or one-third of the setback (2.7' setback x 1/3 = 0.9") a total variance request of 0.7 feet.

GENERAL DEVELOPMENT SERVICES DEPARTMENT
100 S.W. 1ST AVENUE
FORT LAUDERDALE, FL 33301
CONTACT: 784-889-3400

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING:
www.fortlauderdale.gov/boa www.fortlauderdale.gov/development
Fort Lauderdale Community Center, 100 S.W. 1ST AVENUE, Fort Lauderdale, FL 33301
FOR MORE INFORMATION CONTACT: 784-889-3400 www.fortlauderdale.gov/government/boa



CITY OF FORT LAUDERDALE
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
 DATE: May 14th, 2025 TIME: 6:00 P.M. CASE: PLN-BOA-25020001

Item #1: S.D.S. - State of dimensional requirements for the RC, IS and RC-13 districts.
 Respecting a variance from the minimum 6-foot side yard setback for a proposed construction of an existing 1-carport with a garage to be reduced to 3.5 feet in total volume a request of 2.5 feet.

Item #2: S.D.S. - Accessory buildings, structures and equipment, general.
 Respecting a variance to allow an existing 1.4-acre structure to remain whereas the Code Book minimum setbacks depth to 8' 0" on one side of the setback (3.0' setback x 1.5 x 3') a total minimum setbacks depth to 8' 0" on one side of the setback (3.0' setback x 1.5 x 3') a total

For more information, please contact the Planning Department at (954) 346-2200 or visit our website at www.fortlauderdale.gov. This notice is posted in accordance with the Florida State Constitution and the City of Fort Lauderdale Charter. The City of Fort Lauderdale is an Equal Opportunity and Affirmative Action Employer. Minorities and women are encouraged to apply.



PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
DATE: 04/14/2025 TIME: 10:00 AM
LOCATION: 1208 S. PALM BLVD. (SEE MAP)



1208

Public Notice
Board of Adjustment Meeting
Date: 08/26/2024
Time: 7:00 PM
Location: City of Palm Beach, Board of Adjustment Meeting Room
Agenda Item: 1208
The following is a public notice of a meeting of the Board of Adjustment, which is a public hearing on the application for a Special Use Permit for the property located at 1208 [Address]. The meeting will be held on the date and at the time and location specified above. The purpose of the meeting is to hear the applicant's presentation and to receive public input on the application. The meeting will be held in the Board of Adjustment Meeting Room, located at [Address]. The meeting will be held in the Board of Adjustment Meeting Room, located at [Address]. The meeting will be held in the Board of Adjustment Meeting Room, located at [Address].



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL
Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input checked="" type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	
NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT	
Property Owner's Name	EDLBERT COMAS TUSELL & SARA CARO RODRIGUEZ
Property Owner's Signature	<i>[Signature]</i>
Address, City, State, Zip	1208 NE 16 TERRACE, FORT LAUDERDALE, FL 33304
E-mail Address	edibcn@gmail.com
Phone Number	786 541 4115
Proof of Ownership	<input type="checkbox"/> Warranty Deed, or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent PROPERTY OWNER, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	PRESIDENT	ADRIANA GRAELL
Applicant / Agent's Signature	<i>[Signature]</i>	
Address, City, State, Zip	1208 NE 16 TERRACE	
E-mail Address	ADRIANA GRAELL	info@windowmoresolutions.com
Phone Number	(954) 534-1960	
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>	

Include ANY Related code case/permit #	
Existing / New	Existing <input checked="" type="checkbox"/> BLD-GEN-24110484 New <input type="checkbox"/>
Project Address	Address: 1208 NE 16 TER, FORT LAUDERDALE, FL 33304
Legal Description	SEE SURVEY
Tax ID Folio Numbers <i>(For all parcels in development)</i>	4942 34 02 8830
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	Convert carport to garage, existing North side setback for carport is 2.7' would like for the proposed garage to stay at the same side setback 2.7' instead of 5'
Applicable ULDR Sections <i>(include all code sections)</i>	47-5.33 & 47-17.2.B

Current Land Use Designation	37 Medium (16) Residential
Current Zoning Designation	RC-15
Current Use of Property	RESIDENTIAL
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)			Required	Proposed
Front	30.95'	WEST	25'	25'
Side	2.5'	NORTH	5'	2.7'
Side	7.7'	SOUTH	5'	7.7'
Rear	73.45'	EAST	15'	73.45'

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application. **Note:** A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

The existing carport does not protect the vehicle, and we are not able to store anything on the carport, such as bicycles. We would like to make use of the carport space. We do need the width up to where the existing carport is as of now in order to fit the car, if we move to the current code requested side setback the car will barely fit however, there is no space to get down from the car, which will defeat the purpose for the garage.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

The carport is already at the requested side setback, for this reason it will not affect the neighbor and will improve the look of the property therefore the neighborhood look will be improved as well. There are other properties on the neighborhood that have done the change with the same scenario due to the size of lot. The lot is long but not very wide, we just would like to make use of all of the existing space as possible.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Minimum side yard (ft.) 5 ft. as per Sec. 47-5.33 Table of dimensional requirements for the RC-15 and the RCs-15 districts, for single family Dwelling

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

The house was built with the carport, No changes have been done to the carport in anyway.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The variance will make possible for the carport to be use as a garage to park the car, will not be incompatible with adjoining properties, and it will not be detrimental for the public welfare. It will be an improvement.

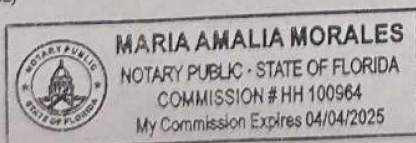
AFFIDAVIT: I, EDILBERT COMAS TUSELL the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 16th day of FEBRUARY, 2025

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

The existing carport does not protect the vehicle, and we are not able to store anything on the carport, such as bicycles. We would like to make use of the carport space. We do need the width up to where the existing carport is as of now in order to fit the car, if we move to the current code requested side setback the car will barely fit however, there is no space to get down from the car, which will defeat the purpose for the garage.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

The carport is already at the requested side setback, for this reason it will not affect the neighbor and will improve the look of the property therefore the neighborhood look will be improved as well. There are other properties on the neighborhood that have done the change with the same scenario due to the size of lot. The lot is long but not very wide, we just would like to make use of all of the existing space as possible.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Minimum side yard (ft.) 5 ft. as per Sec. 47-5.33 Table of dimensional requirements for the RC-15 and the RCs-15 districts, for single family Dwelling

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

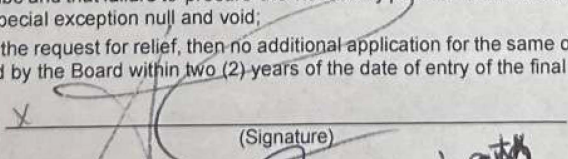
The house was built with the carport, No changes have been done to the carport in anyway.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

The variance will make possible for the carport to be used as a garage to park the car, will not be incompatible with adjoining properties, and it will not be detrimental to the public welfare. It will be an improvement.

AFFIDAVIT: I, SARA CARO RODRIGUEZ the Owner/Agent of said property ATTEST that I am aware of the following:

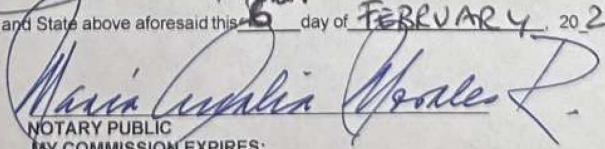
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

X  (Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 6th day of FEBRUARY, 2023

(SEAL)




NOTARY PUBLIC
MY COMMISSION EXPIRES:



Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE.** The applicant will need to meet with staff **PRIOR** to submitting the BOA application submittal via Lauderbuild. *Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.

- **Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: 02/28/2025
- **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. **Page 4** of the BOA application is due **AFTER** sign(s) are posted.
- **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- **Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- **Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- **Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19TH Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".



Site Address	1208 NE 16 TERRACE, FORT LAUDERDALE FL 33304-2323	ID #	4942 34 02 8830
Property Owner	COMAS TUSELL, EDILBERT CARO RODRIGUEZ, SARA	Millage	0312
Mailing Address	1208 NE 16 TER FORT LAUDERDALE FL 33304-2323	Use	01-01
Abbr Legal Description	PROGRESSO 2-18 D LOT 15 BLK 100		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2025 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2025*	\$37,150	\$414,800	\$451,950	\$375,630	
2024	\$37,150	\$414,800	\$451,950	\$365,050	\$6,658.40
2023	\$37,150	\$380,480	\$417,630	\$354,420	\$6,515.83

2025* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$451,950	\$451,950	\$451,950	\$451,950
Portability	0	0	0	0
Assessed/SOH 22	\$375,630	\$375,630	\$375,630	\$375,630
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,722	0	\$25,722	\$25,722
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$324,908	\$350,630	\$324,908	\$324,908

Sales History			
Date	Type	Price	Book/Page or CIN
1/14/2021	WD-Q	\$319,900	117005613
1/11/2019	QCD-T	\$100	115561306
11/27/2013	WD-Q	\$160,000	111970746
3/12/2013	WD-D	\$153,000	111412122
4/1/1979	WD	\$44,900	8142 / 881

Land Calculations		
Price	Factor	Type
\$5.50	6,755	SF
Adj. Bldg. S.F. (Card, Sketch)		961
Units/Beds/Baths		1/2/1
Eff./Act. Year Built: 1952/1947		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I, EDILBERT COMAS TUSELL (“Owner”) as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
 property located at 1208 NE 16 TERRACE (“Property”), do hereby authorize
[Print Property Address]
ADRIANA GRAELL (“Authorized Agent”) to act as my agent regarding the submittal
[Print First and Last Name of Agent]
 of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
 scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and
 location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special
 exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to
 accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding
 all issues related to my pending variance/special exception application. I understand and agree that, as the
 Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception
 application, all required hearing appearances related to my variance/special exception application, and any
 request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and
 or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and
 agree, the City will mail or deliver all notices relating to my pending variance/special exception application to
 my property address, as listed on my variance/special exception application. I further understand and agree,
 the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized
 Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,
 and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before
 the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS
 AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
 representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
 any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
 of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
 including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
 action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
 employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

Johan Duran
Witness Signature
Johan Duran
Print Name
02-07-2025
Date

[Signature]
Signature - Owner/ Authorized Individual
EDILBERT COMAS
Print Name - Owner/ Authorized Individual
OWNER
Print Title - Authorized Individual

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 07 day of FEBRUARY, 2025, by EDILBERT COMAS, an individual who is personally known to me or has produced FL DL as identification

[NOTARY SEAL]



[Signature]
(Signature of Notary Public- State of Florida)
04/04/2025
My Commission Expires:
MARIA AMALIA MORALES
Print, Type, or Stamp Commissioned Name of Notary Public)



BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I SARA CARO RODRIGUEZ ("Owner") as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
property located at 1208 NE 16 TERRACE ("Property"), do hereby authorize
[Print Property Address]

ADRIANA GRAELL ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]
of a variance/special exception application to the City of Fort Lauderdale and appear at any and all
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AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,
representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, a part from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this Agent Authorization Form. ***Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

[Signature]
Witness Signature
Wilson Galvis
Print Name
02/07/25
Date

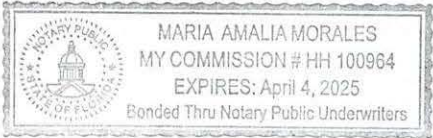
[Signature]
Signature - Owner/Authorized Individual
SARA CARO RODRIGUEZ
Print Name - Owner/ Authorized Individual
OWNER
Print Title - Authorized Individual

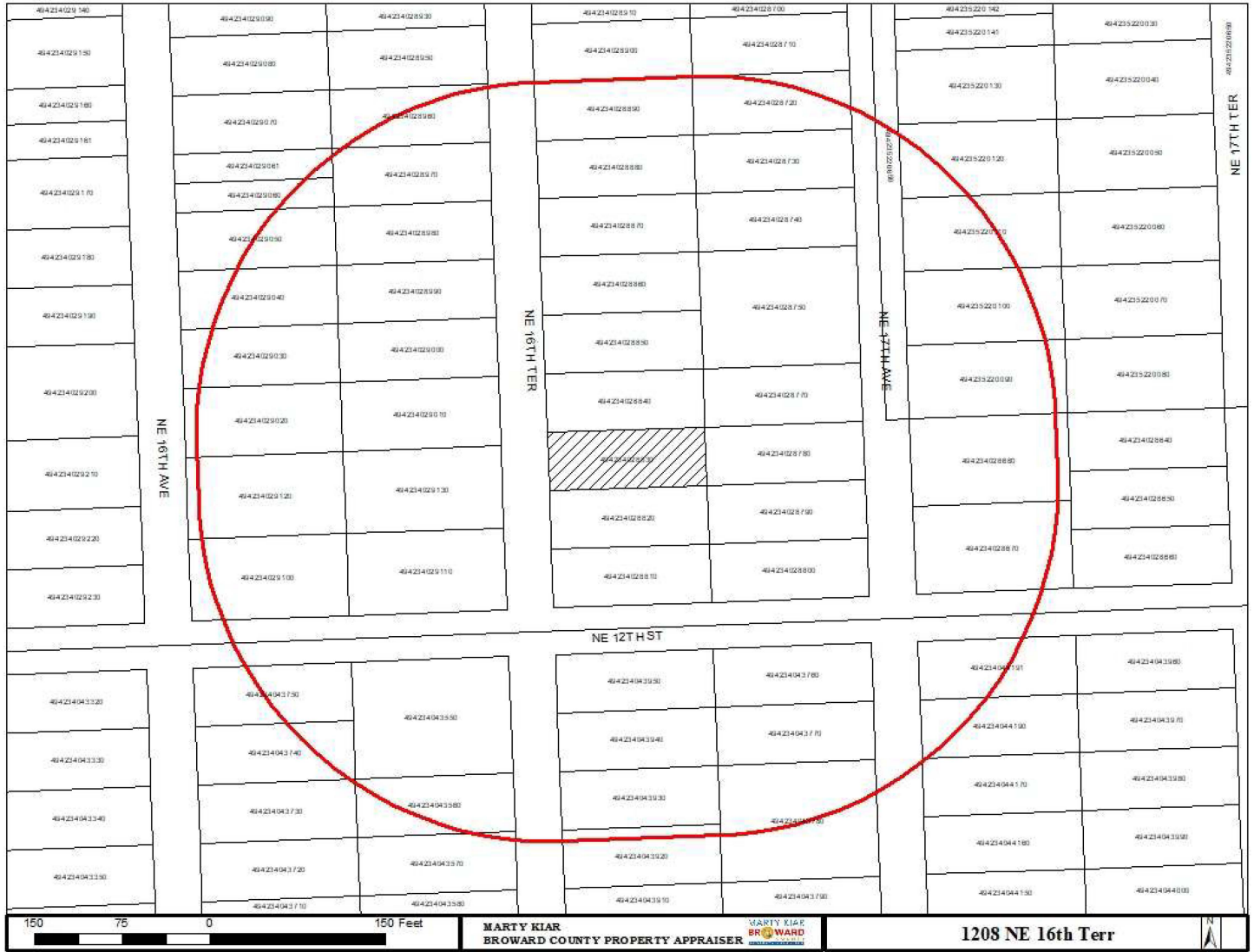
STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 07 day of FEBRUARY, 2025. by SARA CARO RODRIGUEZ, an individual who is personally known to me or has produced FL DL as identification

[NOTARY SEAL]

[Signature]
(Signature of Notary Public- State of Florida)
02/04/25
My Commission Expires:
MARIA AMALIA MORALES
Print, Type, or Stamp Commissioned Name of Notary Public)





FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY
494234028710	PELL INVESTMENTS INC		9550 TOLEDO LN	DAVIE
494234028900	MAXFIELD,JEANNE		1236 NE 16 TER	FORT LAUDERDALE
494234028720	JOHN & ARLEN TUST LIV TR	TUST,JOHN MICHAEL TRSTEE ETAL	4001 HILLCREST DR #116	HOLLYWOOD
494234028890	BENITEZ,CARLOS		1232 NE 16 TER	FORT LAUDERDALE
494234028960	MONTERO,CARLOS		1233 NE 16 TER	FORT LAUDERDALE
494235220120	GONZALEZ,GABRIELLE LOUISE H/E	WICK,ADAM JAMES	1228 NE 17 AVE	FORT LAUDERDALE
494234028730	MAVI SOL LLC		112 W 9 ST STE 4	BOSTON
494234028880	STEVEN G GATCHELL TR	GATCHELL,STEVEN G TRSTEE	1228 NE 16 TER	FORT LAUDERDALE
494234028970	HEINKEL,TYLER	BENFIELD,HOPE	1229 NE 16 TER	FORT LAUDERDALE
494234029060	TATUM,JOSEPH M	SMITH,GARY C ETAL	1228 NE 16 AVENUE	FORT LAUDERDALE
494234028740	BOOZ,JOAN K		1225 NE 17 AVE	FORT LAUDERDALE
494235220110	NAMHCAL HOLDINGS LLC		3363 ISLEWOOD AVE	WESTON
494234028870	CLAUDIA CONSTABLE REV TR	GROVE,AUDREY TRSTEE	1224 NE 16 TER	FORT LAUDERDALE
494234028980	TWELVE TWENTY FIVE	HOSPITALITY LLC	1225 NE 16 TER	FORT LAUDERDALE
494234029050	LYONS,MATTHEW D H/E	LYONS,KARLA	1224 NE 16 AVE	FORT LAUDERDALE
494234028750	GAIA MAIA LLC		660 SE 12 ST	POMPANO BEACH
494234028860	GEMINI X VENTURES LLC		601 SE 26 AVE	FORT LAUDERDALE
494234028990	CAMPENY PUIG,XAVIER	FERNANDEZ SANCHEZ,JOAQUIN	1221 NE 16 TER	FORT LAUDERDALE
494234029040	TAURUS MM LLC		4243 DUNWOODY CLUB DR SUITE 200	ATLANTA
494235220100	SMILOVITS,ISAAC		1218 NE 17 AVE	FORT LAUDERDALE
494234028850	ROMANIKHIN,AEKSEY	NOAH,LEIONA	1226 NE 14 AVE	FORT LAUDERDALE
494234029000	RODRIGUEZ,LISSETTE A	CORTES,JESSE	1217 NE 16 TER	FORT LAUDERDALE
494234029030	HASTIE,BONNIE S & JOHN T III		1216 NE 16 AVE	FORT LAUDERDALE
494235220090	VELEZ,OSCAR DE JESUS	LOPEZ DE VELEZ,OLGA I ETAL	1212 NE 17 AVE	FORT LAUDERDALE
494234028770	KIM,JOUNG SUP & HYO KYUNG		1213 NE 17 AVE	FORT LAUDERDALE
494234028840	ELKINS,MICHAEL L		1212 NE 16 TER	FORT LAUDERDALE
494234029010	CLEARY,MICHAELA I H/E	POSADA,RAFAEL	1215 NE 16 TER	FORT LAUDERDALE
494234029020	BENNETT,JILLIAN S & RONALD D		1585 NE 38 ST	OAKLAND PARK
494234028680	FUSCA,FELICE		1208 NE 17 AVE	FORT LAUDERDALE
494234028780	JORDAN,CHRISTOPHER SHANE	ROMAN,SANDRA	1209 NE 17 AVE	FORT LAUDERDALE
494234028830	COMAS TUSELL,EDILBERT	CARO RODRIGUEZ,SARA	1208 NE 16 TER	FORT LAUDERDALE
494234029130	SOUSA,SUZANNE	SOUSA,LISA M	1209 NE 16 TER	FORT LAUDERDALE

494234029120	FERGUSON,GEORGE H/E	FERGUSON,VELMA	1208 NE 16 AVE	FORT LAUDERDALE
494234028790	BELLAVANCE,DENIS		1205 NE 17 AVE	FORT LAUDERDALE
494234028820	CRANN,DANIEL		1204 NE 16 TERRACE	FORT LAUDERDALE
494234028670	CASTLE ROAD INVESTMENTS LLC		P.O.BOX 55333	SHERMAN OAKS
494234029110	BERNARD,PIERRE & NADINE		1201 NE 16 TER	FORT LAUDERDALE
494234029100	HAPPY BY THE SEA LLC		3800 S OCEAN DR STE 228	HOLLYWOOD
494234028800	CRUZ,EVELYN		8901 239 ST	BELLEROSE
494234028810	COLMENAREE,ARMONDO J	GARCIA HERNANDEZ,SONIA M	1627 NE 12 ST	FORT LAUDERDALE
494234044191	RIVAS MANAGEMENT GROUP LLC		9780 SW 141 DR	MIAMI
494234043760	FRANKY,LIGIA A	FRANKY FAM REV TR	1143 NE 17 AVE	FORT LAUDERDALE
494234043950	NEW MONTERO HOMES	SOLUTIONS LLC	1027 NE 58TH ST UNIT 101	FORT LAUDERDALE
494234043550	VICA PROPERTIES I LLC		2000 S DIXIE HWY SUITE 207	MIAMI
494234043750	MEREDITH,WILLIAM J JR		1535 W SUNRISE BLVD	FORT LAUDERDALE
494234044190	BERNINGER,RYAN BRANDON H/E	HAMLIN,JEFFERY DANIEL H/E ETAL	1140 NE 17 AVE	FORT LAUDERDALE
494234043770	MIRANDA,PAULO M		3033 NE 15 TER	OAKLAND PARK
494234043940	BEACH,JOHN & NICOLE		1140 NE 16 TER	FORT LAUDERDALE
494234043740	BARRON,ROSALIA	BATTAGLIA,CATHERINE T	1140 NE 16 AVE	FORT LAUDERDALE
494234044170	ANGELOVSKI,ILIIJA	STANKOVSKA,DANIELA	550 BAYSHORE DR # 310	FORT LAUDERDALE
494234043780	1133 NE 17TH LLC		114 3RD SAN MARINO TER	MIAMI BEACH
494234043930	MACGROTTY,HARRY E		1136 NE 16 TER	FORT LAUDERDALE
494234043560	BIXLER,DAVID R		1137 NE 16 TER	FORT LAUDERDALE
494234043730	KANJANAPITAK,JIRAWAT		3771 SW 160TH AVE APT 102	MIRAMAR
494234043920	HIEBERT,EVA		1820 SW 14 AVE	FORT LAUDERDALE
494234043570	POSEY,NATHAN D		1133 NE 16 TER	FORT LAUDERDALE
494234029061	GROSSHANDLER,RICHARD		1230 NE 16 AVE	FORT LAUDERDALE
494235220650	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE

STATE	ZIP	ADDRESS__1	LEGAL_LINE	LEGAL_LI_1
FL	33324	DAVIE FL33324	PROGRESSO 2-18 D	LOT 3 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 22 BLK 100
FL	33021	HOLLYWOOD FL33021	PROGRESSO 2-18 D	LOT 4 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 21 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 4 & E1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	LAKE RIDGE 24-47 B	LOT 13 N 11,14,15 S 2 BLK 2
MA	02127	BOSTON MA02127	PROGRESSO 2-18 D	LOT 5 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 20 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 5 & E1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	S1/2 OF LOT 14, BLK 101 TOG W
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 6 BLK 100
FL	33332	WESTON FL33332	LAKE RIDGE 24-47 B	LOT 12 N 24,13 LESS N 11 BLK 2
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 19 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18	LOT 6 & E1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 13 & W1/2 VAC ALLEY
FL	33060	POMPANO BEACH FL33060	PROGRESSO 2-18 D	LOT 7,8 BLK 100
FL	33301	FORT LAUDERDALE FL33301	PROGRESSO 2-18 D	LOT 18 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 7 & E1/2 VAC ALLEY
GA	30338	ATLANTA GA30338	PROGRESSO 2-18 D	LOT 12 & W1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	LAKE RIDGE 24-47 B	LOT 11 N 37,12 S 26 BLK 2
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 17 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 8 & E1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 11 & W1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	LAKE RIDGE 24-47 B	LOT 10,11 S 13 BLK 2
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 9 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 16 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 9 N1/2 & E1/2 VAC ALLEY
FL	33334	OAKLAND PARK FL33334	PROGRESSO 2-18 D	LOT 10 N1/2 & W1/2 VAC ALLEY
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 5 N 25,6 BLK 99
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 10 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	LOT 15 BLK 100
FL	33304	FORT LAUDERDALE FL33304	PROGRESSO 2-18 D	N 60 OF E1/2 OF S 130 BLK 101

FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	N 60 OF W1/2 OF S 130 BLK 101
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 11 BLK 100
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 14 BLK 100
CA	91413	SHERMAN OAKS	CA91413	PROGRESSO 2-18 D	LOT 4,5 S1/2 BLK 99
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	S 70 OF E 135 BLK 101
FL	33019	HOLLYWOOD	FL33019	PROGRESSO 2-18 D	S 70 OF W 135 BLK 101
NY	11426	BELLEROSE	NY11426	PROGRESSO 2-18 D	LOT 12 BLK 100
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 13 BLK 100
FL	33176	MIAMI	FL33176	PROGRESSO 2-18 D	LOT 24 BLK 159
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 1 BLK 158
FL	33334	FORT LAUDERDALE	FL33334	PROGRESSO 2-18 D	LOT 24 BLK 158
FL	33131	MIAMI	FL33131	PROGRESSO 2-18 D	LOTS 1 & 2, BLK 157
FL	33311	FORT LAUDERDALE	FL33311	PROGRESSO 2-18 D	LOT 24 BLK 157
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 23 BLK 159
FL	33334	OAKLAND PARK	FL33334	PROGRESSO 2-18 D	LOT 2 BLK 158
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 23 BLK 158
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 23 BLK 157
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 22 BLK 159
FL	33139	MIAMI BEACH	FL33139	PROGRESSO 2-18 D	LOT 3,4 BLK 158
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 22 BLK 158
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 3 BLK 157
FL	33027	MIRAMAR	FL33027	PROGRESSO 2-18 D	LOT 22 BLK 157
FL	33315	FORT LAUDERDALE	FL33315	PROGRESSO 2-18 D	LOT 21 BLK 158
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	LOT 4 BLK 157
FL	33304	FORT LAUDERDALE	FL33304	PROGRESSO 2-18 D	N1/2 OF LOT 14, BLK 101 TOG W
FL	33301	FORT LAUDERDALE	FL33301	LAKE RIDGE 24-47 B	ROAD RIGHT OF WAYS DEDICATED PER

LEGAL_LI_2

LEGAL_LI_3

LEGAL_LI_4 LEGAL_LI_5 LEGAL_LI_6 LEGAL_LI_7 LEGAL_LI_8 LEGAL_LI_9

ABUTTING SAID LOT BLK 101

ABUTTING SAID LOT BLK 101
W1/2 OF VAC ALLEY ABUTTING SAID LOT

ABUTTING SAID LOT BLK 101
ABUTTING SAID LOT BLK 101

ABUTTING SAID LOT BLK 101
ABUTTING SAID LOT BLK 101

ABUTTING SAID LOT BLK 101
ABUTTING SAID LOT BLK 101

ABUTTING SAID LOT BLK 101
ABUTTING SAID LOT BLK 101

& S1/2 VAC ALLEY ABUTTING SAID LOT

& S1/2 VAC ALLEY

ABUTTING SAID LOT

W1/2 OF VAC ALLEY ABUTTING SAID LOT
PLAT TOG PT PER R/W MAP 6-45 B

LEGAL_L_10	LEGAL_L_11	LEGAL_L_12	LEGAL_L_13	ZIP4	MILLAGE_CO	USE_CODE	USE_TYPE	MARKET_ARE	COMB_SPLIT	JUST_LAND_
				5913	0312	01	01	3B		37160
					0312	01	01	3B		37160
					0312	08	03	3B		37160
					0312	08	02	3B		37160
					0312	01	01	3B		37140
					0312	01	01	3B		25550
					0312	01	01	3B		37160
				2323	0312	01	02	3B		37160
				2322	0312	01	01	3B		37140
				0000	0312	01	04	3B		40500
				2425	0312	01	01	3B		37160
					0312	01	02	3B		25520
				2323	0312	01	01	3B		37160
					0312	01	01	3B		37140
				2319	0312	01	01	3B		37140
					0312	08	05	3B		74320
					0312	08	02	3B		37160
					0312	01	01	3B		37140
					0312	01	01	3B		37150
					0312	01	01	3B		25530
					0312	01	01	3B		37160
				2322	0312	01	01	3B		37140
					0312	08	02	3B		37150
				2426	0312	01	01	3B		25540
				2425	0312	01	01	3B		37160
					0312	01	01	3B		37160
				2322	0312	01	01	3B		44570
				4624	0312	08	02	3B		44570
				2426	0312	01	01	3B		55730
					0312	01	01	3B		37150
				2323	0312	01	01	3B		37150
				2322	0312	01	01	3B		52010

	0312	01	02	3B	52030
2425	0312	01	01	3B	37150
	0312	01	01	3B	37150
	0312	08	06	3B	55720
2322	0312	08	06	3B	51980
	0312	08	05	3B	51990
	0312	08	03	3B	37150
	0312	08	02	3B	37150
	0312	08	02	3B	37130
	0312	01	02	3B	37140
4159	0312	08	03	3B	37140
	0312	08	05	3B	74260
7042	0312	08	02	3B	37130
	0312	01	02	3B	37130
	0312	08	04	3B	37140
	0312	01	01	3B	37140
	0312	01	01	3B	37130
	0312	01	01	3B	37130
1124	0312	08	05	3B	74270
	0312	08	02	3B	37140
	0312	01	01	3B	37130
4684	0312	08	02	3B	37130
	0312	08	02	3B	37140
2320	0312	01	02	3B	37130
	0312	01	04	3B	40520
	0312	94		3B	48200

JUST_BUILD	JUST_OTHER	LY_JUSTVAL	LY_SOHL	LY_SOHB	PREV_SOH_V	NEW_SOH_VA	NEW_SB_SOH	HE1_AMOUNT	HE2_AMOUNT
314110	0	351270	0	0	279120	307030	351270	0	0
560760	0	597920	0	0	150230	154580	154580	25000	25722
644570	0	681750	0	0	492430	541670	681730	0	0
540060	0	594110	0	0	530040	577220	577220	0	0
391240	0	428380	0	0	151230	155610	155610	25000	25722
410070	0	435620	0	0	365680	376280	376280	25000	25722
747020	0	784180	0	0	784180	784180	784180	0	0
598280	0	634370	0	0	634370	635440	635440	0	0
809610	0	846750	37140	499060	779080	793550	793550	25000	25722
733690	0	774190	0	0	534410	549900	549900	25000	25722
757100	0	794260	0	0	186500	191900	191900	25000	25722
583590	0	609110	0	0	601240	609110	609110	0	0
461770	0	498930	0	0	410110	451120	498930	0	0
987260	0	1024400	0	0	967720	1024400	1024400	0	0
517830	0	554970	0	0	118250	121670	121670	25000	25722
1530380	0	1503320	0	0	1188730	1307600	1604700	0	0
459910	0	524220	54050	117600	524220	497070	497070	0	0
431380	0	468520	0	0	447980	468520	468520	0	0
623220	0	660370	0	0	660370	660370	660370	0	0
1091790	0	1117320	0	0	478890	492770	492770	25000	25722
427320	0	463640	0	0	463640	464480	464480	0	0
530250	0	564440	0	0	536630	557730	557730	25000	25722
459960	0	533890	54030	200850	469390	473800	473800	25000	25722
607440	0	632980	0	0	491720	505970	505970	25000	25722
374270	0	411430	0	0	101200	104130	104130	25000	25722
1157940	0	1192990	0	0	443110	458070	458070	25000	25722
558080	0	598820	0	0	598820	602650	602650	25000	25722
459730	0	545160	0	0	489190	504300	504300	0	0
517010	0	572120	0	0	172930	178680	178680	25000	25722
625430	0	662580	0	0	364710	375280	375280	25000	25722
414800	0	451950	0	0	365050	375630	375630	25000	25722
648460	0	700470	0	0	201750	207600	207600	25000	25722

700730	0	752560	0	0	752560	752760	752760	25000	25722
494930	0	532080	0	0	129270	133010	133010	25000	25722
639890	0	677040	0	0	308800	317750	317750	25000	25722
874750	0	955790	0	0	955790	930470	930470	0	0
645010	0	705690	62300	41030	144670	139670	210300	25000	25722
1050000	0	1095510	0	0	926380	1019010	1101990	0	0
644930	0	684340	0	0	498000	547800	682080	0	0
849830	0	854410	0	0	854410	879180	879180	25000	25722
460200	0	523930	0	0	523930	497330	497330	0	0
452110	0	489250	0	0	174120	179160	179160	25000	25722
509690	0	548760	0	0	548760	546830	546830	0	0
1049880	0	1128270	0	0	958320	1054150	1124140	0	0
559650	0	594020	0	0	413720	455090	596780	0	0
536080	0	573210	0	0	427780	440180	440180	25000	25722
739920	0	733500	0	0	506570	557220	777060	0	0
450700	0	487840	0	0	298140	306780	306780	25000	25722
636750	0	673880	0	0	398250	409790	409790	25000	25722
266230	0	303360	0	0	236550	260200	303360	0	0
1680370	0	1193100	0	0	1193100	1754640	1754640	0	0
459900	0	524320	44500	31070	151230	152330	299060	25000	19110
386740	0	423870	0	0	132410	136240	136240	25000	25722
480090	0	523860	42460	200540	477930	517220	517220	0	0
460020	0	524160	0	0	395490	435030	497160	0	0
471370	0	508500	0	0	161550	166230	166230	25000	25722
733550	0	774070	0	0	556530	572660	572660	25000	25722
0	0	48200	0	0	48200	48200	48200	0	0

WVD_AMOUNT	EXEMPTION_	COUNTY_MEX	SCHOOL_MEX	CITY_MEX_A	INDEP_MEX_	COUNTY_TAX	SCHOOL_TAX	CITY_TAXAB
0	0	0	0	0	0	307030	351270	307030
0	0	0	0	0	0	103858	129580	103858
0	0	0	0	0	0	541670	681730	541670
0	0	0	0	0	0	577220	577220	577220
0	0	0	0	0	0	104888	130610	104888
0	0	0	0	0	0	325558	351280	325558
0	0	0	0	0	0	784180	784180	784180
0	0	0	0	0	0	635440	635440	635440
0	0	0	0	0	0	742828	768550	742828
0	0	0	0	0	0	499178	524900	499178
0	0	0	0	0	0	141178	166900	141178
0	0	0	0	0	0	609110	609110	609110
0	0	0	0	0	0	451120	498930	451120
0	0	0	0	0	0	1024400	1024400	1024400
0	0	0	0	0	0	70948	96670	70948
0	0	0	0	0	0	1307600	1604700	1307600
0	0	0	0	0	0	497070	497070	497070
0	0	0	0	0	0	468520	468520	468520
0	0	0	0	0	0	660370	660370	660370
0	0	0	0	0	0	442048	467770	442048
0	0	0	0	0	0	464480	464480	464480
0	0	0	0	0	0	507008	532730	507008
0	0	0	0	0	0	423078	448800	423078
0	0	0	0	0	0	455248	480970	455248
0	0	0	0	0	0	53408	79130	53408
0	0	0	0	0	0	407348	433070	407348
0	0	0	0	0	0	551928	577650	551928
0	0	0	0	0	0	504300	504300	504300
0	0	0	0	0	0	127958	153680	127958
0	0	0	0	0	0	324558	350280	324558
0	0	0	0	0	0	324908	350630	324908
0	0	0	0	0	0	156878	182600	156878

