



BOARD OF ADJUSTMENT MEETING NOTICE

Date: March 28th, 2025

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, April 09th, 2025 at 6:00 pm.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-25030001
OWNER:	FARRELL, CHARLES W; CHARLES W FARRELL REV TR
AGENT:	SCHEIN, ANDREW ESQ
ADDRESS:	1739 NORTH EAST 18 TH AVENUE, FORT LAUDERDALE, FL 33305
LEGAL DESCRIPTION:	LOT 3 AND THE NORTH 17.0 FEET OF THE LOT 4, BLOCK 11 OF TOWN OF PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	1
REQUESTING:	<u>47-5.31-Table of dimensional requirements for the RS-8 district. (Note A)</u>

- Requesting a variance to allow an existing carport at a 13 foot 11 inches front yard setback, whereas the ULDR code requires a minimum front yard setback of 25 feet. A total variance request of 11 feet 1 inch.
- Requesting a variance to allow an existing carport at a 2 feet 6 inches side yard setback, whereas the ULDR code requires a minimum setback of 5 feet 0 inches. A total variance request of 2 feet 6 inches.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA> OR www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.
MOHAMMED MALIK
ZONING ADMINISTRATOR



Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-25030001

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet

Graphic Scale

PLN-BOA-25030001

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

<i>Requirements</i>	<i>RS-8</i>	<i>RS-8A</i>
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side yard	5 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height. 25 ft. when abutting a waterway Special side yard setbacks 7.5 ft.: Coral Ridge Country Club Addition 4, P.B. 53 P.	For a building with a height no greater than 12 ft.- 5 ft. For a building with a height greater than 12 ft. - 7.5 ft. That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height

	<p>29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J. Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 & 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G & H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L & M.</p>	<p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
Minimum rear yard	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as provided in RS-8</p>
Minimum distance between buildings	None	None

	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

Record

Showing 1-20 of 20

<input type="checkbox"/>	Record_Permit_or_Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-25030001	Variance to permit a carport at a front setback o...	Farre Residence	Z- Board of Adjustment (BOA)	53		1739	NE	18	AVE		Open
<input type="checkbox"/>	BLD-GEN-24080098	ATF: ACCESSORY STRUCTURE	ATF:ACCESSORY STRUCTURE I	Structura Permit	0		1739	NE	18	AVE		Awaiting C
<input type="checkbox"/>	BE24060203	ENLARGED CARPORT STRUCTURE W/O A PERMIT I	ENLARGED CARPORT STRUCTURE W...	Bui ding Code Case I	0	Andrew Gebbia I	1739	NE	18	AVE		Open
<input type="checkbox"/>	MEC-HVCHG-20020091	AC CHANGE OUT	AC CHANGE OUT	Mechanica HVAC Changeout Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-18121997	INSTALL NEW LAWN SPRINKLER SYSTEM ~ ~NOC	INSTALL NEW LAWN SPRINKLER S...	P umbing Irrigation Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-18102819	NEW POOL 8976 GALLONS PAVER DECK 300 SF ~ ~NOC ~... I	NEW POOL 8976 GALLONS PAVER ...	Residentia Poo -Spa-Fountain Permit I	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-18102904	ELECTRICAL FOR POOL BP 18102819	ELECTRICAL FOR POOL BP 18102819 I	E ectrica Residentia Permit	0		1739	NE	18	AVE		Comp ete I
<input type="checkbox"/>	PM-18102905	PLUMBING FOR POOL BP 18102819	PLUMBING FOR POOL BP 18102819	P umbing Residentia Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-18101855	INSTALL 1 INCH IRRIGATION METER	INSTALL 1 INCH IRRIGATION METER	P umbing Meter Insta Permit I	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-17082946	CHANGE SERVICE TO UNDERGROUND ~NOCI	CHANGE SERVICE TO UNDERGROUND	E ectrica Services Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-16090566	CHANGE OUT 3 DOORS,NO SIZE CHANGE	CHANGE OUT 3 DOORS,NO SIZE C...	Window and Door Permit	0		1739	NE	18	AVE		Comp ete I
<input type="checkbox"/>	PM-13120085	SFR WOOD FENCE 102 LF	SFR WOOD FENCE 102 LF	Fence Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-11111873	VOID- DEMO OLD CARPORT & INSTALL NEW CARPORT ... I	VOID- NEW CARPORT	Residentia A teration Permit I	0		1739	NE	18	AVE		Void
<input type="checkbox"/>	PM-11021879	INSTALL 6'WOOD FENCE W 1 GATE	INSTALL 6'WOOD FENCE W 1 GATE I	Fence Permit	0		1739	NE	18	AVE		Comp ete I
<input type="checkbox"/>	PM-09060462	INSTALL (1) PANEL	INSTALL (1) PANEL	Shutter Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-09041457	R & R (5) WINDOWS W IMPACT	R & R (5) WINDOWS W IMPACT	Window and Door Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-09041458	INSTALL (3) PANEL SHUTTERS BP09041457	INSTALL (3) PANEL SHUTTERS ...	Shutter Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-09030839	REPLACE A/C & DUCT SYSTEM SFR	REPLACE A/C & DUCT SYSTEM SFR I	Mechanica HVAC Changeout Permit I	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-06081900	Demo/Rep ace Deck and shade Tre is/ deck/Shade s... I	Demo & Rep ace Deck and shad...	Residentia A teration Permit	0		1739	NE	18	AVE		Comp ete
<input type="checkbox"/>	PM-00060157	INSTALL BURGLAR ALARM	INSTALL BURGLAR ALARM	E ectrica Burg ar A arm	0		1739	NE	18	AVE		Comp ete I



