

CITY OF FORT LAUDERDALE

# DEVELOPMENT REVIEW COMMITTEE



## CASE COMMENT REPORT

CASE NO. UDP-S25010



**CITY OF FORT LAUDERDALE**



**CASE INFORMATION**

<b>CASE</b>	UDP-S25010
<b>PROJECT NAME</b>	International Swimming Hall of Fame (ISHOF)
<b>APPLICATION TYPE</b>	Site Plan Level IV Request
<b>APPROVAL LEVEL</b>	DRC, Planning and Zoning Board Review, City Commission approval
<b>REQUEST</b>	New 220,120 square foot, 6-story building containing 31,394 Square Foot Office Use, 29,377 Square Foot Event Space, 18,512 Square Foot Museum, and 18,254 Square Foot Aquarium with an associated parking reduction request.
<b>APPLICANT</b>	City of Fort Lauderdale
<b>AGENT</b>	Stephanie Toothaker, Esq., P.A.
<b>PROPERTY ADDRESS</b>	501 Seabreeze Blvd.
<b>ABBREVIATED LEGAL DESCRIPTION</b>	International Swimming Hall of Fame Complex 138-19 B Parcel "A"
<b>ZONING DISTRICT</b>	South Beach Marina and Hotel Area District (SBMHA)
<b>LAND USE</b>	Central Beach Regional Activity Center
<b>COMMISSION DISTRICT</b>	2 – Steven Glassman
<b>NEIGHBORHOOD ASSOCIATION</b>	Central Beach Alliance HOA
<b>SUBMITTED</b>	March 20, 2025
<b>COMPLETENESS ISSUED</b>	March 28, 2025
<b>EXPIRATION</b>	September 24, 2025 (180 Days)
<b>WAIVER</b>	Not Requested
<b>CASE PLANNER</b>	Michael Ferrera, Urban Planner II

**RESUBMITTAL INFORMATION**

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2023 FBC.
2. Show provisions for either open or closed interior parking per sections 406.5 and 406.6 of the 2023 FBC.
3. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2023 FBC.
4. Provide building construction type designation per Chapter 6 of the 2023 FBC.
5. Specify fire-resistance rating requirements based on building separation and construction type per Table 601 and 602 of the 2023 FBC.
6. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2023 FBC.
7. Indicate code compliant sprinkler system per Section 903 of the 2023 FBC.
8. Show that exits stairways discharge directly to the exterior of the building leading to the public way FBC 1028.
9. Parking facilities that provide valet parking services shall provide at least one passenger loading zone complying with FBC Accessibility Section 503.
10. Provide accessible parking spaces in accordance with the 2023 FBC Accessibility Volume. Accessible parking spaces must be located on an accessible route.
11. Show that the openings in the exterior walls on the West Elevations meet the requirements of Table 705.8 of the 2023 FBC.

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at:

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>



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**CASE COMMENTS:**

**Prior to Planning and Zoning Board Meeting sign-off, please provide updated plans and written response to the following review comments:**

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
  - b. Continue to coordinate with DSD-PW staff (i.e. Igor Vassiliev) if 8" water main is required to complete loop within this International Swimming Hall of Fame (ISHOF) property, per the PW water/sewer capacity availability letter recently issued for the adjacent 'ISHOF - Ocean Rescue' project, which would need to be referenced in these 'ISHOF – West Building' plans.
2. Provide a current signed and sealed boundary and topographic survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar.
  - a. Since Sheet G-006 (Boundary and Topographic Reference) states 'Survey for Reference Only' and 'Uploaded as Separate Document with Application', please upload to LauderBuild the missing property survey for this DRC #UDP-S25010/'ISHOF – West Building' project.
3. Regarding Section 3.08 CITY Obligations/(I) Roadway Easement of the 'Comprehensive Agreement' fully executed on 10/24/2023 between the City of Fort Lauderdale (CITY) and Hall of Fame Partners, LLC (HOFP), as shown in the PDF document 'CAM 23-0723 Hall of Fame partners LLC Comprehensive Agreement FULLY EXECUTED' uploaded to Lauderbuild on 03/24/2025 for this DRC #UDP-S25010 project:
  - a. Confirm with UD&P Case Planner the anticipated timeframe for when the 'CITY shall grant to HOFP a twenty (20) foot easement to be used for a portion of the Project roadway and for Project utilities through the following Aquatic Center Improvements which are comprised of a roadway and parking area...', relative to issuance of Final Certificate of Occupancy (C.O.) for this 'ISHOF – West Building' project.
  - b. Show/label location of proposed 'Roadway Easement' in these 'ISHOF – West Building' plans (perhaps on Sheet SP-101/Site Plan), and demonstrate that the 'Prop. West Building' structure does not conflict with proposed easement.
4. Sheet G-001 (Drawing List): All sheets in this 'ISHOF – West Building' submittal should be accounted for in the 'Index of Drawings DRC Set', including Sheet A-402 (Building Sections).
5. Sheets G-102 (Zoning Diagram – Setback), A-300 (Building Elevations – N + S), A-301 (Building Elevations – E + W) & A-400 (Building Sections): For each Zoning, Building Elevation, and Building





8. Sheet SP-101 (Site Plan):

- a. Delineate and callout all existing Florida Power & Light (FPL) easements in vicinity of 'Proposed 6-Story Building', including "18' F.P.L. Easement per O.R.B. 12157, PG. 486, B.C.R.", "10' F.P.L. Easement per O.R.B. 27026, PG. 661", and "Easement Area Permit #115940588", as depicted on 'Map of ALTA Survey'.
  - i. Regarding the 'Portion of Existing FPL Easement to be Vacated' callouts, show/label approximate limits of FPL easements to be vacated, and provide PDF copy of written correspondence from FPL staff that they have no objection to proposed vacations.
- b. Delineation and callouts for "Existing 10' FPL Easement (PB 138 PG 19)" are not consistent with Sheet G-006 and Plat Book 138, Page 19; please reconcile and update plan as appropriate.
- c. 'Parking Calculations' table:
  - i. Since 27 existing on-site parking stalls are proposed to be removed with this 'ISHOF – West Building' project, which are not listed in the table (or doesn't appear to be mentioned in the 'Parking Study'), confirm with DSD-Traffic staff how they may impact parking requirements for the overall ISHOF property.
  - ii. 'Provided' ADA Parking listed as 8, but only 4 are depicted in Sheets A-102/Floor Plan – Level 02 & A-103/Floor Plan – Level 03; please reconcile and update plans as appropriate.
- d. Update callout 'Building Overhang Line (XX Ft Vertical Clearance)' to be minimum 14' (per ULDR Section 47-20.6.C), to accommodate AASHTO 'WB-40' design vehicle as required by Type II loading zone located in vicinity of 'Proposed Ground Floor Access (Garage Podium Above)'.
- e. Revise callout 'Ramp to Garage (Levels 2-4)', since there are only proposed parking Levels 02 & 03.