0	0	0	0	0	0	652038	727760	652038
0	0	0	0	0	0	32288	108010	32288
0	0	0	0	0	0	267028	292750	267028
0	0	0	0	0	0	930470	930470	930470
0	0	0	0	0	0	88948	185300	88948
0	0	0	0	0	0	1019010	1101990	1019010
0	0	0	0	0	0	547800	682080	547800
0	0	0	0	0	0	828458	854180	828458
0	0	0	0	0	0	497330	497330	497330
0	0	0	0	0	0	128438	154160	128438
0	0	0	0	0	0	546830	546830	546830
0	0	0	0	0	0	1054150	1124140	1054150
0	0	0	0	0	0	455090	596780	455090
0	0	0	0	0	0	389458	415180	389458
0	0	0	0	0	0	557220	777060	557220
0	0	0	0	0	0	256058	281780	256058
0	0	0	0	0	0	359068	384790	359068
0	0	0	0	0	0	260200	303360	260200
0	0	0	0	0	0	1754640	1754640	1754640
0	0	0	0	0	0	108220	274060	108220
0	0	0	0	0	0	85518	111240	85518
0	0	0	0	0	0	517220	517220	517220
0	0	0	0	0	0	435030	497160	435030
0	0	0	0	0	0	115508	141230	115508
0	0	0	0	0	0	521938	547660	521938
0	0	48200	48200	48200	48200	0	0	0

INDEP_TAXA	HE_PERCENT	LY_HE_PERC	ME_PERCENT	WVD_TYPE	EXEMPTION1	SOH_YEAR	COM_SOH_YE	FLAT_RATE_	DEL_FLAG
307030							17		Y
103858	100	100				05	08		Y
541670							14		Y
577220							22		Y
104888	100	100				14	14		Y
325558	100	100				21	21		Y
784180							23		Y
635440							25		Y
742828	100	100				22	22		Y
499178	100	100				17	17		Y
141178	1/1	1/1				01	08		Y
609110							22		Y
451120							21		Y
1024400							22		Y
70948	1/1	1/1				96	08		Y
1307600							14		Y
497070		100					25		Y
468520							22		Y
660370							24		Y
442048	100	100				19	19		Y
464480							23		Y
507008	100	100				23	23		Y
423078	100	100				23	23		Y
455248	100	100				21	21		Y
53408	100	100				05	08		Y
407348	100	100				15	15		Y
551928	100	100				24	24		Y
504300							19		Y
127958	1/1	1/1				97	08		Y
324558	100	100				19	19		Y
324908	100	100				22	22		Y
156878	1/1	1/1				02	08		Y

702038 100	100			24	24	Y
82288 2/2	2/2			94	08	Y
267028 100	100			16	16	Y
930470					23	Y
88948 1/1	1/1			95	08	Y
1019010					22	Y
547800					18	Y
828458 100	100			24	24	Y
497330					25	Y
128438 1/1	1/1			94	08	Y
546830					21	Y
1054150					20	Y
455090					08	Y
389458 100	100			21	21	Y
557220					08	Y
256058 100	100			17	17	Y
359068 100	100			17	17	Y
260200					10	Y
1754640					25	Y
108220 1/1	1/1			98	08	Y
85518 100	100			11	11	Y
517220	100				24	Y
435030					13	Y
115508 1/1	1/1			98	08	Y
521938 100	100			19	19	Y
0		100	14		12	Y

DEL_VALUE	ADD_VALUE	LIGHT_DIST	GARBAGE_DI	GARBAGE_AS	FIRE_DISTR	FIRE_CLASS	FIRE_ASSES	SAFE_NEIGH	SAFE_NEI_1
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	21.96 03		R	3		0
0	0		F	14.64 03		R	2		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	18.88 03		R	2		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	18.88 03		R	2		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	65.88 03		R	9		0
0	0		F	14.64 03		R	2		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	1380		F	9.44 03		R	1		0
0	5540		F	9.44 03		R	1		0
0	0		F	14.64 03		R	2		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	2110		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	14.64 03		R	2		0
0	740		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0
0	0		F	9.44 03		R	1		0

0	0	F	18.88 03	R	2	0
0	0	F	9.44 03	R	1	0
0	0	F	9.44 03	R	1	0
0	0	F	36.60 03	R	5	0
0	0	F	21.96 03	R	3	0
0	0	F	43.92 03	R	6	0
0	0	F	21.96 03	R	3	0
0	0	F	14.64 03	R	2	0
0	0	F	14.64 03	R	2	0
0	0	F	18.88 03	R	2	0
0	0	F	21.96 03	R	3	0
0	0	F	43.92 03	R	6	0
0	0	F	14.64 03	R	2	0
0	0	F	18.88 03	R	1	0
0	0	F	29.28 03	R	4	0
0	0	F	9.44 03	R	1	0
0	0	F	9.44 03	R	1	0
0	0	F	9.44 03	R	1	0
0	0	F	51.24 03	R	7	0
0	0	F	14.64 03	R	2	0
0	0	F	9.44 03	R	1	0
0	0	F	14.64 03	R	2	0
0	0	F	14.64 03	R	2	0
0	0	F	18.88 03	R	1	0
0	0	F	9.44 03	R	1	0
0	0		0.00 03	X	1	0

DRAINAGE_D	DRAINAGE_1	IMPROVEMEN	IMPROVEM_1	SALE_DATE_	DEED_TYPE_	STAMP_AMOU	BOOK_1	PAGE_1
0.00			0.00	8/11/2016	WD	0.70	0.0000000000	0.0000000000
0.00			0.00	9/21/2004	WD	2310.00	38305.0000000000	1415.0000000000
0.00			0.00	7/7/2022	QCD	0.70	0.0000000000	0.0000000000
0.00			0.00	10/27/2021	WD	3325.00	0.0000000000	0.0000000000
0.00			0.00	11/4/2011	SWD	770.00	48341.0000000000	1570.0000000000
0.00			0.00	9/23/2020	WD	2800.00	0.0000000000	0.0000000000
0.00			0.00	3/1/2022	WD	6160.00	0.0000000000	0.0000000000
0.00			0.00	1/19/2024	WD	5593.00	0.0000000000	0.0000000000
0.00			0.00	12/14/2021	WD	5075.00	0.0000000000	0.0000000000
0.00			0.00	3/25/2021	QCD	0.00	0.0000000000	0.0000000000
0.00			0.00	10/30/2000	WD	1155.00	31007.0000000000	697.0000000000
0.00			0.00	10/19/2021	QCD	0.70	0.0000000000	0.0000000000
0.00			0.00	2/23/2012	WD	0.70	48748.0000000000	1496.0000000000
0.00			0.00	5/10/2021	WD	5565.00	0.0000000000	0.0000000000
0.00			0.00	1/23/2025	WD	0.70	0.0000000000	0.0000000000
0.00			0.00	11/19/2013	WD	4900.00	50368.0000000000	1031.0000000000
0.00			0.00	1/28/2025	WD	4095.00	0.0000000000	0.0000000000
0.00			0.00	1/14/2021	WD	2660.00	0.0000000000	0.0000000000
0.00			0.00	1/31/2025	WD	4305.00	0.0000000000	0.0000000000
0.00			0.00	7/27/2018	WD	2730.00	0.0000000000	0.0000000000
0.00			0.00	6/2/2022	WD	4200.00	0.0000000000	0.0000000000
0.00			0.00	2/8/2022	WD	3675.00	0.0000000000	0.0000000000
0.00			0.00	4/1/2022	WD	5180.00	0.0000000000	0.0000000000
0.00			0.00	5/23/2020	DRR	0.70	0.0000000000	0.0000000000
0.00			0.00	3/1/1989	WD	412.50	16283.0000000000	955.0000000000
0.00			0.00	7/10/2014	WD	2964.50	50961.0000000000	1583.0000000000
0.00			0.00	7/27/2022	WD	4550.00	0.0000000000	0.0000000000
0.00			0.00	7/25/2018	WD	3080.00	0.0000000000	0.0000000000
0.00			0.00	1/14/1999	QCD	0.70	29166.0000000000	631.0000000000
0.00			0.00	3/5/2018	WD	2975.00	0.0000000000	0.0000000000
0.00			0.00	1/14/2021	WD	2239.30	0.0000000000	0.0000000000
0.00			0.00	11/3/2006	QCD	0.70	43113.0000000000	461.0000000000

0.00	0.00	4/5/2023 WD	5852.00	0.0000000000	0.0000000000
0.00	0.00	10/29/2019 QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	10/29/2015 WD	1995.00	0.0000000000	0.0000000000
0.00	0.00	10/4/2022 WD	7420.00	0.0000000000	0.0000000000
0.00	0.00	9/1/1993 WD	700.00	21163.0000000000	669.0000000000
0.00	0.00	6/16/2021 WD	5880.00	0.0000000000	0.0000000000
0.00	0.00	10/16/2017 WD	2466.10	0.0000000000	0.0000000000
0.00	0.00	11/7/2023 WD	6650.00	0.0000000000	0.0000000000
0.00	0.00	8/29/2024 WD	3675.00	0.0000000000	0.0000000000
0.00	0.00	8/5/2021 WD	0.70	0.0000000000	0.0000000000
0.00	0.00	5/7/2020 WD	3535.00	0.0000000000	0.0000000000
0.00	0.00	12/17/2019 WD	5460.00	0.0000000000	0.0000000000
0.00	0.00	3/21/1994 QCD	0.70	23104.0000000000	943.0000000000
0.00	0.00	2/13/2020 WD	3045.00	0.0000000000	0.0000000000
0.00	0.00	3/29/2005 WD	3465.00	39364.0000000000	1122.0000000000
0.00	0.00	12/19/2016 WD	1911.00	0.0000000000	0.0000000000
0.00	0.00	12/8/2016 WD	2747.50	0.0000000000	0.0000000000
0.00	0.00	11/16/2009 SWD	686.00	46675.0000000000	1696.0000000000
0.00	0.00	4/12/2024 WD	13650.00	0.0000000000	0.0000000000
0.00	0.00	7/3/1997 WD	714.00	26757.0000000000	639.0000000000
0.00	0.00	12/30/2015 QCD	0.70	0.0000000000	0.0000000000
0.00	0.00	1/25/2022 WD	4410.00	0.0000000000	0.0000000000
0.00	0.00	3/31/2004 WD	2030.00	37456.0000000000	1362.0000000000
0.00	0.00	6/9/2020 WD	0.70	0.0000000000	0.0000000000
0.00	0.00	4/26/2018 WD	4130.00	0.0000000000	0.0000000000
0.00	0.00		0.00	0.0000000000	0.0000000000

SALE_DATE1	DEED_TYPE1	STAMP_AM_1	BOOK_2	PAGE_2	SALE_DAT_1	DEED_TYP_1	STAMP_AM_2	BOOK_3
5/27/2009	WD	700.00	46285.0000000000	611.0000000000	2/3/2006	WD	2639.00	41408.0000000000
6/18/2001	WD	1176.00	31817.0000000000	373.0000000000	7/10/1995	WD	546.00	23858.0000000000
5/1/2013	WD	1736.00	50123.0000000000	123.0000000000	11/11/2011	SWD	1056.30	48338.0000000000
6/30/2003	WD	2135.00	35512.0000000000	295.0000000000	6/17/1999	WD	1099.00	29675.0000000000
3/29/2011	CET	0.70	47853.0000000000	1800.0000000000	10/19/2005	QCD	0.00	40860.0000000000
8/29/2003	QCD	0.70	36667.0000000000	869.0000000000			0.00	0.0000000000
10/25/2016	WD	2205.00	0.0000000000	0.0000000000	5/16/2014	WD	1750.00	50849.0000000000
10/12/2012	WD	0.70	49207.0000000000	231.0000000000	10/10/2012	WD	1155.00	49207.0000000000
5/2/2014	QCD	0.70	50763.0000000000	215.0000000000	2/29/2000	PRD	910.00	30318.0000000000
2/9/2016	WD	3703.00	0.0000000000	0.0000000000	6/1/2015	QCD	0.70	0.0000000000
5/30/2000	WD	843.50	30562.0000000000	1060.0000000000	2/11/2000	CET	203.00	30257.0000000000
2/6/2015	DRR	0.70	0.0000000000	0.0000000000	12/19/2014	QCD	0.70	0.0000000000
5/1/1989	WD	334.40	16478.0000000000	514.0000000000	9/1/1983	WD	360.00	0.0000000000
10/27/2017	QCD	0.70	0.0000000000	0.0000000000	11/22/2011	WD	1470.00	48359.0000000000
7/24/1995	WD	969.50	23725.0000000000	167.0000000000	7/24/1995	WD	604.10	23724.0000000000
2/21/2003	WD	3780.00	34643.0000000000	266.0000000000	6/1/1984	WD	669.40	11849.0000000000
1/29/2025	ODH	0.00	0.0000000000	0.0000000000	1/29/2016	WD	2121.00	0.0000000000
2/15/2016	QCD	0.00	0.0000000000	0.0000000000	7/7/2005	WD	2905.00	40057.0000000000
1/31/2023	QCD	2681.00	0.0000000000	0.0000000000	11/17/2022	SW*	0.70	0.0000000000
10/4/2013	WD	1592.50	50242.0000000000	405.0000000000	3/11/1999	WD	770.00	29378.0000000000
2/9/2009	SWD	980.00	45996.0000000000	1030.0000000000	5/13/2008	CET	0.70	45443.0000000000
7/7/2021	WD	2184.00	0.0000000000	0.0000000000	6/1/1991	WD	450.00	18516.0000000000
4/30/2015	WD	2065.00	0.0000000000	0.0000000000	9/25/2012	WD	1260.00	49131.0000000000
3/23/2020	WD	3500.00	0.0000000000	0.0000000000	2/7/2008	QCD	0.70	45080.0000000000
12/1/1985	QCD	0.00	0.0000000000	0.0000000000	1/1/1981	QCD	0.50	0.0000000000
3/22/2013	WD	2100.00	49636.0000000000	1203.0000000000	10/4/2012	CET	923.30	49206.0000000000
4/18/2012	WD	1176.00	48726.0000000000	377.0000000000	6/3/1982	WD	0.45	10224.0000000000
5/25/2011	PRD	455.00	47956.0000000000	79.0000000000	12/1/1971	WD	81.00	4719.0000000000
3/19/1996	WD	864.50	24654.0000000000	737.0000000000	10/1/1988	QCD	0.00	16283.0000000000
6/30/2016	QCD	0.70	0.0000000000	0.0000000000	3/21/2014	SWD	1477.00	50641.0000000000
1/11/2019	QCD	0.70	0.0000000000	0.0000000000	11/27/2013	WD	1120.00	50386.0000000000
12/13/2001	WD	1421.00	32555.0000000000	1835.0000000000	3/31/1998	WD	903.00	28049.0000000000

7/26/2018 WD	3143.00	0.0000000000	0.0000000000	3/13/2008 WD	1540.00	45211.0000000000
12/1/1988 WD	423.50	16099.0000000000	657.0000000000	12/1/1987 WD	329.45	0.0000000000
11/1/1985 WD	415.00	12964.0000000000	588.0000000000	12/1/1978 WD	135.00	0.0000000000
5/23/2016 QCD	0.70	0.0000000000	0.0000000000	1/27/2000 WD	1148.00	30221.0000000000
10/1/1985 WD	527.50	0.0000000000	0.0000000000	9/1/1978 WD	189.00	0.0000000000
12/20/2017 DRR	0.70	0.0000000000	0.0000000000	12/20/2017 WD	4900.00	0.0000000000
4/14/2003 WD	1715.00	34955.0000000000	1761.0000000000	5/5/1995 WD	686.00	23453.0000000000
11/11/2022 WD	5950.00	0.0000000000	0.0000000000	11/20/2019 WD	3780.00	0.0000000000
8/10/2001 WD	1319.50	31994.0000000000	327.0000000000	7/31/1998 WD	861.00	28684.0000000000
5/3/2012 SWD	0.70	48738.0000000000	1307.0000000000	9/3/2009 SWD	0.70	46544.0000000000
5/14/2003 WD	2135.00	35250.0000000000	1416.0000000000	5/15/2001 WD	1575.00	31641.0000000000
12/17/2019 QCD	0.70	0.0000000000	0.0000000000	9/19/2008 TCD	0.00	45795.0000000000
7/1/1984 WD	157.50	11905.0000000000	405.0000000000	7/1/1981 WD	112.50	0.0000000000
4/5/2018 WD	2135.00	0.0000000000	0.0000000000	11/5/2012 WD	0.70	49218.0000000000
2/20/2003 WD	2800.00	34637.0000000000	678.0000000000	4/1/1999 WD	1575.00	29526.0000000000
7/28/2015 WD	1610.00	0.0000000000	0.0000000000	1/15/2013 SWD	924.00	49490.0000000000
4/27/2016 WD	2362.50	0.0000000000	0.0000000000	9/12/2003 WD	1889.30	36048.0000000000
9/22/2009 CET	0.00	46544.0000000000	1809.0000000000	8/6/1999 WD	875.00	29804.0000000000
9/14/2022 WD	13475.00	0.0000000000	0.0000000000	1/11/2019 WD	5803.00	0.0000000000
12/1/1993 WD	469.00	21558.0000000000	105.0000000000	4/1/1991 PRD	0.55	0.0000000000
12/1/1980 WD	252.00	0.0000000000	0.0000000000	1/1/1968 WD	47.70	0.0000000000
5/12/2020 DRR	0.70	0.0000000000	0.0000000000	3/23/2007 WD	0.70	43880.0000000000
3/15/2001 WD	1365.00	31391.0000000000	1917.0000000000	12/19/1997 DRR	0.00	28063.0000000000
12/22/2005 QCD	0.70	41208.0000000000	85.0000000000	10/26/2004 QCD	140.00	38436.0000000000
2/8/2016 WD	3325.00	0.0000000000	0.0000000000	7/15/2014 SW*	1036.00	0.0000000000
	0.00	0.0000000000	0.0000000000		0.00	0.0000000000

PAGE_3	SALE_DAT_2	DEED_TYP_2	STAMP_AM_3	BOOK_4	PAGE_4	SALE_DAT_3	DEED_TYP_3	STAMP_AM_4
1883.0000000000	5/6/2003	WD	1729.00	35117.0000000000	283.0000000000	9/6/2002	WD	1364.30
992.0000000000	4/1/1979	WD	171.00	8133.0000000000	306.0000000000	1/1/1978	WD	0.30
1286.0000000000	9/7/2010	CET	525.00	47406.0000000000	766.0000000000	3/1/1979	WD	120.00
1754.0000000000	7/1/1993	WD	490.00	21090.0000000000	535.0000000000	4/1/1993	QCD	0.70
396.0000000000	7/19/2005	WD	0.00	40333.0000000000	793.0000000000	3/1/1988	WD	313.50
0.0000000000			0.00	0.0000000000	0.0000000000			0.00
873.0000000000	4/8/2003	QCD	0.70	35040.0000000000	1223.0000000000	8/14/2001	QCD	0.70
229.0000000000	8/10/2011	SWD	0.70	48132.0000000000	1420.0000000000	2/25/2011	WD	0.70
1079.0000000000	8/1/1990	QCD	0.55	17791.0000000000	304.0000000000	7/1/1990	WD	0.55
0.0000000000	6/3/2015	QCD	0.70	0.0000000000	0.0000000000	7/15/2014	SW*	1036.00
1306.0000000000	6/1/1990	PRD	0.00	17584.0000000000	754.0000000000	5/1/1988	WD	407.00
0.0000000000	11/10/2014	WD	2093.00	51243.0000000000	1662.0000000000	10/10/2005	PRD	0.70
0.0000000000			0.00	0.0000000000	0.0000000000			0.00
453.0000000000	7/31/2007	QCD	0.70	44453.0000000000	1911.0000000000	6/1/2007	QCD	0.70
995.0000000000	2/1/1992	WD	690.00	19244.0000000000	100.0000000000	7/1/1970	WD	79.50
976.0000000000	2/1/1977	WD	315.00	0.0000000000	0.0000000000	6/1/1975	WD	354.00
0.0000000000	8/16/2005	QCD	0.70	40390.0000000000	1609.0000000000	5/9/2005	PRD	2583.00
1141.0000000000	2/7/2002	DRR	0.00	32736.0000000000	386.0000000000	11/30/2001	WD	1253.00
0.0000000000	9/14/2021	WD	2380.00	0.0000000000	0.0000000000	5/19/2006	TD	0.70
1188.0000000000	10/1/1991	QCD	0.60	18885.0000000000	60.0000000000	4/1/1968	WD	42.00
1983.0000000000	11/23/2004	WD	2450.00	38884.0000000000	157.0000000000	5/2/2003	PRD	1113.00
320.0000000000	8/1/1987	PRD	330.00	0.0000000000	0.0000000000			0.00
101.0000000000	4/27/2010	QCD	0.70	47068.0000000000	1677.0000000000	5/30/2008	WD	1225.00
1233.0000000000	4/28/2000	WD	1003.10	30475.0000000000	1696.0000000000	2/1/1994	WD	559.30
0.0000000000	2/1/1980	WD	200.00	0.0000000000	0.0000000000	11/1/1969	WD	48.00
1127.0000000000	3/30/2006	QCD	0.70	42134.0000000000	1623.0000000000	3/28/2006	WD	2828.00
686.0000000000			0.00	0.0000000000	0.0000000000			0.00
769.0000000000	11/1/1969	WD	60.00	0.0000000000	0.0000000000			0.00
953.0000000000	8/1/1984	WD	402.75	0.0000000000	0.0000000000	3/1/1984	PRD	328.50
798.0000000000	3/21/2014	WD	0.70	50641.0000000000	796.0000000000	7/11/2013	ACT	0.00
1631.0000000000	3/12/2013	WD	1071.00	49625.0000000000	431.0000000000	4/1/1979	WD	134.70
312.0000000000	3/28/1996	WD	804.30	24707.0000000000	984.0000000000	8/1/1992	SWD	402.50

592.0000000000	6/7/2000 QCD	0.70	31610.0000000000	1757.0000000000	12/1/1992 WD	700.00
0.0000000000	12/1/1971 GD	49.50	0.0000000000	0.0000000000		0.00
0.0000000000	12/1/1975 WD	99.00	0.0000000000	0.0000000000	3/1/1974 WD	60.00
1226.0000000000	11/1/1990 QCD	660.00	18024.0000000000	619.0000000000	3/1/1986 WD	802.50
0.0000000000	1/1/1960 WD	46.00	0.0000000000	0.0000000000		0.00
0.0000000000	10/26/2015 WD	3780.00	0.0000000000	0.0000000000	2/1/1991 WD	508.75
940.0000000000	4/1/1977 WD	135.00	9168.0000000000	807.0000000000		0.00
0.0000000000	8/7/2018 WD	2660.00	0.0000000000	0.0000000000	2/10/2009 WD	1662.50
427.0000000000	5/19/1995 WD	614.60	23540.0000000000	774.0000000000	12/1/1993 WD	546.00
1250.0000000000	9/10/1996 QCD	0.70	25391.0000000000	759.0000000000	11/1/1974 WD	135.00
362.0000000000	5/2/2000 WD	1197.00	30476.0000000000	921.0000000000	7/2/1997 WD	980.00
4.0000000000		0.00	0.0000000000	0.0000000000		0.00
0.0000000000		0.00	0.0000000000	0.0000000000		0.00
1706.0000000000	9/19/2003 QCD	0.70	36192.0000000000	1153.0000000000	5/11/2001 WD	1050.00
1852.0000000000	12/1/1969 WD	22.50	2495.0000000000	880.0000000000	8/1/1967 WD	22.50
670.0000000000	1/18/2013 ACT	0.00	49434.0000000000	51.0000000000	11/7/2012 CET	1087.10
251.0000000000	4/3/2000 WD	710.50	30401.0000000000	978.0000000000	1/1/1982 WD	310.50
147.0000000000	6/26/1995 QCD	0.70	23886.0000000000	558.0000000000	3/1/1994 QCD	0.70
0.0000000000	8/2/2013 WD	3430.00	50063.0000000000	788.0000000000	10/22/2008 WD	1918.00
0.0000000000	7/1/1972 WD	51.00	0.0000000000	0.0000000000		0.00
0.0000000000	5/1/1964 WD	40.50	0.0000000000	0.0000000000		0.00
564.0000000000	7/13/2004 WD	2309.30	37867.0000000000	1174.0000000000	5/28/2003 WD	1847.30
871.0000000000	12/19/1997 WD	742.00	27530.0000000000	997.0000000000		0.00
580.0000000000	8/28/2000 QCD	0.70	30835.0000000000	355.0000000000	12/1/1997 WD	1001.00
0.0000000000		0.00	0.0000000000	0.0000000000		0.00
0.0000000000		0.00	0.0000000000	0.0000000000		0.00

BOOK_5	PAGE_5	LAND_CALC_	LAND_CALC1	LAND_CAL_1	LAND_CAL_2	LAND_CAL_3	LAND_CAL_4	LAND_CAL_5
33783.0000000000	1734.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
8135.0000000000	622.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
15296.0000000000	344.0000000000	5.50	6753.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	3.00	8515.00	SF	0.00	0.00		0.00
32026.0000000000	978.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
47824.0000000000	1388.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6753.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	12.00	3375.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
41457.0000000000	838.0000000000	3.00	8507.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
44200.0000000000	808.0000000000	5.50	6753.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6753.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	13512.00	SF	0.00	0.00		0.00
39610.0000000000	571.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
32477.0000000000	1005.0000000000	5.50	6753.00	SF	0.00	0.00		0.00
42183.0000000000	1419.0000000000	5.50	6754.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	3.00	8510.00	SF	0.00	0.00		0.00
35258.0000000000	402.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6752.00	SF	0.00	0.00		0.00
45431.0000000000	616.0000000000	5.50	6754.00	SF	0.00	0.00		0.00
21827.0000000000	31.0000000000	3.00	8512.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
41836.0000000000	786.0000000000	5.50	6756.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	8103.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	8104.00	SF	0.00	0.00		0.00
0.0000000000	0.0000000000	5.50	10132.00	SF	0.00	0.00		0.00
49970.0000000000	771.0000000000	5.50	6755.00	SF	0.00	0.00		0.00
8142.0000000000	881.0000000000	5.50	6755.00	SF	0.00	0.00		0.00
19817.0000000000	685.0000000000	5.50	9457.00	SF	0.00	0.00		0.00

20212.0000000000	617.0000000000	5.50	9460.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6755.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6755.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	10130.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	9450.00 SF	0.00	0.00	0.00
18113.0000000000	318.0000000000	5.50	9453.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6755.00 SF	0.00	0.00	0.00
46023.0000000000	65.0000000000	5.50	6755.00 SF	0.00	0.00	0.00
21558.0000000000	95.0000000000	5.50	6750.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6752.00 SF	0.00	0.00	0.00
26853.0000000000	193.0000000000	5.50	6752.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	13501.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6750.00 SF	0.00	0.00	0.00
31612.0000000000	1570.0000000000	5.50	6750.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6752.00 SF	0.00	0.00	0.00
49337.0000000000	561.0000000000	5.50	6752.00 SF	0.00	0.00	0.00
9994.0000000000	80.0000000000	5.50	6751.00 SF	0.00	0.00	0.00
21949.0000000000	963.0000000000	5.50	6750.00 SF	0.00	0.00	0.00
45775.0000000000	860.0000000000	5.50	13503.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6752.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6751.00 SF	0.00	0.00	0.00
35381.0000000000	1356.0000000000	5.50	6751.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	5.50	6752.00 SF	0.00	0.00	0.00
27439.0000000000	854.0000000000	5.50	6751.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	12.00	3377.00 SF	0.00	0.00	0.00
0.0000000000	0.0000000000	0.51	94512.00 SF	0.00	0.00	0.00

LAND_CAL_6	LAND_CAL_7	LAND_CAL_8	LAND_CAL_9	LAND_CA_10	SITUS_STRE	SITUS_ST_1	SITUS_ST_2	SITUS_ST_3	SITUS_ST_4	SITUS_ST_5
0.00		0.00	0.00		1237		NE		17	AVE
0.00		0.00	0.00		1236		NE		16	TER
0.00		0.00	0.00		1233		NE		17	AVE
0.00		0.00	0.00		1232		NE		16	TER
0.00		0.00	0.00		1233		NE		16	TER
0.00		0.00	0.00		1228		NE		17	AVE
0.00		0.00	0.00		1229		NE		17	AVE
0.00		0.00	0.00		1228		NE		16	TER
0.00		0.00	0.00		1229		NE		16	TER
0.00		0.00	0.00		1228		NE		16	AVE
0.00		0.00	0.00		1225		NE		17	AVE
0.00		0.00	0.00		1224		NE		17	AVE
0.00		0.00	0.00		1224		NE		16	TER
0.00		0.00	0.00		1225		NE		16	TER
0.00		0.00	0.00		1224		NE		16	AVE
0.00		0.00	0.00		1215	1221	NE		17	AVE
0.00		0.00	0.00		1220	1222	NE		16	TER
0.00		0.00	0.00		1221		NE		16	TER
0.00		0.00	0.00		1220		NE		16	AVE
0.00		0.00	0.00		1218		NE		17	AVE
0.00		0.00	0.00		1216		NE		16	TER
0.00		0.00	0.00		1217		NE		16	TER
0.00		0.00	0.00		1216		NE		16	AVE
0.00		0.00	0.00		1212		NE		17	AVE
0.00		0.00	0.00		1213		NE		17	AVE
0.00		0.00	0.00		1212		NE		16	TER
0.00		0.00	0.00		1215		NE		16	TER
0.00		0.00	0.00		1210	1212	NE		16	AVE
0.00		0.00	0.00		1208		NE		17	AVE
0.00		0.00	0.00		1209		NE		17	AVE
0.00		0.00	0.00		1208		NE		16	TER
0.00		0.00	0.00		1209		NE		16	TER

0.00	0.00	0.00	1208		NE	16	AVE
0.00	0.00	0.00	1205		NE	17	AVE
0.00	0.00	0.00	1204		NE	16	TER
0.00	0.00	0.00	1701	1705	NE	12	ST
0.00	0.00	0.00	1201		NE	16	TER
0.00	0.00	0.00	1200		NE	16	AVE
0.00	0.00	0.00	1645	1647	NE	12	ST
0.00	0.00	0.00	1627	1629	NE	12	ST
0.00	0.00	0.00	1700	1702	NE	12	ST
0.00	0.00	0.00	1143		NE	17	AVE
0.00	0.00	0.00	1144		NE	16	TER
0.00	0.00	0.00	1143	1145	NE	16	TER
0.00	0.00	0.00	1144		NE	16	AVE
0.00	0.00	0.00	1140		NE	17	AVE
0.00	0.00	0.00	1141		NE	17	AVE
0.00	0.00	0.00	1140		NE	16	TER
0.00	0.00	0.00	1140		NE	16	AVE
0.00	0.00	0.00	1136		NE	17	AVE
0.00	0.00	0.00	1133	1137	NE	17	AVE
0.00	0.00	0.00	1136		NE	16	TER
0.00	0.00	0.00	1137		NE	16	TER
0.00	0.00	0.00	1138		NE	16	AVE
0.00	0.00	0.00	1132	1134	NE	16	TER
0.00	0.00	0.00	1133		NE	16	TER
0.00	0.00	0.00	1230		NE	16	AVE
0.00	0.00	0.00			NE	13	ST

SITUS_CITY	SITUS_ZIP_	SITUS_UNIT	LAST_YRS_J	LAST_YRS_1	LAST_YRS_2	LAST_YRS_T	LAST_YRS_A	LAST_YRS_S	TWO_YRS_JU	TWO_YRS_1
FL	33304		37160	314110	0	279120	629699	279120	37160	288190
FL	33304		37160	560760	0	100230	267495	150230	37160	514450
FL	333042425		54050	627700	0	492430	1228570	492430	54050	455950
FL	33304		54050	540060	0	530040	1152987	530040	54050	440200
FL	33304		37140	391240	0	101230	269349	151230	37140	359010
FL	33304		25550	410070	0	315680	667009	365680	25550	366190
FL	333042425		37160	747020	0	784180	1519597	784180	37160	770330
FL	333042323		37160	597210	0	634370	1274472	634370	37160	547860
FL	333042322		37140	809610	0	729080	1433590	779080	37140	798620
FL	33304		40500	733690	0	484410	979888	534410	40500	712020
FL	333042425		37160	757100	0	136500	334748	186500	37160	694590
FL	333042426		25520	583590	0	601240	1250927	601240	25520	521070
FL	333042323		37160	461770	0	410110	883375	410110	37160	423610
FL	33304		37140	987260	0	967720	1896588	967720	37140	905680
FL	333042319		37140	517830	0	68250	208191	118250	37140	475120
FL	33304		108100	1395220	0	1188730	2827003	1188730	108100	990600
FL	33304		54050	470170	0	316010	757176	366010	54050	379810
FL	33304		37140	431380	0	447980	909452	447980	37140	395890
FL	33304		37150	623220	0	660370	1290013	660370	37150	614680
FL	333042426		25530	1091790	0	428890	876937	478890	25530	974860
FL	33304		37160	426480	0	463640	925211	463640	37160	481420
FL	333042322		37140	527300	0	486630	984005	536630	37140	483860
FL	33304		54030	479860	0	419390	938979	469390	54030	390010
FL	33304		25540	607440	0	441720	900728	491720	25540	542280
FL	333042425		37160	374270	0	51200	176574	101200	37160	343430
FL	33304		37160	1155830	0	393110	810589	443110	37160	1140150
FL	333042322		44570	554250	0	548820	1099328	598820	44570	508460
FL	333042319		64830	480330	0	489190	1072001	489190	64830	379890
FL	333042426		55730	516390	0	122930	309588	172930	55730	473620
FL	33304		37150	625430	0	314710	665209	364710	37150	616920
FL	333042323		37150	414800	0	315050	665840	365050	37150	380480
FL	333042322		52010	648460	0	151750	363029	201750	52010	639760