9. Sheet CP-101 (Paving, Grading, and Drainage Plan):

- a. Discuss if the design intent is to have an ADA accessible route between existing ADA parking stalls to remain on north side of 'Existing Two-Story Building 'B'' and 'Prop. West Building'.
- b. Since proposed 6 (total) parallel parking stalls (and 'Passenger Pick Up/Drop Off Area') depicted within 'Proposed Ground Floor Access (Garage Podium Above)' area is not consistent with 8 (total) depicted on Sheet A-100/Floor Plan – Level 01, please reconcile and update plans as appropriate.
- c. Show/label limits of both proposed 'Up' vehicle ramps, as depicted on Sheet A-100 (Floor Plan – Level 01):
  - i. Label spot elevations at bottom and top of 1<sup>st</sup> vehicle ramp (i.e. oriented in east-west direction), and bottom elevation of 2<sup>nd</sup> vehicle ramp (i.e. oriented north-south direction).
  - ii. Label slope for each vehicle ramp.
  - iii. Label total length of each vehicle ramp.
- d. Near northeast corner of 'Limits of Proposed Project Impact Area' for this 'ISHOF – West Building' project, show/label longitudinal and cross-slope grades to demonstrate transition and harmonization between existing and proposed east-west drive aisle, considering that:
  - i. Existing drive aisle is a tilt section (drains to north) and has a down grade to the west.
  - ii. Proposed drive aisle appears to be a V-shaped section, but may trap surface runoff since it has a down grade to the east.
- e. Near southeast corner of 'Limits of Proposed Project Impact Area' for this 'ISHOF – West Building' project, show/label longitudinal and cross-slope grades to demonstrate transition and harmonization between existing and proposed 'South Road', considering that:
  - i. Existing 'South Road' (i.e. proposed with adjacent 'ISHOF - Ocean Rescue' project) is a tilt section (drains to north) and has a down grade to the west.



- ii. Proposed 'South Road' also appears to be a tilt section (drains to north), but may trap surface runoff since it has a down grade to the east.
  - f. Label proposed grades (i.e. longitudinal and cross-slope) as appropriate between proposed spot elevations, to convey the general grading/drainage design intent.
  - g. Provide grading information (i.e. proposed spot elevations) in vicinity of 'Exist. Lift Station to Remain', which is proposed to be replaced, per recently approved 'ISHOF - Ocean Rescue' project (i.e. Sheet CU-101/Water and Sewer Plan).
  - h. If there's a proposed vertical grade differential between the 'Exist. Lift Station to Remain' and adjacent vehicle ramp, show/label limits of proposed wall.
  - i. Show/label typical section in vicinity of 'Exist. Lift Station to Remain' at east 'Construction Limits' (i.e. looking north or south), similar to and incorporating portions of Section A-A per recently approved 'ISHOF - Ocean Rescue' project (i.e. Sheet CP-301/Paving, Grading, and Drainage Sections), to demonstrate harmonization with adjacent proposed 'Ocean Rescue Building' project.
  - j. Show/label typical section in vicinity of 'BOH Storage' at east 'Construction Limits' (i.e. looking north or south), to demonstrate harmonization with adjacent existing 'P3 Diving Pool' area.
  - k. Show/label typical section (looking east or west) located north of 'Prop. West Building', extending between 'Prop. West Building' and existing 'Wet Face of Seawall', including "12' Clear Access for Emergency Vehicles Only", to demonstrate harmonization with adjacent existing 'Seawall'.
  - l. Show/label typical section (looking north or south) located west of 'Prop. West Building', extending between 'Prop. West Building' and existing 'Wet Face of Seawall', including "12' Clear Access for Emergency Vehicles Only" and 'Proposed Dock', to demonstrate harmonization with adjacent existing 'Seawall'.
  - m. Show/label typical section (looking east or west) located south of 'Prop. West Building', extending between 'Prop. West Building' and existing 'Wet Face of Seawall', including "12' Clear Access for Emergency Vehicles Only" and 'Type II Loading Zone', to demonstrate harmonization with adjacent existing 'Seawall'.
  - n. Show/label typical driveway section (looking north or south) located in vicinity of 'Passenger Pick Up / Drop Off Area' (i.e. area also labeled as 'Proposed Ground Floor Access (Garage Podium Above)' on Sheet SP-101/Site Plan).
  - o. Regarding the approximate location of existing 'Seawall' tie-backs depicted in these 'ISHOF - West Building' plans, discuss if there are anticipated to be any conflicts with 'Prop. West Building' concrete foundations/footers.
    - i. Discuss latest anticipated timeframe for construction of 'Aquatic Center Peninsula - Seawall' improvements plans, per the 'Modification to Surface Water Management License No. SWM2019-088-3 and ERP No. 06-80048-P' previously approved by Broward County EPD on 5/7/2024, and the ultimate disposition of existing 'Seawall' tie-backs.
  - p. Proposed exfiltration trench layout is not consistent with Sheet LP-101/Planting Plan; please reconcile and update plans as appropriate.
  - q. Label 'Exfiltration Trench-1' thru 'Exfiltration Trench-5' (and corresponding lengths), per Pages 27 thru 31 of 'Stormwater Management Report'.
  - r. Provide a 'Drainage Structure Schedule', that includes column data such as 'Structure No.', 'Type', 'Frame & Grate/Cover', 'Structure DIM', 'Grate/RIM EL.', 'INV. EL.', and 'P.R.B.' (i.e. similar to recently approved 'ISHOF - Ocean Rescue' project).
10. Sheet CP-501 (Paving Grading and Drainage Details): Also provide detail for each 'Exfiltration Trench #1' thru 'Exfiltration Trench #4' (i.e. similar to 'Exfiltration Trench #5 Detail'), per Pages 27 thru 30 of 'Stormwater Management Report'.