FL	33304	52030	700530	0	652560	1399666	752560	52030	376420
FL	333042425	37150	494930	0	29270	178411	129270	37150	454090
FL	333042323	37150	639890	0	258800	561532	308800	37150	630960
FL	33304	81040	874750	0	955790	2022615	955790	81040	874750
FL	333042322	75600	630090	0	94670	431355	144670	75600	420200
FL	33304 1-6	75620	1019890	0	926380	2109641	926380	75620	929540
FL	333042341	54040	630300	0	498000	1236973	498000	54040	455960
FL	33304	54040	800370	0	804410	1636497	854410	54040	709830
FL	333042437	54000	469930	0	323990	858748	323990	54000	379990
FL	33304	37140	452110	0	124120	377263	174120	37140	361650
FL	33304	54020	494740	0	548760	1210620	548760	54020	509690
FL	33304	108010	1020260	0	958320	2196120	958320	108010	887990
FL	33304	54000	540020	0	413720	1012440	413720	54000	509670
FL	33304	37130	536080	0	377780	814832	427780	37130	428810
FL	33304	54020	679480	0	506570	1277356	506570	54020	660680
FL	33304	37140	450700	0	248140	541767	298140	37140	360500
FL	33304	37130	636750	0	348250	727404	398250	37130	509350
FL	33304	37130	266230	0	236550	547307	236550	37130	212910
FL	33304	108020	1085080	0	1193100	2558290	1193100	108020	1085080
FL	33304	54020	470300	0	101230	435697	151230	54020	380150
FL	33304	37130	386740	0	82410	234447	132410	37130	309340
FL	33304 1-2	54010	469850	0	427930	938380	477930	54010	510120
FL	33304	54020	470140	0	395490	945252	395490	54020	390240
FL	333042320	37130	471370	0	111550	321155	161550	37130	377110
FL	33304	40520	733550	0	506530	1020908	556530	40520	711890
FL	33301	48200	0	0	0	0	48200	48200	0

TWO_YRS__2	TWO_YRS_TA	TWO_YRS_AS	TWO_YRS_SO	BLDG_ADJ_S	BLDG_TOT_S	BLDG_UNITS	BLDG_YEAR_	BLDG_IMPRO	BLDG_CCLAS
0	253750	587065	253750	1086	1342	1	1960 003		2
0	95860	259132	145860	1450	1471	1	1952 003		2
0	447670	1067323	447670	2192	2192	3	1968 003		2
0	477640	1032239	477640	2177	2177	2	1973 003		4
0	96830	260955	146830	1295	1633	1	1951 003		2
0	305030	652730	355030	1549	1726	1	1956 003		2
0	807490	1581680	807490	2354	2425	1	1947 002		2
0	170990	428915	220990	1946	2225	2	1947 002		2
0	693440	1395391	743440	1662	1939	1	1952 003		2
0	468850	960991	518850	2490	3200	1	2017 005		2
0	131070	325386	181070	1912	2221	1	1952 003		2
0	546590	1152949	546590	2481	2683	2	1970 003		2
0	372830	821949	372830	2171	2288	1	1952 003		2
0	879750	1759378	879750	2296	2827	1	1952 003		2
0	64810	200702	114810	2142	2171	1	1952 003		2
0	1080670	2457574	1080670	4743	4743	9	1968 003		2
0	294920	702699	344920	1446	1446	2	1965 003		2
0	407260	845609	407260	1099	1259	1	1970 003		2
0	651830	1288771	651830	1293	1396	1	2002 004		2
0	414950	859568	464950	1387	1539	1	1987 003		2
0	518580	1038034	518580	1199	1502	1	1951 003		2
0	471000	965038	521000	1352	1490	1	1952 003		2
0	394040	880478	444040	1768	1768	2	2000 004		2
0	427400	882998	477400	1259	1486	1	1956 003		2
0	48260	169562	98260	1275	1455	1	1952 003		2
0	380210	794197	430210	1275	1559	1	1990 003		2
0	553030	1102856	553030	1505	1677	1	1952 003		2
0	444720	959304	444720	1605	1605	2	2000 004		2
0	117900	300606	167900	1557	1692	1	1963 003		2
0	304090	650962	354090	1352	1647	1	1999 004		2
0	304420	651583	354420	961	1338	1	1952 003		2
0	145880	353256	195880	1438	1667	1	1952 003		2

0	245640	646801	295640	2197	2267	2	1953 003	2
0	25510	170528	125510	1203	1390	1	1957 003	2
0	249810	548820	299810	1362	1362	1	1969 003	2
0	955790	2042548	955790	3493	3493	5	1953 003	2
0	87910	390830	137910	2324	2324	3	1963 003	2
0	842170	1969862	842170	3395	3395	6	1964 003	2
0	452730	1073497	452730	2100	2100	3	1960 003	2
0	763870	1559854	763870	2047	2047	2	1967 003	2
0	294540	768961	294540	1484	1484	2	1953 003	2
0	119050	364975	169050	1913	2066	2	1952 003	2
0	515730	1185898	515730	2022	2022	3	1954 003	2
0	871200	2022460	871200	3319	3319	6	1962 003	2
0	376110	954281	376110	2125	2125	2	1986 003	2
0	365330	794608	415330	1573	1690	2	1952 003	2
0	460520	1222180	460520	2945	2945	4	1973 003	2
0	239460	529347	289460	1115	1244	1	1952 003	2
0	336660	712249	386660	1243	1294	1	1960 003	2
0	215050	490022	215050	1102	1245	1	1952 003	2
0	1193100	2582808	1193100	3708	3708	7	1958 003	2
0	93780	394647	142160	1404	1404	2	1976 003	2
0	78560	226576	128560	1201	1483	1	1952 003	2
0	441000	968843	491000	1625	1625	2	1991 003	2
0	359540	855065	359540	1797	1797	2	1954 003	2
0	106850	308220	156850	2019	2074	2	1952 003	2
0	490330	1001413	540330	2490	3200	1	2017 005	2
0	0	0	48200	0	0	0	0	2

BLDG_NUM_O	BLDG_USE_C	HOMESTEAD_	NCU_LAND	NCU_BLDG	NCU_PCT	LY_NCU_PCT	A_DATE	L_DATE	B_DATE	SALE_VER1	SALE_VER2
1 001	N		0	0	1/1	1/1	110105	100528	110105	T	Q
1 001	N		0	0	1/1	1/1	101009	100528	100326		
1 100	N		0	0	1/1	1/1	101009	100528	100326	T	Q
1 100	N		0	0	1/1	1/1	101215	100520	100426	Q	
1 001	N		0	0	1/1	1/1	101009	100528	100326	C	T
1 001	N		0	0	1/1	1/1	101009	100506	100326	Q	
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	Q
2 102	N		0	0	1/1	1/1	101009	100528	100326	Q	T
1 001	N		37140	513530	70%	70%	101009	100528	100326	Q	T
1 001	N		0	0	1/1	1/1	101009	100608	71116	T	Q
1 001	N		0	0	1/1	1/1	101009	100528	100326		
2 001	N		0	0	1/1	1/1	101009	100520	100426	T	T
1 001	N		0	0	1/1	1/1	101009	100528	100326	T	
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	T
1 001	N		0	0	1/1	1/1	101009	100528	100326	T	
3 100	N		0	0	1/1	1/1	101027	100520	101027	Q	
1 100	Y		0	0	1/1	50%	101009	100520	100426	Q	T
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	T
1 001	Y		0	0	1/1	1/1	101009	100528	100326	Q	D
1 001	N		0	0	1/1	1/1	101009	100506	100326	Q	Q
1 001	N		0	0	1/1	1/1	101009	100528	100612	Q	C
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	E
1 100	N		37150	206670	1/2	1/2	101009	100520	101027	Q	Q
1 001	N		0	0	1/1	1/1	101009	100506	100326	T	Q
1 001	N		0	0	1/1	1/1	101009	100528	100326		
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	C
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	Q
1 100	N		0	0	1/1	1/1	101027	100520	101027	Q	E
1 001	N		0	0	1/1	1/1	110105	100528	110105		
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	T
1 001	N		0	0	1/1	1/1	101009	100528	100326	Q	T
1 001	N		0	0	1/1	1/1	101009	100528	100326		

2 102	N	0	0 1/1	1/1	101009 100520 101027 Q	Q
1 001	N	0	0 1/1	1/1	101009 100528 100326 T	
1 001	N	0	0 1/1	1/1	101009 100528 100326 Q	
2 102	N	0	0 1/1	1/1	101027 100520 101027 Q	T
2 102	N	51980	42210 82%	82%	101028 100520 101102	
2 100	N	0	0 1/1	1/1	101027 100520 101027 Q	T
1 100	N	0	0 1/1	1/1	101027 100520 101027 Q	
1 100	N	0	0 1/1	1/1	101009 100520 100525 Q	Q
1 100	N	0	0 1/1	1/1	101009 100520 100426 Q	
2 001	N	0	0 1/1	1/1	101009 100520 100426 T	T
1 100	N	0	0 1/1	1/1	101009 100520 100426 Q	
2 100	N	0	0 1/1	1/1	101009 100520 100426 Q	T
1 100	N	0	0 1/1	1/1	101009 100520 100426	
2 102	N	0	0 1/1	1/1	101009 100520 100426 Q	Q
1 100	N	0	0 1/1	1/1	101009 100520 100426	
1 001	N	0	0 1/1	1/1	101009 100528 100326 Q	Q
1 001	N	0	0 1/1	1/1	101009 100528 100830 Q	D
1 001	N	0	0 1/1	1/1	101009 100528 100601 C	T
2 100	N	0	0 1/1	1/1	101009 100520 100426 Q	Q
1 100	N	37140	31970 1/2	1/2	101009 100520 100426	
1 001	N	0	0 1/1	1/1	101209 100528 100326 T	
1 100	N	0	0 1/1	1/2	110114 100520 100426 Q	T
1 100	N	0	0 1/1	1/1	101009 100520 100426	
2 001	N	0	0 1/1	1/1	101009 100520 100426 T	
1 001	N	0	0 1/1	1/1	0 0 0 Q	Q
0	N	0	0 1/1	1/1	0 0 0	

SALE_VER3	SALE_VER4	DISASTER_C	DISASTER_Y	SENIOR	SEN_EX_COU	SEN_EX_CIT	PORTABILIT	PORT_SPLIT	PORTED_VAL	PORT_UD
			0		0	0		0	0	
			0		0	0		0	0	
C	D		0		0	0		0	0	
			0		0	0		0	0	
			0		0	0		0	0	
			0		0	0		0	0	
Q			0		0	0		0	0	
Q	T		0		0	0		0	0	
			0		0	0		0	0	
T	T		0		0	0		0	0	
			0		0	0		0	0	
T	Q		0		0	0		0	0	
			0		0	0		0	0	
S	T		0		0	0		0	0	
			0		0	0		0	0	
			0		0	0		0	0	
Q			0		0	0		0	0	
			0		0	0		0	0	
T	Q		0		0	0		0	0	
			0		0	0		0	0	
T			0		0	0		0	0	
			0		0	0		0	0	
Q	T		0		0	0		0	0	
T			0		0	0		0	0	
			0		0	0		0	0	
D			0		0	0		0	0	
			0		0	0		0	0	
			0		0	0		0	0	
			0		0	0		0	0	
C	T		0		0	0		0	0	
Q	D		0		0	0		0	0	
			0		0	0		0	0	

Q		0 Y	50000	50000	0	0
		0 Y	50000	50000	0	0
		0	0	0	0	0
		0	0	0	0	0
		0	0	0	0	0
Q	Q	0	0	0	0	0
		0	0	0	0	0
Q	Q	0	0	0	0	0
		0	0	0	0	0
T		0	0	0	0	0
		0	0	0	0	0
T		0	0	0	0	0
		0	0	0	0	0
T		0	0	0	0	0
		0	0	0	0	0
C	T	0	0	0	0	0
		0	0	0	0	0
		0	0	0	0	0
Q	Q	0	0	0	0	0
		0	0	0	0	0
		0	0	0	0	0
T		0	0	0	0	0
		0	0	0	0	0
		0	0	0	0	0
E		0	0	0	0	0
		0	0	0	0	0

SALE3_VORI	SALE3_CHAN	SALE4_VORI	SALE4_CHAN	SALE5_VORI	SALE5_CHAN	PRELIM_JUS	PRELIM_JV_	GIS_SQUARE	ACTUAL_YEA
						0		6756	1950
						0		6756	1951
						0		6756	1952
						0		6756	1952
						0		6753	1950
						0		8515	1953
						0		6756	1946
						0		6756	1946
						0		6753	1950
						0		3375	2016
						0		6756	1949
						0		8507	1969
						0		6756	1951
						0		6753	1950
						0		6753	1950
						0		13512	1952
						0		6756	1952
						0		6753	1950
						0		6754	1948
						0		8510	1951
						0		6756	1950
						0		6752	1950
						0		6754	1960
						0		8512	1950
						0		6756	1950
						0		6756	1950
						0		8103	1947
						0		8104	1958
						0		10132	1951
						0		6755	1951
						0		6755	1947
						0		9457	1949

		0	9460 1952
		0	6755 1952
		0	6755 1952
		0	10130 1952
		0	9450 1950
		0	9453 1958
		0	6755 1953
		0	6755 1959
		0	6750 1952
		0	6752 1951
		0	6752 1953
		0	13501 1961
		0	6750 1985
		0	6750 1951
		0	6752 1972
		0	6752 1950
		0	6751 1959
		0	6750 1949
		0	13503 1957
		0	6752 1951
		0	6751 1949
		0	6751 1990
		0	6752 1953
		0	6751 1951
		0	3378 2016
		0	94512

LAST_PHYSI	OWNERS_DOM	CENSUS_BLO	SALE1_QUAL	SALE2_QUAL	SALE3_QUAL	SALE4_QUAL	SALE5_QUAL	PAIRING_CO	LAND_TAG
0424		120110407022	11	02				D46	21
0424	FL	120110407022						D46	21
0924	FL	120110407022	11	01	02	12		F06	59
1223	FL	120110407022	01					F06	59
0424		120110407022	02	11				D46	21
0422		120110407022	01					D46	21
0424	FL	120110407022	01	01	01			D46	21
0125	FL	120110407022	01	11	01	11	11	D46	21
0424	FL	120110407022	01	11				D46	21
1123		120110407022	11	01	11	11	05	D46	23
0424	FL	120110407022						D46	21
0422	FL	120110407022	11	11	11	01		D46	21
0424	FL	120110407022	11					D46	21
0424	FL	120110407022	01	11	02	11	11	D46	21
0424	FL	120110407022	11					D46	21
0924		120110407022	01					F06	59
0924		120110407022	01	11	01			F06	59
0424		120110407022	01	11				D46	21
0424		120110407022	01	11	11	01		D46	21
0121	FL	120110407022	01	01				D46	21
0524		120110407022	01	02	11			D46	21
0624	FL	120110407022	01	01				D46	21
0924		120110407022	01	01	01	11	01	F06	59
0422	FL	120110407022	11	01	11			D46	21
0424	FL	120110407022						D46	21
0524		120110407022	01	02	12			D46	21
0624	FL	120110407022	01	01				D46	21
0924	FL	120110407022	01	03				F06	59
0524	FL	120110407022						D46	21
0424	FL	120110407022	01	11	02	11	11	D46	21
0424	FL	120110407022	01	11	01	37		D46	21
0424	FL	120110407022						D46	21

0424		120110407022 01	01					D46	21
0424	FL	120110407022 11						D46	21
0424	FL	120110407022 01						D46	21
0223	FL	120110407022 01	11					F06	58
0924	FL	120110407022						F06	58
0924		120110407022 01	11	01	01			F06	58
0924	FL	120110407022 01						F06	58
0324		120110407022 01	01	01	01	01		F06	58
1024		120110407022 01						F06	58
0522	FL	120110407022 11	11	11				D46	21
0622	FL	120110407022 01						F06	58
0522		120110407022 01	11	11				F06	58
0622		120110407022						F06	58
0522		120110407022 01	01	11				D46	21
0622		120110407022						F06	59
1022		120110407022 01	01	02	11	12		D46	21
0522	FL	120110407022 01	01					D46	21
0522	FL	120110407022 02	11					D46	21
0524		120110407022 01	01	01	01			F06	59
0222	FL	120110407022						F06	59
0522		120110407022 11						D46	21
0922	FL	120110407022 01	11	11				F06	59
0622	FL	120110407022						F06	59
0522	FL	120110407022 11						D46	21
1123		120110407022 01	01	05				D46	23
1221		120110407022							75

MISC_DISTR	MISC_DIST_	NCU_LAND2	NCU_BLDG2	BEDS	BATHS	LY_NCU_LAN	LY_NCU_BLD	LY_SB_SOH_	CBROW	LYCBROW	GRANNY_FLA
	0.00	0	0	2.0	2.0	0	0	351270	0	0	0
	0.00	0	0	0.0	0.0	0	0	150230	0	0	0
	0.00	0	0	0.0	0.0	0	0	681750	0	0	0
	0.00	0	0	0.0	0.0	0	0	594110	0	0	0
	0.00	0	0	2.0	1.0	0	0	151230	0	0	0
	0.00	0	0	2.0	0.0	0	0	365680	0	0	0
	0.00	0	0	4.0	3.0	0	0	784180	0	0	0
	0.00	0	0	2.0	2.0	0	0	634370	0	0	0
	0.00	0	242880	2.0	1.5	0	242880	779080	0	0	0
	0.00	0	0	3.0	2.0	0	0	534410	0	0	0
	0.00	0	0	5.0	3.0	0	0	186500	0	0	0
	0.00	0	0	6.0	4.0	0	0	609110	0	0	0
	0.00	0	0	5.0	3.5	0	0	498930	0	0	0
	0.00	0	0	5.0	5.0	0	0	1024400	0	0	0
	0.00	0	0	4.0	3.0	0	0	118250	0	0	0
	0.00	0	0	0.0	0.0	0	0	1503320	0	0	0
	0.00	0	0	0.0	0.0	0	194360	406740	0	0	0
	0.00	0	0	3.0	2.0	0	0	468520	0	0	0
	0.00	0	0	2.0	1.0	0	0	660370	0	0	0
	0.00	0	0	3.0	2.0	0	0	478890	0	0	0
	0.00	0	0	3.0	2.0	0	0	463640	0	0	0
	0.00	0	0	2.0	1.0	0	0	536630	0	0	0
	0.00	0	229980	0.0	0.0	0	214510	494810	0	0	0
	0.00	0	0	2.0	1.0	0	0	491720	0	0	0
	0.00	0	0	0.0	0.0	0	0	101200	0	0	0
	0.00	0	0	3.0	2.0	0	0	443110	0	0	0
	0.00	0	0	3.0	2.0	0	0	598820	0	0	0
	0.00	0	0	0.0	0.0	0	0	545160	0	0	0
	0.00	0	0	3.0	1.0	0	0	172930	0	0	0
	0.00	0	0	3.0	3.0	0	0	364710	0	0	0
	0.00	0	0	2.0	1.0	0	0	365050	0	0	0
	0.00	0	0	0.0	0.0	0	0	201750	0	0	0

0.00	0	0	0.0	0.0	0	0	752560	0	0	0
0.00	0	0	2.0	1.0	0	0	129270	0	0	0
0.00	0	0	3.0	2.0	0	0	308800	0	0	0
0.00	0	0	0.0	0.0	0	0	955790	0	0	0
0.00	0	45480	4.0	3.0	0	41340	216750	0	0	0
0.00	0	0	0.0	0.0	0	0	1095510	0	0	0
0.00	0	0	0.0	0.0	0	0	684340	0	0	0
0.00	0	0	5.0	4.0	0	0	854410	0	0	0
0.00	0	0	0.0	0.0	0	0	523930	0	0	0
0.00	0	0	3.0	2.0	0	0	174120	0	0	0
0.00	0	0	0.0	0.0	0	0	548760	0	0	0
0.00	0	0	6.0	6.0	0	0	1128270	0	0	0
0.00	0	0	0.0	0.0	0	0	594020	0	0	0
0.00	0	0	3.0	2.0	0	0	427780	0	0	0
0.00	0	0	5.0	5.0	0	0	733500	0	0	0
0.00	0	0	2.0	1.0	0	0	298140	0	0	0
0.00	0	0	2.0	2.0	0	0	398250	0	0	0
0.00	0	0	2.0	1.0	0	0	303360	0	0	0
0.00	0	0	0.0	0.0	0	0	1193100	0	0	0
0.00	0	83220	2.0	0.0	0	75660	310730	0	0	0
0.00	0	0	2.0	0.0	0	0	132410	0	0	0
0.00	0	0	0.0	0.0	0	234930	477930	0	0	0
0.00	0	0	0.0	2.0	0	0	524160	0	0	0
0.00	0	0	4.0	0.0	0	0	161550	0	0	0
0.00	0	0	3.0	2.0	0	0	556530	0	0	0
0.00	0	0	0.0	0.0	0	0	48200	0	0	0

F1	2.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F2	10130.00	0.00	0	0	0
F1	3.00	0.00	0	0	0
F2	9453.00	0.00	0	0	0
F1	3.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	3.00	0.00	0	0	0
F2	13501.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F2	6752.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F2	13503.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	2.00	0.00	0	0	0
F1	1.00	0.00	0	0	0
F1	0.00	0.00	0	0	0

118780820.000000000	115248430.000000000	0.000000000	0.000000000	0.000000000
116152878.000000000	0.000000000	0.000000000	0.000000000	0.000000000
113329502.000000000	0.000000000	0.000000000	0.000000000	0.000000000
118442519.000000000	113712044.000000000	0.000000000	0.000000000	0.000000000
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000
117355250.000000000	114848824.000000000	114808741.000000000	113313927.000000000	0.000000000
114680625.000000000	0.000000000	0.000000000	0.000000000	0.000000000
119254327.000000000	118538892.000000000	116220900.000000000	115272297.000000000	0.000000000 Q
119814814.000000000	0.000000000	0.000000000	0.000000000	0.000000000
117487613.000000000	0.000000000	0.000000000	0.000000000	0.000000000
116502422.000000000	0.000000000	0.000000000	0.000000000	0.000000000
116243017.000000000	116243016.000000000	0.000000000	0.000000000	0.000000000
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000
116375379.000000000	114993418.000000000	0.000000000	0.000000000	0.000000000
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000
114124183.000000000	113145748.000000000	111309391.000000000	111268869.000000000	0.000000000 D
114105585.000000000	113670899.000000000	0.000000000	0.000000000	0.000000000
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000
119513930.000000000	118414235.000000000	115554543.000000000	111725916.000000000	0.000000000 O
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000
113445382.000000000	0.000000000	0.000000000	0.000000000	0.000000000
117893889.000000000	116499713.000000000	0.000000000	0.000000000	0.000000000
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000
116548168.000000000	0.000000000	0.000000000	0.000000000	0.000000000
115051840.000000000	113526117.000000000	112424046.000000000	0.000000000	0.000000000
0.000000000	0.000000000	0.000000000	0.000000000	0.000000000

AFFORDABLE	AFFORDAB_1	COUNTY_AH_	SCHOOL_AH_	CITY_AH_AM	INDEP_AH_A	TEN_PERCEN	PORT_OWNER	BLDG_UNDER
		0	0	0	0			1034
		0	0	0	0			1429
		0	0	0	0			0
		0	0	0	0			0
		0	0	0	0			1150
		0	0	0	0			1371
		0	0	0	0			2320
		0	0	0	0			1806
		0	0	0	0			1684
		0	0	0	0			2332
		0	0	0	0			1802
		0	0	0	0			2367
		0	0	0	0			2288
		0	0	0	0			2587
		0	0	0	0			2114
		0	0	0	0			0
		0	0	0	0			0
		0	0	0	0			1114
		0	0	0	0			1366
		0	0	0	0			1443
		0	0	0	0			1232
		0	0	0	0			1214
		0	0	0	0			0
		0	0	0	0			1246
		0	0	0	0			1124
		0	0	0	0			1284
		0	0	0	0			1477
		0	0	0	0			0
		0	0	0	0			1490
		0	0	0	0			1205
		0	0	0	0			840
		0	0	0	0			1235

0	0	0	0	2127
0	0	0	0	1110
0	0	0	0	1362
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0
0	0	0	0	1830
0	0	0	0	0
0	0	0	0	0
0	0	0	0	0
0	0	0	0	1515
0	0	0	0	0
0	0	0	0	996
0	0	0	0	1244
0	0	0	0	1025
0	0	0	0	0
0	0	0	0	0
0	0	0	0	1112
0	0	0	0	0
0	0	0	0	0
0	0	0	0	1936
0	0	0	0	2332
0	0	0	0	0





April 4/16/2025

NARRATIVE

Re:Edilbert Comas Tusell &
Sara Caro Rodriguez
1208 NE 16 Terrace
Fort Lauderdale, FL 33304

Carport to Garage conversion

The homeowners, Mr. Comas and Mrs. Rodriguez would like to convert their existing carport to a garage. The main reason is to park their car inside the garage, as well to be able to store their belongings that now are in the carport, such as their bicycles. Not only to protect them from the environment but also for safety.

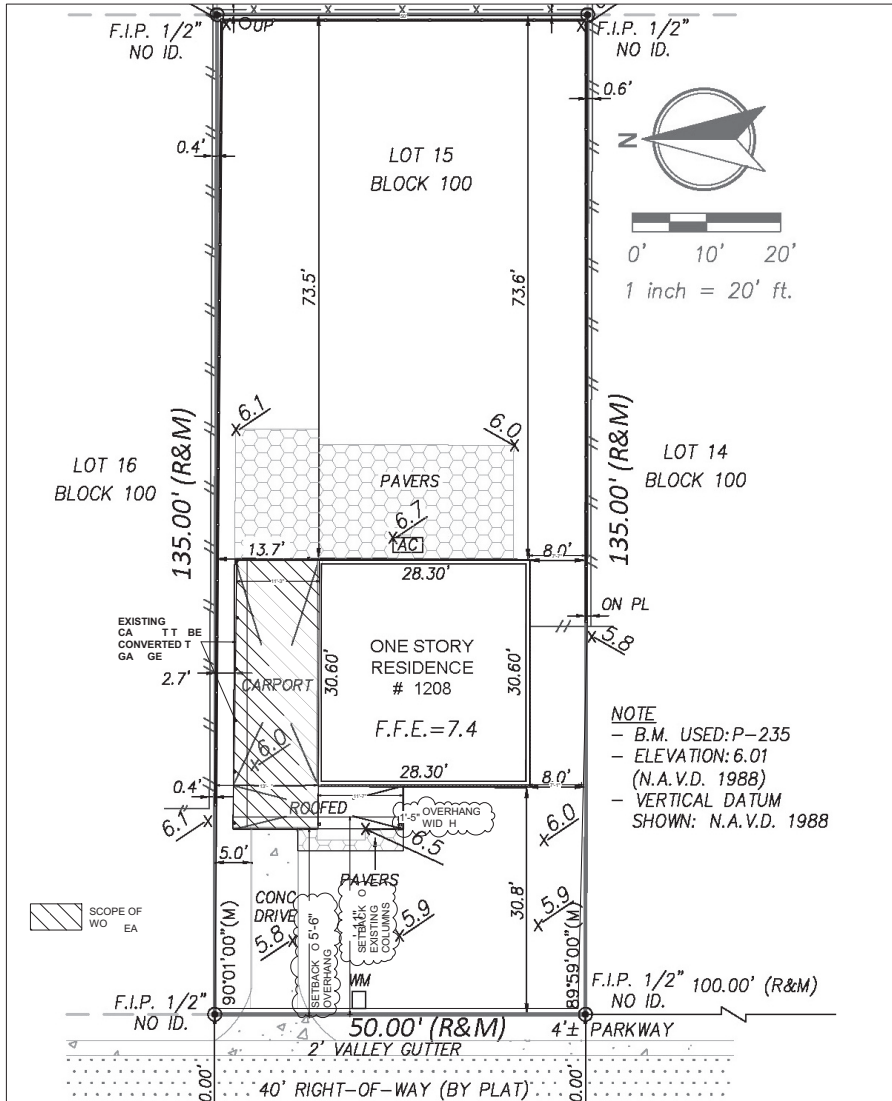
The existing overhang is 1.6' and it will stay the same. The allowable $\frac{1}{3}$ max = 0.9' the difference is 0.7' therefore we are asking for a variance for this as well. The overhang is above code requirements as per 47-19-2-B Architectural features.

The existing carport was built with the house at the current location with a side setback of 2.7', the required side setback is of 5' as per Section 47-5.33, being non conforming we are asking for this variance. The main reason is that if the garage is built at the 5' side setback it will not serve its purpose as a garage since it will not be wide enough to accommodate the car in a useful way. The car will fit however the driver wouldn't have space to get down.

Also the door that will communicate the garage to the house leads to the kitchen. Due to the drop down there are stairs leading to the kitchen that will take space from the garage width as well. Those 2 feet and 4 inches that they will gain makes a great difference regarding the usefulness of the proposed garage.

It is my belief that the garage will also beautify the property and therefore the neighborhood. There are other homes in the neighborhood that have done it in the past and we see the difference in looks and cleanliness.

Adriana Graell
Licensed Contractor / authorized agent for this variance
954-534-1960



SITE PLAN
SCALE: 1/8" = 1'

PROJECT INFO

1. BUILDING TYPE: V
2. OCCUPANCY GROUP: 2
3. FLOOR AREA TYPE: LEVEL 2

BUILDING CODES

FLORIDA BUILDING CODE 2023 EDITION
FLORIDA FIRE PREVENTION CODE 8TH EDITION

OWNER

COMSUELL, EDILBER
CARO RODRIGUEZ, SARA

PROPERTY ADDRESS

1208 NE 16 E LAUDERDALE,
FL 33304-2323

MILING ADDRESS

1208 NE 16 E LAUDERDALE,
FL 33304-2323

LEGAL DESCRIPTION

PROGRESSO 2-18 D LOT 15 LK 100

RCEL NUMBER CONTROL

494234028830

SCOPE OF WORK

STRUCTURAL

- EXISTING CARPORT TO BE CONVERTED INTO GARAGE
- NEW CMU WALL, CEILING AND COLUMNS.
- NEW GARAGE DOOR, WINDOW AND SWING DOOR
- EXISTING FOOTING TO REMAIN
- EXISTING CONCRETE SLAB TO REMAIN AS IS.

ELECTRICAL

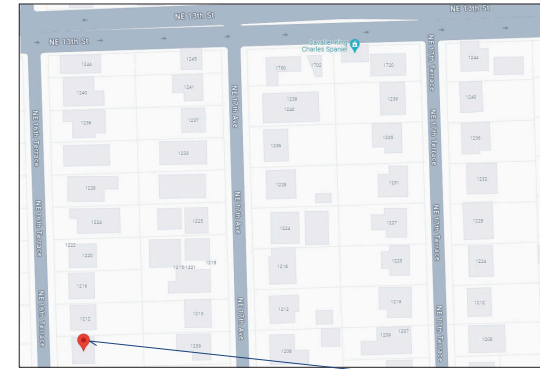
NO WORK TO BE DONE.

PLUMBING

NO WORK TO BE DONE.

MECHANICAL

NO WORK TO BE DONE.



CAT ON PLAN
N.T.S

1208 NE 16 E FO
LAUDERDALE, FL
33304-2323



GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE, LIFE AND SAFETY CODE (FPD01) AND WITH THE REQUIREMENTS OF THE OWA COUNTY, STATE AND NATIONAL WEATHER CODES. ANY DISCREPANCIES BETWEEN THE PLANS AND OVERLAPPING REQUIREMENTS MUST BE CALLED OUT BY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORKS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURES AND PERSONNEL DURING THE WORK UNDER HIS CONTRACT. LIFTING, CUTTING, DRILLING OR PUNCTURING FLOORING OR OTHER MODIFICATIONS SHALL BE CAREFULLY DONE BY SKILLED PERSONNEL AND IN ACCORDANCE WITH THE INTENT OF THE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING WORK, MATERIALS AND EQUIPMENT AS A RESULT OF HIS OPERATIONS. UNDAMAGED WORK SHALL BE REPAIRED OR REPLACED WITH MATERIALS OF LIKE TYPE, QUALITY AND FINISH BY SKILLED PERSONNEL OF THE TRADE INVOLVED. NO ADDITIONAL COSTS TO THE OWNER AND OF THE FULL SUFFICIENT ACTION OF THE ARCHITECT/ENGINEER.
4. ALL MEASUREMENTS SHALL BE MADE FROM THE SHOP DRAWINGS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PLANS. HE MUST FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK AND REPORT TO THE ARCHITECT/ENGINEER OR CLARIFY ANY DISCREPANCIES. THE CONTRACTOR MUST COORDINATE THE WORK OF ALL TRADES AND INSURE THAT ALL WORK CAN BE COMPLETED AS INTENDED IN THE PLANS.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING SUBCONTRACTOR PERMITS, INSPECTIONS AND APPROVALS FROM ALL GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
6. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING SUBCONTRACTOR PERMITS, INSPECTIONS AND APPROVALS FROM ALL GOVERNING AGENCIES WITH JURISDICTION OVER THE PROJECT BEFORE BEGINNING WORK.
7. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY. ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT, CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVES.
8. FIRE RESISTIVITY/UNDERWATERS LABORATORY TESTS SHALL BE PERFORMED ON ALL STEEL MEMBERS AND CONNECTIONS TO BE USED IN THE STRUCTURE. ALL STEEL MEMBERS SHALL BE PROTECTED WITH A MINIMUM OF 1/2" THICKNESS OF FIRE RESISTANT MATERIAL AS SPECIFIED IN THE PLANS.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ACCESS TO ALL EXISTING FACILITIES AND THOSE UNDER CONSTRUCTION IN THE IMMEDIATE VICINITY. ALL TIMES DURING CONSTRUCTION OF PROPOSED PROJECT, CONSTRUCTION SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVES.
10. FIRE RESISTIVITY/UNDERWATERS LABORATORY TESTS SHALL BE PERFORMED ON ALL STEEL MEMBERS AND CONNECTIONS TO BE USED IN THE STRUCTURE. ALL STEEL MEMBERS SHALL BE PROTECTED WITH A MINIMUM OF 1/2" THICKNESS OF FIRE RESISTANT MATERIAL AS SPECIFIED IN THE PLANS.
11. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH THE REQUIREMENTS OF UTILITIES COMPANIES INCLUDING THE CITY OF PUBLIC WORKS DEPARTMENT, WHOSE SERVICES SHALL BE USED.
12. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK, AND IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
13. ALL MATERIAL AND WORKMANSHIP SHALL MEET THE REQUIREMENTS OF THE APPLICABLE STANDARD SPECIFICATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS.
14. WORKMANSHIP: ALL WORK SHALL BE PERFORMED IN A MANNER CONSISTENT WITH THE BEST PRACTICES FOR THE RESPECTIVE TRADES AND QUALITY SPECIFIED, WORK NOT CONSISTENT WITH THE HIGHEST LEVEL OF WORKMANSHIP WILL BE EJECTED. ANY WORK EJECTED SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. CORRECTION OF DEFECTIVE WORK SHALL BE COMPLETED NO LATER THAN FIVE (5) BUSINESS DAYS AFTER NOICE IS GIVEN. THE CONTRACTOR SHALL PROCEED WITHOUT DELAY UNTIL WORK IS COMPLETED.
15. CLEANUP: THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE PREMISES. CLEANUP OF DEBRIS ARISING OUT OF THE WORK AND FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR OBSTRUCTIONS CAUSED BY HIS OPERATIONS OR HIS TRADES. THE CONTRACTOR SHALL REQUIRE ALL SERVICE REFUSE ONLY. THE CONTRACTOR SHALL DELIVER ALL WORK UPON COMPLETION OF THE JOB IN CLEAN, READY-TO-USE CONDITION. ALL FINISHED SURFACES SHALL HAVE PROTECTIVE COVERINGS REMOVED, AND SURFACES CLEANED OF ALL MARKS, STAINS, SOIL, PAINT, OR DISINTEGRATIONS OF OTHER MATERIALS AND LEFT IN PERFECT CONDITION.