11. Sheet CP-502 (Paving Grading and Drainage Details)/Drainage Well (Detail #22): Elevation callouts 'Refer to Sheet CP-101', but those elevations appear to be missing on that sheet; please reconcile and update plans as appropriate.
12. Sheet CU-101 (Water and Sewer Plan):
  - a. For proposed '4" Meter & Vault', label in plan the horizontal clearance (10' x 15' minimum is typical) and vertical clearance provided (i.e. above the vault structure), to accommodate for perpetual City Maintenance access.
  - b. At west end of 10" diameter 'Exist. Water Main to Remain' (labeled per Sheet CD-101), at proposed connection with 'Const. (2)-6" 45° Bends', label the proposed transition between 10" water main and 6" water line bends.
13. Sheet LP-101 (Planting Plan): Show/label all existing and proposed City utility infrastructure to help identify potential conflicts. Any new trees should be placed with sufficient horizontal and vertical distances per City guidelines to/from City's public infrastructure (i.e. minimum 5 feet and 10 feet horizontal clearance separation is required between city utilities infrastructure and proposed small and medium/large trees, respectively), to allow for continued Public Works maintenance without obstruction. Ensure separation is provided and include a note regarding horizontal clearance requirements on the landscape plans.
  - a. Reference 'Exist. 2" Domestic Water to Remain' and 'Exist. 6" Fire Service to Remain', as shown/labeled on Sheet CD-101/Demolition Plan (which are proposed with adjacent 'ISHOF - Ocean Rescue' project but have not yet been constructed) that are missing.
  - b. Proposed exfiltration trench layout is not consistent with Sheet CP-101/Paving, Grading, and Drainage Plan; please reconcile and update plans as appropriate.
14. Sheet A-100 (Floor Plan – Level 01):
  - a. Discuss if the design intent is to have an ADA accessible route between existing ADA parking stalls to remain on north side of 'Existing Two-Story Building 'B'' and 'Prop. West Building'.
  - b. Since proposed 8 (total) parallel parking stalls depicted within 'Proposed Ground Floor Access (Garage Podium Above)' area is not consistent with 6 (total, including 'Passenger Pick Up/Drop Off Area') depicted on Sheet CP-101, please reconcile and update plans as appropriate.
  - c. Dimension clear width of vehicle ramp.
  - d. Label elevation at bottom of vehicle ramp.
  - e. Label slope for vehicle ramp.
  - f. Label total length of vehicle ramp.
15. Sheet A-102 (Floor Plan – Level 02) and Sheet A-103 (Floor Plan – Level 03):
  - a. Revise '11 Spaces' label for eastern Drive Aisle, since only 8 parking stalls are depicted in those rows.
  - b. Dimension clear width of each drive aisle, and vehicle ramp.
  - c. Dimension typical parking stall length and width in each row of parking stalls.
  - d. Dimension length and width of each ADA parking stall (which should be minimum 12' x 18', as listed in 'Parking Calculations' table on Sheet SP-101/Site Plan) and adjacent access aisle.
  - e. Show/label 'Accessible Path' from each proposed ADA parking stall, demonstrating that ADA accessible route between ADA parking stalls and nearest building entrance will not compel users to walk or wheel behind another parked vehicle.
  - f. Label floor elevation at bottom and top of vehicle ramp.
  - g. Label slope for vehicle ramp.
  - h. Label total length of vehicle ramp.
  - i. Label minimum vertical clearance.



- j. Level 02 – Revise blue Drive Aisle shading such that it does not conflict with building column, or encroach within ADA parking stall and adjacent accessible aisle.
  - k. Level 03 – Revise blue Drive Aisle shading such that it does not conflict with building column, or encroach within ADA parking stall and adjacent accessible aisle, or within regular 90-degree angle parking stalls.
  - l. Level 03/Near southeast corner adjacent to ADA parking stall – Drive Aisle width shall be 24' (min.) adjacent to 90-degree angle parking stalls, per ULDR Section 47-20.11.A.
  - m. Level 03/Near southeast corner adjacent to ADA parking stall – Shift 'Up' label, so that it does not mislabel 90-degree angle parking stalls.
16. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/be relocated/removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
- a. Discuss encroachment of proposed 'ISHOF – West Building' structure within the existing "18' F.P.L. Easement per O.R.B. 12157, PG. 486, B.C.R.", existing "10' F.P.L. Easement per O.R.B. 27026, PG. 661", and existing "Easement Area Permit #115940588" as depicted on Sheet G-006, resulting from coordination with FPL staff.
17. Provide reasonable assurances that the proposed drainage system (including drainage well, exfiltration trenches, and manhole structures) located beneath the parking garage structure will be able to be effectively operated and maintained. Please provide at a minimum:
- a. Detailed information regarding the structural design of the parking garage and provide a certified geotechnical and structural engineering analysis to demonstrate that the proposed drainage system will not undermine the structural components of the garage.
  - b. Design plans of the parking garage, demonstrating that the drainage structures are accessible by equipment required to maintain the system.
  - c. A detailed plan of how the system will be replaced in the event of failure.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



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**Comments:** Please update the following prior to DRC sign off. Any floodproofing documents will be required at the time of the building permit application:

1. Flood Zone: (FIRM Flood Insurance Rate Maps), (panel 369J), (flood zone "AE), (base flood elevation of 7' NAVD 88). (The FFE finish floor elevation is required to meet BFE 7' + 1.4= 8.4 ft NAVD 88)
2. Correct plans (sheet A100) to show the floor elevations
3. All equipment to include AC and our generators, will also need to be at 8.4 ft NAVD when you apply for your building permits.
4. All materials below 8.4 'NAVD 88 will need to be flood resistant materials
5. (Sheet A400) Grease Trap shows Flood Elevation on plan sheet and will be regulated under (Sec 14-16 CFL Flood Ordinance)
6. Provides the finish floor elevations on (Sheet G102), and (SP-101) in Feet (Example 8.4 ft. NAVD 88)
7. The following is also required for projects that are proposing floodproofing in lieu of elevation for any area.
8. A floodproofing certificate with sections I & II completed.
9. An emergency operations plan (use page 6 of the floodproofing certificate and Section 5 of FEMA TB 3 as a guide).
10. A panel Maintenance Plan (use page 6 of the floodproofing certificate and Section 5 of FEMA TB 3 as a guide).
11. An Owners Letter acknowledging floodproofing.
12. Flood Resistant Materials below 8.4 ft NAVD 88
13. Elevator Installation reference: [FEMA Technical Bulletin 4: https://www.fema.gov/sites/default/files/documents/fema\\_elevator-installation-technical-bulletin\\_06072021.pdf](https://www.fema.gov/sites/default/files/documents/fema_elevator-installation-technical-bulletin_06072021.pdf)
14. Flood Vents in areas below 8.4 ft NAVD that meets the code requirements for garage areas and storage areas.