VISION TABLE NUMBER	DATE	DESCRIPTION



Digitally signed by FERNANDO E MARQUEZ
Date: 2025.04.02 10:21:30-0400

COMSUELL, EDILBER
CARO RODRIGUEZ, SARA
1208 NE 16 E LAUDERDALE,
FL 33304-2323

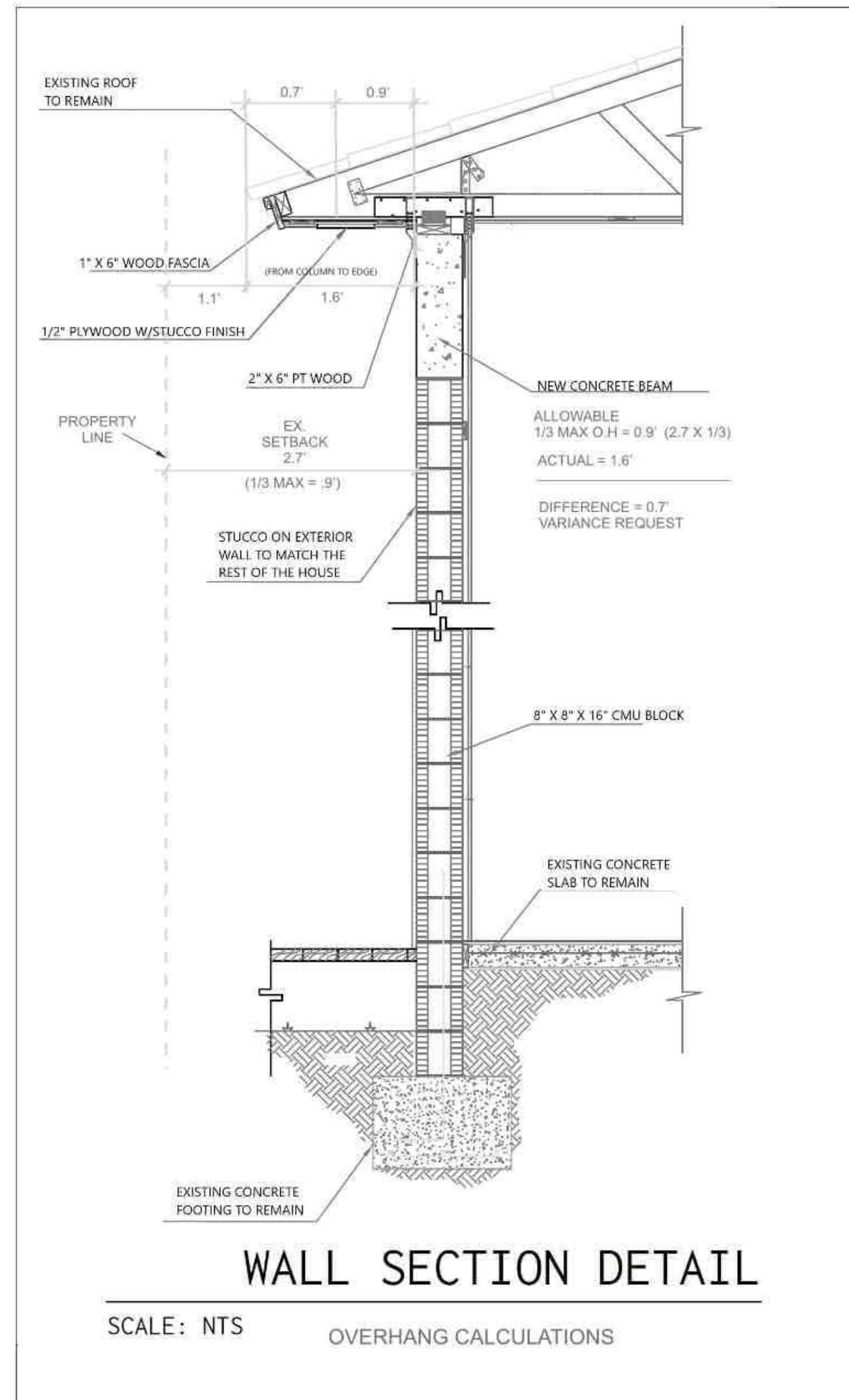
EXISTING CARPORT TO BE
CONVERTED INTO GARAGE



DATE: 5

SCALE: AS NOTED

SHEET: A-1



WALL SECTION DETAIL
SCALE: NTS OVERHANG CALCULATIONS

BEAM SCHEDULE				
MARK	SIZE	REINFORCEMENT		REMARKS
		HORIZONTAL	TIES	
BB-1	8x16	QTY. (2) #4 HORIZ.		BEAM

COLUMN SCHEDULE				
MARK	SIZE	BOT. REINFORCEMENT		REMARKS
		HORIZ/VERT	TIES OR CAP PLATE	
SC	8x16	(5) #5 VERT.	#4 TIES @ 8" O.C.	STARTING COLUMN MIN FC = 2500 PSI
FC	8x8	(1) #5 VERT.		FILL CELL MIN FC = 2500 PSI

NOTE: MIN. EMBEDMENT FOR REBAR INTO TIE-BEAM AND FOOTING IS 4".

CONNECTOR SCHEDULE					
MARK	CONNECTOR	CONNECTOR ALLOWABLE LOAD VALUES (LBS)		NAIL SIZE & QUANTITY	N.O.A. FL APPROVAL
		LIFT	LATERAL		
1A	SIMPSON HETA30 CONNECTOR	2,400	F1 F2 1,225 1,520	(12) #10 FASTENERS	FL-11473

Codes & standards

Wind loads as per Florida Building Code, 2023 8TH Ed. ANS/ASCE 7-22
Wind Speed=175 MPH (3 Second Gust)
Structure Type= II
Exposure = C

LOADS

CURRENT CODE IS 2023 FLORIDA BUILDING CODE
ROOF DESIGN LOAD:
LIVE L. = 30 P.S.F.
DEAD L. = 5 P.S.F.

GENERAL STRUCTURAL NOTES:

COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, VERIFY ALL DIMENSIONS, LOCATE DEPRESSED SLAB SLOPES DRAINS: OUTLETS, RECESSES BOLT SETTING SLEEVES, INSERTS, ETC. ALL STRUCTURAL OPENINGS AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASED BEFORE PROCEEDING WITH STRUCTURAL WORK AFFECTED ANY DISCREPANCIES NOTIFY ARCHITECT OR ENGINEER, SHALL COMPLY WITH THE LATEST REQUIREMENTS AND ALL LOCAL CODES GOVERNING THE INSTALLATION: SEE PLANS FOR ADDITIONAL NOTES.

CONCRETE NOTE:

ALL CONCRETE TO ATTAIN MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS. AGGREGATES TO BE CLEAN AND WELL GRADED, MAXIMUM SIZE 1" CONCRETE SLUMP 3" MIN. TO 5" MAX. SLABS ON GRADE TO BE 2500 PSF IN 28 DAYS.
CONCRETE COVER AS FOLLOWS: BOTTOM/ TOP SIDES
GRADE BEAM/FOOTING:..... 3" 2" 2" ACI318-14

SOIL STATEMENT:

SOIL AT THIS SITE IS ROCK & SAND ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2,000 PSF. AFTER EXCAVATION SIGNED AND SEALED LETTER WILL BE SUBMITTED BY THE ARCHITECT OR THE ENGINEER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WHICH THE DESIGN IS BASED ON.

TERMITE PROTECTION:

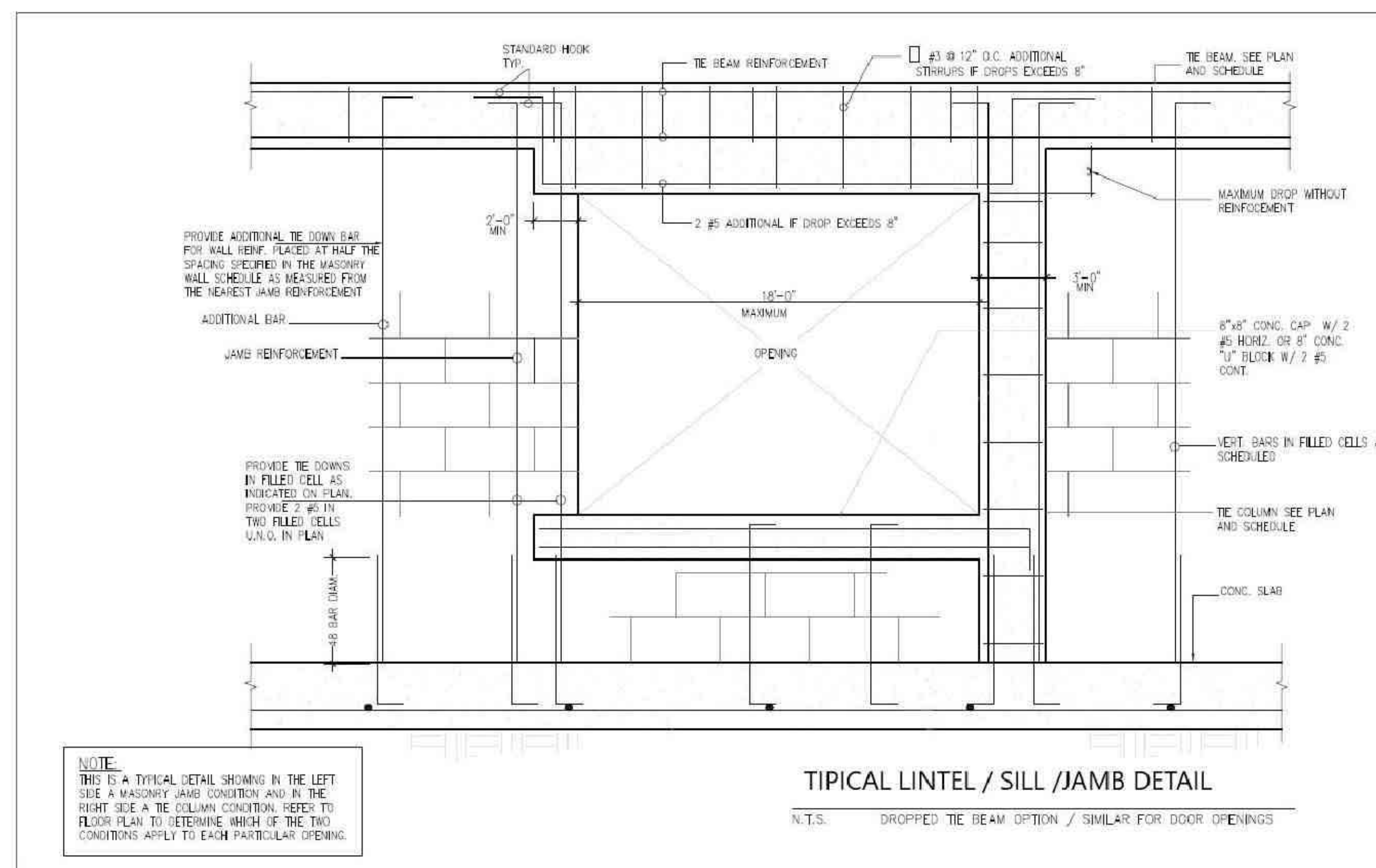
ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT.

WOOD NOTES

ALL WOOD FOR BEAMS, BEARING WALLS, SOLE PLATES, TOP PLATES, BLOCKING, BRACING, LOGGERS, CRIPPLES, SILLS, ETC., SHALL BE SOUTHERN PINE NO. 2, KD-15, OR BETTER. AND SHALL PROVIDE A MODULES OF ELASTICITY OF 1,600,000 PSI, A MIN. FLEXURAL STRESS OF 1,250 PSI, AND A MIN. HORIZONTAL SHEAR STRESS OF 175 PSI.

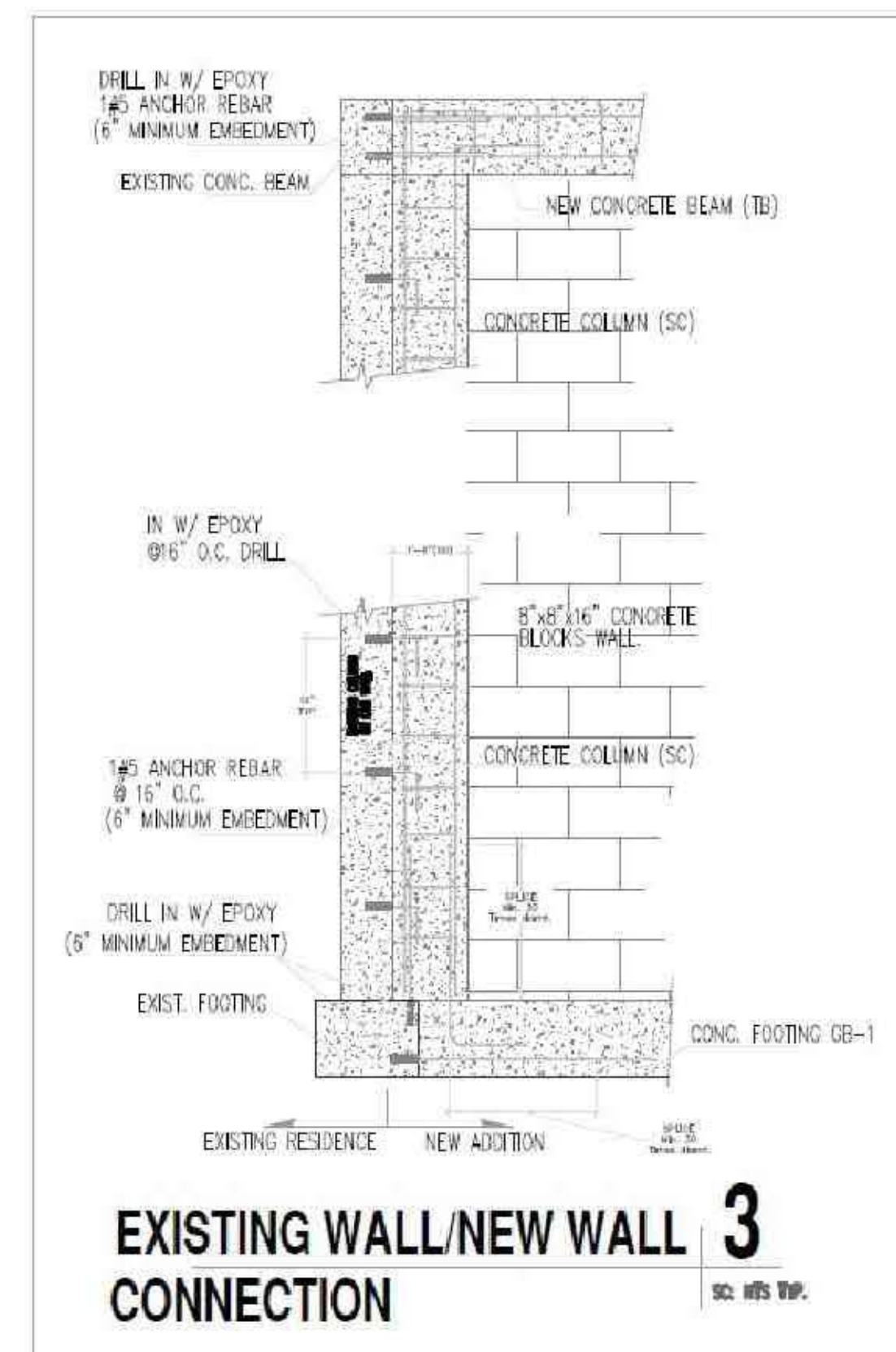
CONCRETE MASONRY UNITS:

- A. THE LOAD BEARING MASONRY WALLS ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY BY THE NATIONAL CONCRETE MASONRY ASSOCIATION AND BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES -TMS 402 AND TMS 602.
- B. MINIMUM COMPRESSIVE STRENGTH OF LOAD BEARING MASONRY UNITS SHALL BE 1500PSI (ASTM C90-90, GRADE N) MASONRY CEMENT (MORTAR) SHALL COMPLY WITH ASTM C31 AND SHALL ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI (ASTM C270, TYPE M) F_m=1500PSI.
- C. MASONRY SHALL BE PLACED PRIOR TO PLACING CONCRETE COLUMNS.