## References

### Florida Building Code (8<sup>th</sup> edition) Flood Resistant Provision

[https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/8th%20Ed\\_FBC\\_FloodProvisions\\_Nov2020r.pdf](https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/8th%20Ed_FBC_FloodProvisions_Nov2020r.pdf)

### City of Fort Lauderdale Flood Ordinance [Chapter 14 of the Code of Ordinances](#)

**Highlights of ASCE 24-14 Flood Resistant Design and Construction (FEMA)** (Section 7.0 utilities & equipment, (section 7.5 elevators)

<https://portal.floridadisaster.org/mitigation/SFMP/External/Community%20Resources/Florida%20Building%20Code%20Resources/highlights-of-asce-24-14-flood-resistant-design-and-construction.pdf?Web=1>



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**CASE COMMENTS:**

Please provide a response to the following.

1. Please revise mitigation requirements table on Planting Plan (Sheet LP-101) to accurately reflect the approval conditions of existing, issued Tree Removal-Relocation Permits LND-TREE-22070029 & PM-19042025: *Total mitigation to be 51 cal. in., Cat A trees, 24 palms any species, min. 8 ft CT, and 532 ft. CT of Royal, Coconut, or Lg. species Phoenix Palms, or equivalent.*
2. As per Section 47-21.9. G.1&2. Each tree shall have pervious area surrounding it sufficient to support the species, as determined by the department. Shade species with a minimum caliper of three (3) inches, two hundred and twenty-five (225) square feet with fifteen (15) feet being the smallest dimension. Shade species with a minimum caliper of two (2) inches, ninety (90) square feet with eight (8) feet being the smallest dimension.
  - a) Tree planting areas that are reduced in width will require structural soil or a product engineered for root growth under adjacent paved areas to provide this root development area.
3. The use of structural soil is required in paved sites to provide adequate soil volumes for tree roots under pavements, as per ULDR Section 47-21.13. Structural soil details and specifications can be obtained at <http://www.hort.cornell.edu/uhi/outreach/index.htm#soil> This is to be provided at a minimum of 8' radii of tree trunks, and is to be consistently illustrated and noted on landscape, site and civil plans. This requirement is not only for interior VUA trees and street trees, but also for trees on site adjacent to paved walkway areas.

A structural soil drain is required when percolation rates are less than 4" vertical clearance per hour. Provide documentation of report used to prove this calculation. The drain and connections are to be illustrated on civil plans.

  - a) Demonstrate hashing on landscape, site, and civil plans as to the extent of use of the Structural Soil.
  - b) Provide Structural Soil Detail and composition.
4. A suspension modular paving system product may be used in place of CU Structural Soil. Please look into the use of the Green Blue Urban soil cell, Silva cell or like product for this and all future site developments. Provide a detail of product of use for root development under paved areas.
5. As per Section 47-21.12. C.1.a. The first twenty-five percent (25%), or fraction thereof, of the required VUA trees shall be shade species with a three and one-half (3 ½) inch minimum trunk caliper and shall be evenly distributed between interior and perimeter landscape areas. The second twenty-five percent (25%), or fraction thereof, of required trees shall be shade species with a two and one-half (2 ½) inch minimum trunk caliper. Please revise Plant Schedule specifications for proposed VUA trees to comply with these sizing requirements.
6. Illustrate and label the horizontal clearance from tree trunk to edge of utility on the landscape plan. Landscaping must provide a minimum horizontal clearance of 5 feet for small trees and palms, and a minimum of 10 feet for large trees and palms from underground utilities. Provide a cross section detail to illustrate this clearance. This includes existing and proposed sanitary sewer lines, water lines, electrical lines, communication lines, drainage well and lines, etc.



7. Utilities must be protected using a root barrier fabric wrap or equivalent. Landscape Plans must illustrate and label existing and proposed utilities to confirm no utility conflicts exist, and illustrate the above setback and wrap requirement if applicable.
8. Utilities and site amenities such as walkways, flagpoles, transformers, fire hydrants, sewer and water supply lines, trash enclosures, and similar items located on the site shall not be placed adjacent to, in, or under required tree planting areas, as per ULDR Section 47-21.12. Confirm with civil, site and life safety plans that utilities and site amenities are not causing conflicts with proposed landscaping and illustrate on plans. Where conflicts exist, shift the utility and/or site amenities.
9. Additional comments may be forthcoming after next review of new plans and written comment responses prior to final DRC sign off.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following:

1. A separate sub-permit application for General Landscaping for site is required at time of master permit submittal. This is a Landscape permit application document different than the Broward County standard applications. Please do not apply for this at time of DRC submittal.
2. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6. A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Indicate the following on the plans:
  - a. Setback and distance between West Building and the current pool deck.
  - b. Distance between West building and Dive Tower.
  - c. Indicate areas where there has been a loss in existing pool deck space.
  - d. Identify connectivity between the building and aquatic center activity.
  
2. Parks staff has concerns regarding the overall design of the building specifically the following items:
  - a. West elevation facing the aquatic center lacks aesthetic appeal.
  - b. There is a potential of car exhaust wafting to the pool area and affecting athletes/guests with lack of proper screening.
  - c. There should be a plan to deter people watching diving activity and events from their cars like a drive-in movie in the parking garage or even tailgating. Indicate how this will be addressed.
  - d. The current building design is more enclosed with the view to the west walled, a parking garage, and not the same design presented to the City Commission in January and March 2025 depicting beautiful grandstand seating areas with observation viewing decks.
  - e. Proposed design will eclipse the dive tower by walls on two sides west building and south Ocean Rescue building.
  - f. Current design does not create unity or a seamless transition between building and aquatic center or reflect the same design as the existing building.
  - g. The material of the mesh screening should be rust proof such as aluminum.
  