TYPICAL LINTEL / SILL / JAMB DETAIL

N.T.S. DROPPED TIE BEAM OPTION // SIMILAR FOR DOOR OPENINGS



EXISTING WALL/NEW WALL CONNECTION 3 SO. NTS TOP.

REVISION TABLE	DESCRIPTION
NUMBER	DATE
REVISOR	BY

FERNANDO MARQUEZ P.E.
LICENSED ENGINEER #19017
STATE OF FLORIDA



Digitally signed by FERNANDO E MARQUEZ
Date: 2025.04.16 11:33:03 -04'00'

COMAS TUSSELL, EDILBERT
CARO RODRIGUEZ, SARA
1208 NE 16 TER FORT LAUDERDALE,
FL 33304-2323

EXISTING CAR PORT TO BE
CONVERT IN TO GARAGE

DRAWINGS PROVIDED BY:
RL DRAFTING SERVICES
90 YEARS OF EXCELLENCE

DATE:

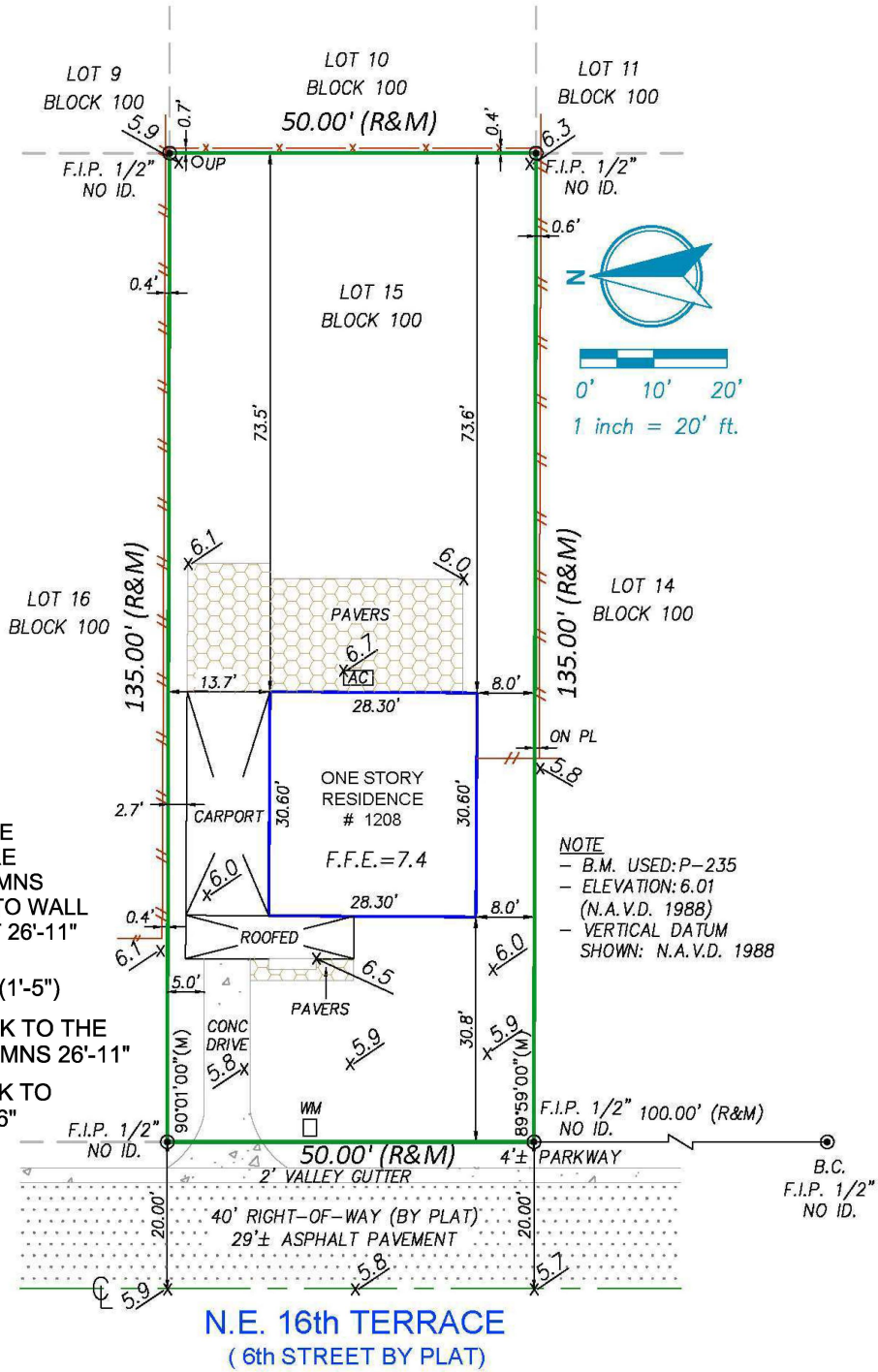
8/30/2024

SCALE:

AS NOTED

SHEET:

S-2



NEW WALL TO BE LOCATED WHERE EXISTING COLUMNS ARE. SETBACK TO WALL WILL REMAIN AT 26'-11"

OVERHANG 17" (1'-5")

FRONT SETBACK TO THE EXISTING COLUMNS 26'-11"

FRONT SETBACK TO OVERHANG 25'-6"

NOTE

- B.M. USED: P-235
- ELEVATION: 6.01 (N.A.V.D. 1988)
- VERTICAL DATUM SHOWN: N.A.V.D. 1988

POINTS OF INTEREST:
DRIVEWAY CROSSES LOT LINE.

MAP OF BOUNDARY SURVEY

Property Address:
1208 NE 16 TER
FT LAUDERDALE, FL 33304



OnlineLand
SURVEYORS, INC.

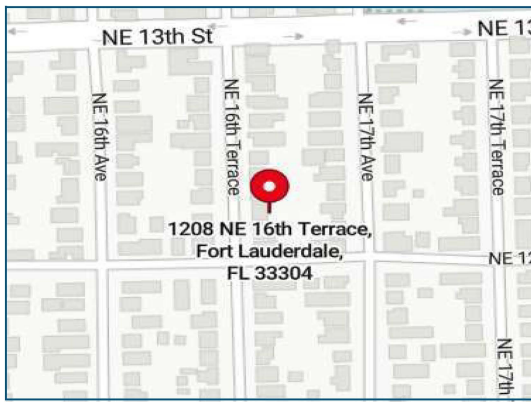
6175 NW 153rd St # 401,
Miami Lakes, FL 33014
www.OnlineLandSurveyors.Com

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Guillermo A. Guerrero
Digitally signed by Guillermo A. Guerrero
Date: 2025.03.07 16:27:55 -05'00'

SIGNED _____ **FOR THE FIRM**
GUILLERMO A. GUERRERO
STATE OF FLORIDA **P.S.M. No. 6453**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.



LOCATION MAP N.T.S.



PROPERTY FRONT VIEW

CERTIFIED TO:

EDILBERT COMAS TUSELL & SARA CARO RODRIGUEZ
ITS SUCCESSORS AND/OR ASSIGNS AS THEIR
INTEREST MAY APPEAR.

FLOOD INFORMATION:

Community Number: CITY OF FORT LAUDERDALE
125105
Panel Number: 2011C0369J
Suffix: J
Date of Firm Index: 7/31/2024
Flood Zone: X
Base Flood Elevation: N/A
Date of Survey: 3/5/2025

LEGAL DESCRIPTION: LOT 15, BLOCK 100, OF PROGRESSO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LANDS SITUATE LYING AND BEING IN BROWARD COUNTY, FLORIDA.

Surveyor's Legend

PROPERTY LINE	STRUCTURE	TREE	CONC. BLOCK WALL	P.P.	POWER POLE	CHAIN-LINK or WIRE FENCE	CATCH BASIN	WOOD FENCE	C.U.E.	COUNTY UTILITY ESMT.	INGRESS/ EGRESS ESMT.	IRON FENCE	I.E./E.E.	UTILITY ESSEMENT	EASEMENT	U.E.	FND. OR F	FOUND IRON PIPE/ REBAR	PIN AS NOTED ON PLAT	LICENSE # - BUSINESS	LICENSE # - SURVEYOR	CALC	CALCULATED POINT	SET	SET MONUMENT	CONTROL POINT	CONCRETE MONUMENT	ELEV	ELEVATION	P.T.	POINT OF TANGENCY	P.C.	POINT OF CURVATURE	P.R.M.	PERMANENT REFERENCE MONUMENT	P.C.C.	POINT OF COMPOUND CURVATURE	P.R.C.	POINT OF REVERSE CURVATURE	P.O.B.	POINT OF BEGINNING	P.O.C.	POINT OF COMMENCEMENT	P.C.P.	PERMANENT CONTROL POINT	M	FIELD MEASURED	P	PLATTED MEASUREMENT	D	DEED	C	CALCULATED	L.M.E.	LAKE or LANDSCAPE MAINT. ESMT.	R.O.E.	ROOF OVERHANG EASEMENT	P.P.	POOL PUMP	PL	PLANTER OR PROPERTY LINE	I.D.	IDENTIFICATION	B.C.	BLOCK CORNER	B.R.	BEARING REFERENCE	Δ	CENTRAL ANGLE or DELTA	R	RECORD OR RADIUS	RAD.	RADIAL	N.R.	NON RADIAL	TYP.	TYPICAL	I.R.	IRON ROD	I.P.	IRON PIPE	N&D	NAIL & DISK	PK NAIL	PARKER-KALON NAIL	D.H.	DRILL HOLE	W	WELL	F.H.	FIRE HYDRANT	M.H.	MAN HOLE	O.H.	OVERHEAD LINES	TX	TRANSFORMER	CATV	CABLE TV. RISER	W.M.	WATER METER	P/E	POOL EQUIPMENT	CONC	CONCRETE	ML	MONUMENT LINE	ESMT.	EASEMENT	D.E.	DRAINAGE EASEMENT	L.A.E.	LIMITED ACCESS EASEMENT	TEL.	TELEPHONE FACILITIES	U.P.	UTILITY POLE	E.U.B.	ELECTRIC UTILITY BOX	S.E.P. T.	SEPTIC TANK	D.F.	DRAIN-FIELD	A.C.	AIR CONDITIONER	CSW	CONC SIDEWALK	DRIVE	DRIVEWAY	SCR.	SCREENED AREA	GAR.	GARAGE	ENCL.	ENCLOSURE	N.T.S.	NOT TO SCALE	F.F.E.	FINISHED FLOOR ELEVATION	T.O.B.	TOP OF BANK	E.O.W.	EDGE OF WATER	E/P OR E.O.P.	EDGE OF PAVEMENT	C.V.G.	CONCRETE VALLEY GUTTER	B.S.L.	BUILDING SETBACK LINE	S.T.L.	SURVEY TIE LINE	C.L.	CENTER LINE	R/W	RIGHT OF WAY	P.U.E.	PUBLIC UTILITY EASEMENT	C.M.E.	CANAL MAINTENANCE EASEMENT	A.E.	ANCHOR ESMT / ACCESS ESMT
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GENERAL NOTES:

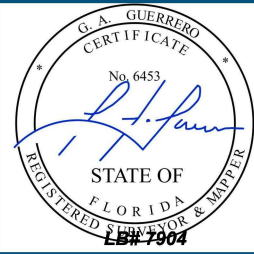
- LEGAL DESCRIPTION PROVIDED BY OTHERS.
- EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION, PERMITTING DESIGN, OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONLINE LAND SURVEYORS INC.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- FENCE OWNERSHIP NOT DETERMINED.
- WALL TIES ARE TO THE FACE OF THE WALL.
- BEARINGS ARE BASE ON AN ASSUMED MERIDIAN.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL OR ELECTRONIC SEAL.
- DIMENSIONS SHOWN ARE PER PLAT AND MEASURED IN THE FIELD UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON; THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- THE EXISTENCE OF ADDITIONAL RECORDED OR UNRECORDED INSTRUMENTS, EASEMENTS AND /OR RESOLUTIONS NOT AVAILABLE TO SURVEYOR MAY EXIST AND ARE NOT DEPICTED IN THIS SKETCH.

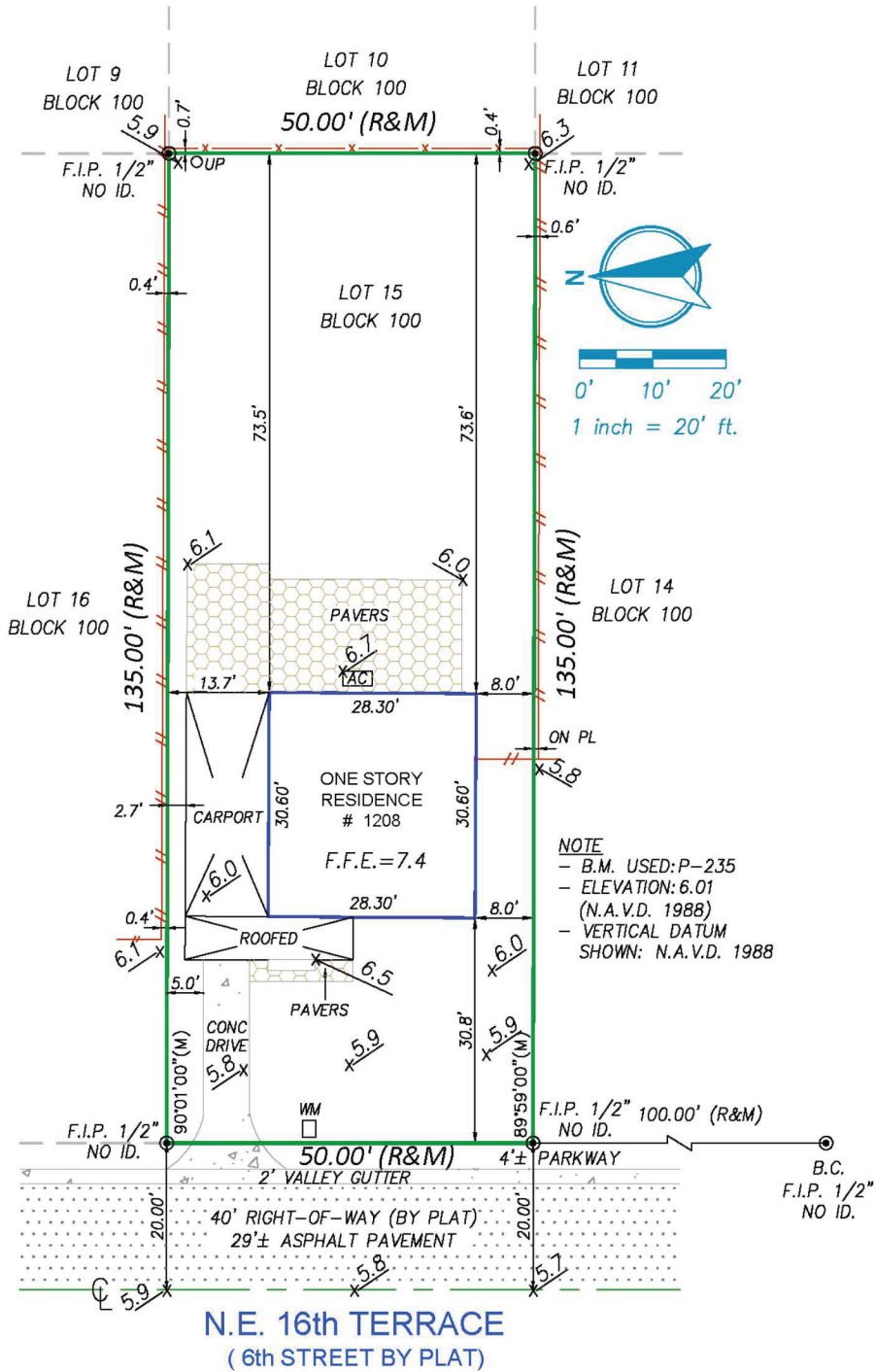
Florida Land Title Association
FLTA
Affiliate Member

Printing to Scale:
1. Select "None" from Page Scaling
2. Deselect "Auto-Rotate and Center"
3. Select "Choose paper source by PDF page size"

Page Handling
Copies: 1 Cglate
Page Scaling: 1 None
 Auto-Rotate and Center
 Choose paper source by PDF page size
 Use custom paper size when needed

FIELD WORK:	2/21/2025
DRAWN BY:	C.S.
CHECKED BY:	G.A.G.
FINAL REVISION:	02/05/2025
COMPLETED:	3/5/2025
SCALE:	1"=20'
SURVEY CODE:	O-121844





POINTS OF INTEREST:
DRIVEWAY CROSSES LOT LINE.

MAP OF BOUNDARY SURVEY

Property Address:
1208 NE 16 TER
FT LAUDERDALE, FL 33304



6175 NW 153rd St # 401,
Miami Lakes, FL 33014
www.OnlineLandSurveyors.Com

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Guillermo A. Guerrero

Digitally signed by
Guillermo A. Guerrero
Date: 2025.03.07 16:27:55
-05'00'

SIGNED _____ **FOR THE FIRM**
GUILLERMO A. GUERRERO
STATE OF FLORIDA **P.S.M. No. 6453**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.