3. Provide information on the removal of the following components:
  - a. Instructional Swimming Lesson Pool at 4-foot depth.
  - b. Diving Dryland Training
  - c. Grandstands at Dive Pool – 500 seats
  - d. Pool Equipment Storage
  
4. Address the following items:
  - a. Elevated grandstand seating for diving is essential to maintain Fort Lauderdale's position within the aquatic sports world. The City invested \$7 million to build a high dive tower, this should not be diminished by the reduction or lack of proper and equitable seating Instructional Swimming Lesson Pool at 4-foot depth.
  - b. Portable pool deck level seating is not acceptable. The elimination of grandstand seating positions Fort Lauderdale behind current standards for aquatic design for sports venues.
  - c. The 1965 aquatic center had grandstand seating at the dive well. The elimination of elevated grandstands is a step backward, worse than the old 1965 pool design Pool Equipment Storage.
  - d. Pool-deck-level seating for diving spectators is a safe sport concern beyond any concerns of visitors peering over to the pool from the parking garage / west building.
  - e. Judges, scoring tables, shade tents, and announcers are all placed at pool deck level and this all will block views of the boards and dive tower.
  
5. Provide additional information regarding access:
  - a. Provide the width of entry/exit gates from the West Building.
  - b. Provide the width of entry/exit gates from the West Building.



- c. Provide the height/width clearance between building and aquatic center.
  - d. Indicate location of storage for aquatic center equipment.
  - e. Need large gates and room to maneuver big items and equipment in/out of the Aquatic Center with overhead clearance and width for items such as Ppool cover reels, lane line reels, boom lifts & Scissor Lifts, and fork lifts.
6. Address the following traffic circulation comments:
    - a. It would be beneficial if the traffic circulation under the building for guests/visitors could also include an exit option to the south service road, rather than all traffic existing on the north side of the property.
    - b. Will need a plan for City vehicles (parks, police, fire) to exit via south service road.
    - c. Need a plan for emergencies at the aquatic center and how the bollards will be removed/opened to the south service road.
  7. Indicate the location of City's trash dumpster for the Aquatic Center.
  8. Indicate the pathway for City staff to access the garbage dumpster.
  9. There should be the ability for additional dumpsters for large events and area for storing such.
  10. Provide a shadow study reflecting the shadow effect on all new buildings (EAST, WEST, FLOR), and pool deck areas.
  11. Indicate the potential number of offices and staff in the proposed building.
  12. Indicate any reserved employee parking spaces.
  13. Indicate any reserved parking spaces for tenants.
  14. Indicate location of power generators for the aquarium and overall building users.

Case Number: UDP-S25010

**CASE COMMENTS:**

Please provide a response to the following:

- Entry doors should be solid, impact resistant or metal and should be equipped with a 180-degree view peephole, lockable from the inside.
- Windows should be impact resistant and equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
- All glazing should be impact resistant.
- Building should be pre-wired for an alarm system.
- A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, parking, playing areas, observation deck, and all common areas. It should be capable of retrieving an identifiable image of a person.
- Emergency communication devices should be placed in the parking lots and play areas and pools. These should be easily identifiable and accessible.
- Offices, restrooms, and all common area doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.
- Light-reflecting paint should be used in the parking lot to increase visibility and safety.
- All lighting and landscaping should follow CPTED guidelines.
- Pool areas should be equipped with a child proof access control feature to prevent unsupervised children access to the pool.
- Railing systems with vertical slats are recommended over those with horizontal slats or cables. Horizontal railings can create a "ladder effect," making them easier for children to climb and potentially fall.

**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangement for private security during construction.

Please submit responses in writing prior to DRC sign off.



Case Number- UDP-S25010

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
5. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
6. Containers: must comply with 47-19.4
7. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strength apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
8. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
9. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [Gwoolweaver@fortlauderdale.gov](mailto:Gwoolweaver@fortlauderdale.gov). The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
  - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



Case Number: UDP-S25010

**CASE COMMENTS:**

1. Provide a trip generation for the existing uses to remain. Trip generation should include Daily, AM Peak and PM Peak trip generations.
2. The parking study is acceptable for the proposed use, include all the parking requirements of the site including the existing and proposed uses. Also Including the recently approved fire rescue building.
3. In the site plans the parking data table includes all parking requirements for the site for the existing and proposed uses. Also Including the recently approved fire rescue building.
4. Prior to Final DRC approval the applicant shall record a parking reduction order. Parking reduction orders shall calculate all parking requirements for the site for the existing and proposed uses.
5. Additional comments may be provided upon further review.



Case Number: UDP-S25010

**CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 180 days of completeness determination, on or before September 24, 2025, unless a mutually agreed upon time extension is established between the City and the applicant. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed unless the applicant submits a waiver of these timeframes as provided in the completeness email from the City.
2. Pursuant to Public Participation requirements of Unified Land Development Regulations (ULDR), Sections 47-24.1.F.14 and 47-27.4.A.2.c, the applicant must complete the following:
  - a. Prior to submittal of an application to the Planning and Zoning Board (PZB), the applicant shall:
    - i. Provide notice via e-mail and regular mail to the official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting (a listing of officially-recognized neighborhood associations is provided on the City of Fort Lauderdale website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations>); and,
    - ii. Provide notice via mailed letter to property owners whose real property is located within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.
  - b. The applicant shall conduct the public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting are at the discretion of the applicant. Once the meeting(s) is conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record. A minimum of ten (10) days prior to the PZB meeting, the applicant shall execute and submit an affidavit of proof of public notice to the Department.
3. The site is designated Central Beach Regional Activity Center (Beach RAC) on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
4. Be advised that development applications in the Beach RAC are subject to vehicular trip and residential unit availability at the time of approval, on a first come, first served basis. Applicant has submitted a traffic study for the west building indicated that 79 PM peak hour trips are needed; however, there is no traffic analysis for the eastern portion of the site with existing buildings. The traffic study needs to identify the total trips for the peninsula for the City for development monitoring. Note, the processing of a development permit application does not guarantee vehicular trip availability exceeded the 79 trips until approval is granted by PZB or by the City Commission if application is requested for review by the City Commission.
5. Be advised, the application requires review and recommendation by the Marine Advisory Board (MAB) for the proposed dock. A separate application and fees are required for MAB. For more information



about the MAB, please contact Andrew Cuba via email at [acuba@fortlauderdale.gov](mailto:acuba@fortlauderdale.gov) or by phone at 954-828-5236.

6. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted. If a plat or re-plat is not required, contact the Broward County, Development Management and Environmental Review Section, at (954) 357-8695 to ensure that the proposed project is consistent with the latest recorded plat restriction(s). If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#)
7. Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. Staff has a concern that construction operations will impact the functions of the facility, ingress/egress, and spillover of debris. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under a separate application and coordinated through the City's Maintenance of Traffic (MOT) process with the Transportation and Mobility Department.
8. Archaeological monitoring is required of any ground disturbance activities associated with demolition or construction, including installation of utilities located within the eastern 150 feet of the subject property. If work is to occur within this area, monitoring should be performed by professional archaeologist, who meets the Secretary of the Interior's Professional Standards for such work as set forth in 36 CFR part 61 as amended. The purpose of the archaeologist will be to observed ground-disturbances and to record and collect discoveries as they deem appropriate. The archaeologist shall be empowered to temporarily stop ground-disturbance activities if significant archaeological materials are discovered.

If, upon visual observation of ground-disturbances, the professional archaeologist deems the subject property does not contain archaeological deposits and that archaeological monitoring is not necessary, the archaeologist shall provide a letter to the Historic Preservation Board Liaison requesting to change these requirements. A monitoring report from the archaeologist must be submitted, prior to Certificate of Occupancy, to the Historic Preservation Board Liaison. For any questions contact Trisha Logan, Principal Urban Planner, at 954-828-7101 or at [tlogan@fortlauderdale.gov](mailto:tlogan@fortlauderdale.gov).

9. Pursuant to the Comprehensive Agreement entered on October 24, 2023, additional construction items were included:
  - a. Provide plans for the refurbishment and repair of the sea wall;
  - b. Provide communication with the water taxi service regarding the proposed dock;
  - c. Provide timeline of construction phasing;
  - d. Provide plans for the construction of the promenade;
  - e. Provide a draft parking agreement with the agreed-upon number of reserved spaces in the Las Olas Garage.
  - f. Depict on plans, the location of the roadway easement that is to be provided by the city.
10. Provide the following changes on the elevations:
  - a. Indicate the location of the property lines and setback line on all elevations.
  - b. Identify the location of rooftop equipment on building by outlining the equipment with dash lines.
  - c. Sheets G-150, G-151 and G155 depict open mesh as the garage screening, with other portions of the garage left open. This screening method is not adequate and needs to be replaced or supplemented by another material. Ensure that all sheets depicting the garage screening is



appropriately updated. Additional information with regards to the garage screening can be found in comment number 15.

11. Provide the following changes on the site data table:
  - a. Update the site data to include all the required dimension standards for the SBMHA zoning district as well as those proposed for this project.
  - b. It is unclear whether the entire gross site is being used to meet certain requirements. Additional sheets should be included in the plan set to clarify this issue such as an open space sheet that is color coded to correlate with the site data.
12. Provide the following changes on the site plan:
  - a. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.
  - b. Sheet SP-101 depicts arrows pointing at the same line with different labels. Provide clarification and adjust accordingly.
  - c. On sheet SP-101, it appears the setback line is being measured before the building overhang. The setback line shall be measured from the building overhang/face of building.
  - d. Sheet SP-101 depicts a 12' "Clear Access For Emergency Vehicles Only", which appears to be part of the Pedestrian Promenade. Provide clarification as appropriate signage may be needed to avoid confusion.
  - e. Sheet SP-101 depicts several Florida Power and Light (FPL) easements where the building is proposed and that traverses the site that will need to be relocated and/or vacated. Provide correspondence from FPL so that they are comfortable with any potential relocation.
13. Pursuant to Section 47-22.4.C.8, a master sign plan may be provided for development review associated with site plan; however, it should be noted that any proposed signs will require a separate permit application. If signage is provided during development review, detailing the following:
  - a. Location and orientation of all proposed signage;
  - b. Dimensions of each proposed sign (height, width, depth, etc.);
  - c. Proposed sign copy; and,
  - d. Proposed color and materials
14. Sheet G-150 depicts several signs, two on the south elevation and five on the north elevation. Per ULDR Section 47-22.4.C.13.d, flat signs are limited in size at ten percent, with the overall max size varying depending on the location of the sign. Provide vertical distance of the sign from the ground to determine permitted size. In addition, since the project faces one street/travelway, only two signs are permitted for the entirety of the site. In order to move forward with the review of the signage, the applicant is required to submit for a Site Plan Level II application.
15. Pursuant to Section 47-20.14, Lighting of parking facilities, provide photometrics for each level of parking. Note the maximum and max to min ratio per the ULDR.
16. As proposed, it appears that a portion of the parking spaces on the north side of the property are being removed. Clarify if the removal of these parking spaces has been factored into the available and/or existing parking count.
17. As proposed, the northern portion of the ground level blocks the waterway view corridor from the beach through the opening at the entrance to the site to the Intracoastal Waterway. This view should be



maintained for the public by shifting the space on the ground level to open this view corridor both vertically and horizontally. See marked images below.



- 18. Overall, the building is massive in nature, lacks articulation, verticality, and visual interest. In addition, the submitted plans for the proposed west building does not match the building design as presented to the City Commission (CC) on March 4, 2025. The building presented at the March 4, 2025, CC meeting appeared less massive, a smaller footprint, and incorporates cutouts and areas of respite throughout the building which provided views from the south and west, specifically on the 4<sup>th</sup> and 5<sup>th</sup> floor. The submitted plans removed all the cutouts to the building, has a larger footprint, and has enclosed the areas of respite throughout the building. In addition, the pedestrian access/promenade also appears to have been reduced.

The building design should reflect the design presented to the CC and blend with the surrounding context with exceptional transparency for the active levels, including the area with VIP bleachers on the second floor and regular seating on the ground floor in order for spectators to view swimming and other events. Furthermore, the west building should also incorporate a similar curved roof line as the existing buildings on the site to maintain a more cohesive project. The project should take advantage of the views of the intracoastal and reduce any obstruction, especially the site line when entering the site from Seabreeze Boulevard. The parking levels should be screened with exceptional architectural solutions that provide variation in form and material given the large surface areas of the parking garage façade as well as adequately screen interior lighting and mitigate noise pollution. Given the location and visibility of the project, the garage screening should be creative in design and contain unique illumination at night. Special consideration should be taken to ensure the screening material can withstand the elements such as high winds and salt water. See below for comparison of project renderings from CC meeting to this application submittal and also examples of screening materials



CC Presentation - South Elevation



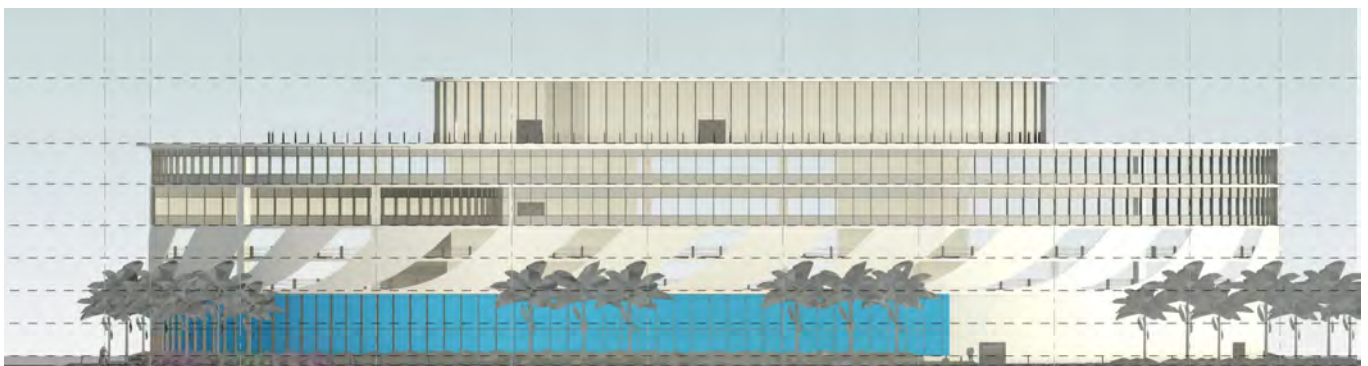
DRC Submittal - South Elevation



CC Presentation - West Elevation



DRC Submittal - West Elevation

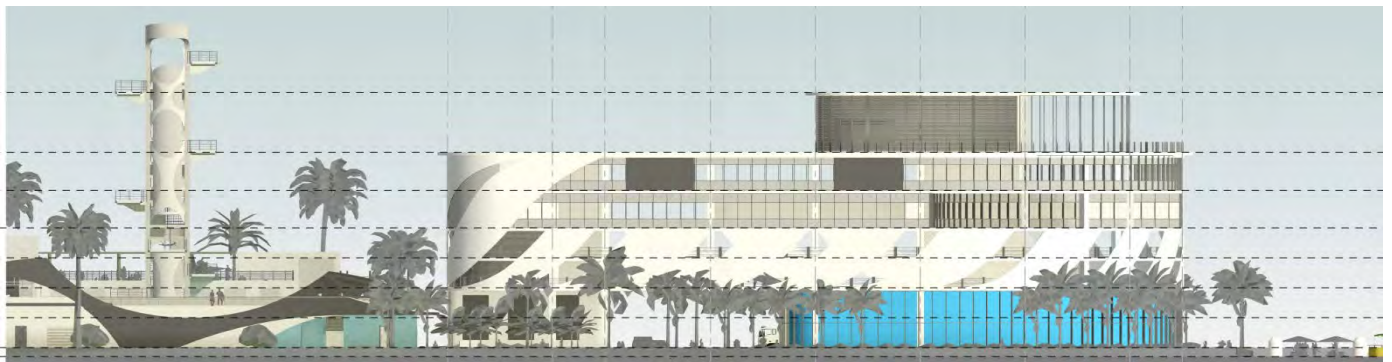




CC Presentation - North Elevation



DRC Submittal - North Elevation

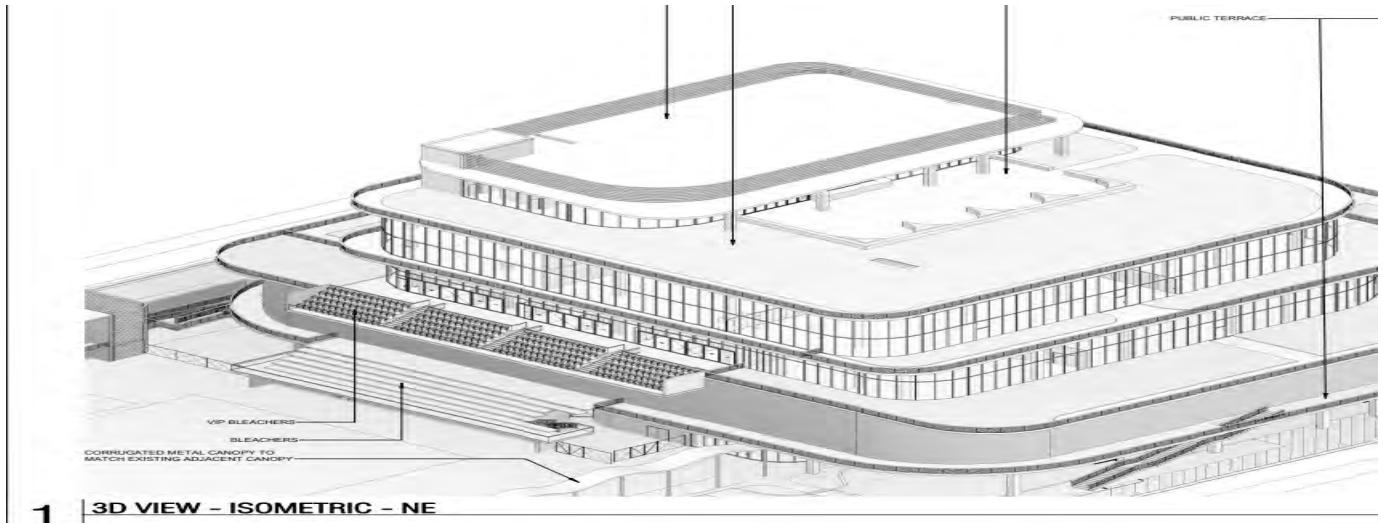


CC Presentation - East Elevation





CC Presentation - East Elevation Depicting location of VIP bleachers and "bleachers"



DRC Submittal - East Elevation



Garage Screening Examples





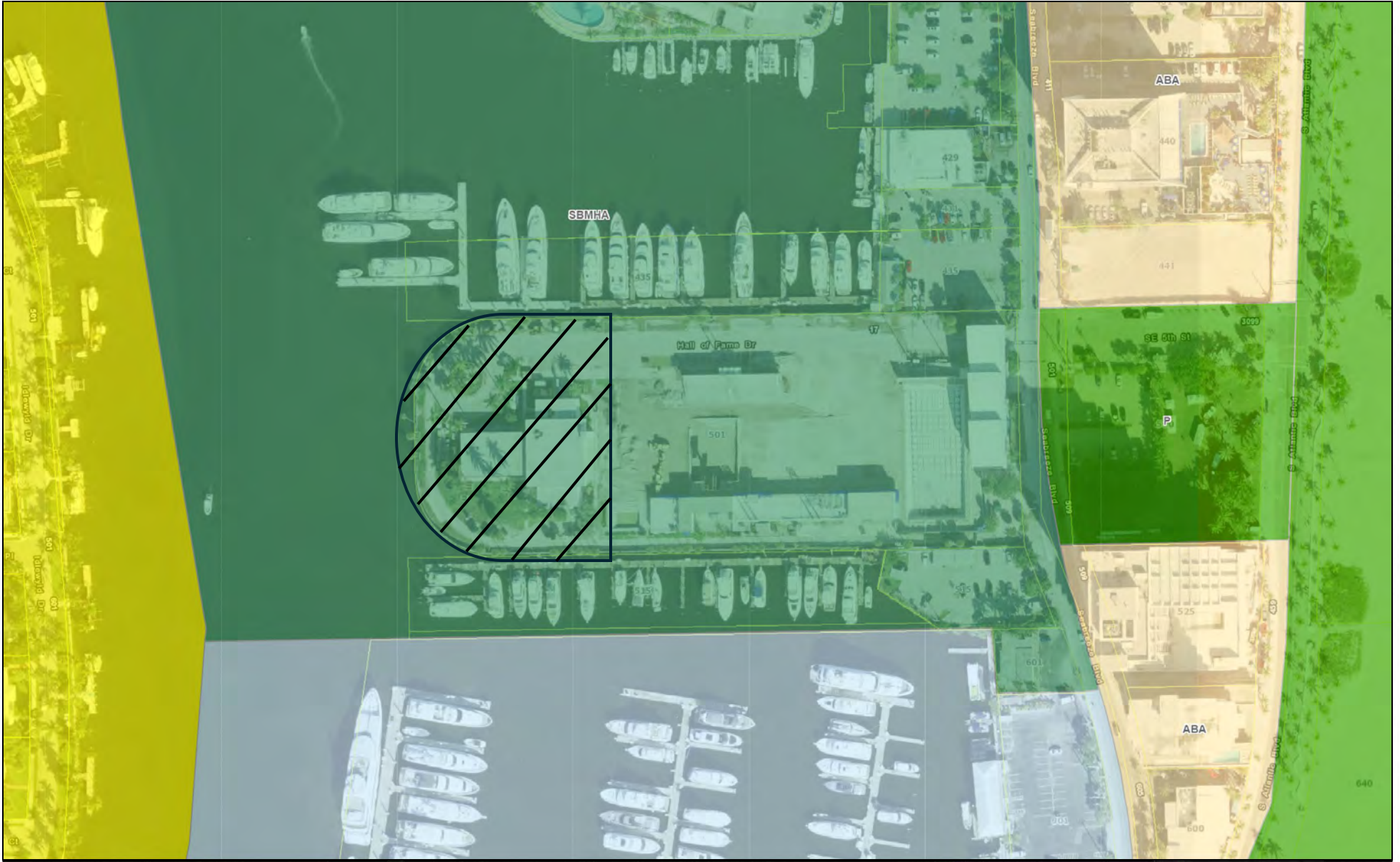
19. Provide pedestrian level perspective renderings clearly indicating how the proposed development will be perceived from a pedestrian's perspective, as viewed along the public realm. Include building details, outdoor seating, and proposed landscaping. Such renderings should illustrate key aspects of the project and should also reflect the context of the area. Specifically, this should showcase the pedestrian path and promenade along the north, west and south.
20. Ensure the site plan package contains adequate amount of detail drawings and cross sections for: (1) frontages at key points reflecting variations in grade, design, and site elements; (2) the frontage along the intercoastal; (3) and other building design features as necessary to demonstrate compliance with the comprehensive agreement and ULDR requirements.
21. Pursuant to ULDR Section 47-19.2.Z, Accessory Uses, Buildings, and Structures; rooftop mechanical equipment such as air conditioners, compressors, generators, etc. shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Provide the following:
  - a. Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof floor as well as mechanical equipment to verify adequate screening;
  - b. Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - c. Provide screening product material including images or pictures of actual application of product. Note, the screening material must be 100% opaque, which as submitted is not compliant.
22. Per the City of Fort Lauderdale's Comprehensive Plan - Urban Design Element, Goal 2, Objective UD 2.2, Policy UD 2.2.4, the City's goal is to encourage public art features in development projects to enhance the nature of our urban spaces. Consider placing art pieces throughout the open space and plaza area to further enhance the overall public realms and vitality of public spaces. It is encouraged that any incorporated art features are clearly visible or easily accessible to the public from adjacent public property, including sidewalks, streets or other public thoroughfares, and possess functional as well as aesthetic qualities that typically reflect an awareness of a given site, both physically and socially.
23. Be advised, additional comments may be generated based on revised plans.



### **GENERAL COMMENTS**

The following comments are for informational purposes.

1. Pursuant to UDLR Section 47-19.2.DD, if a temporary construction/sales trailer is proposed for this project, provide separate sheets in the plan set that depict the location with on-site parking, design details including temporary structure material and color, vehicle use area landscape, and other applicable regulations to avoid separate review applications in the future.
2. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the case planner (Michael Ferrera, [mferrera@fortlauderdale.gov](mailto:mferrera@fortlauderdale.gov)) to review project revisions and/or to obtain a signature routing stamp.
3. The City's Vision is to support sustainable infrastructure. Consider employing green building practices throughout the project such as, but not limited to; charging stations, tank-less water heaters, rain collection systems, pervious pavement where appropriate, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.



UDP-S25010

**Legend**

- Fort Lauderdale Municipal Boundary Line
- Subject Site