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: April 09th, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-25030001

Sec. 47-5.31-Table of dimensional requirements for the RS-8 district. (Note A)

- Requesting a variance to allow an existing carport at a 13 foot 11 inches front yard setback, whereas the ULDR code requires a minimum front yard setback of 25 feet. A total variance request of 11 feet 1 inch.
- Requesting a variance to allow an existing carport at a 2 feet 6 inches side yard setback, whereas the ULDR code requires a minimum setback of 5 feet 0 inches. A total variance request of 2 feet 6 inches.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING:
www.fortlauderdale.gov/FLTV , www.youtube.com/cityoffortlauderdale or Cable
Television- Comcast Channel 78 and AT&T U-Verse Channel 99
TO VIEW MORE INFORMATION ABOUT THIS ITEM:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-25030001

APPLICANT: Andrew J. Schein, Esq.

PROPERTY: 1739 NE 18th Avenue

PUBLIC HEARING DATE: April 9, 2025

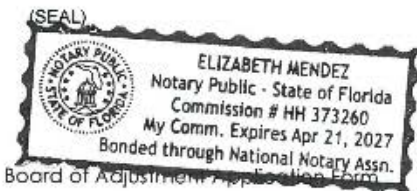
BEFORE ME, the undersigned authority, personally appeared Andrew J. Schein, Esq., who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. AS (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 20 day of MARCH, 2025



[Signature]
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, casebackup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov
Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/>	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input type="radio"/>	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input checked="" type="radio"/>	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/>	Request for Continuance	\$954
<input type="radio"/>	Request for Rehearing	\$318
<input type="radio"/>	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet


INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Charles W. Farrell Revocable Trust
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	1739 NE 18th Avenue, Fort Lauderdale, FL 33305
E-mail Address	chuck1739@gmail.com
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **PROPERTY OWNER**, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	Andrew J. Schein, Esq. as Agent for Owner - Florida Bar No. 125742
Applicant / Agent's Signature	
Address, City, State, Zip	699 N. Federal Highway, Suite 400, Fort Lauderdale, FL 33304
E-mail Address	ASchein@lochriellaw.com
Phone Number	954-617-8919
Agent Authorization Form Submitted	<input type="checkbox"/>

Include ANY Related code case/permit #	BE24060203/BLD-GEN-24080098	
Existing / New	Existing: <input checked="" type="checkbox"/>	New: <input type="checkbox"/>
Project Address	Address: 1739 NE 18th Avenue	
Legal Description	PROCEEDING TO 10 PLOT 3 4 N 17 30 44 See survey	
Tax ID Folio Numbers <i>(For all parcels in development)</i>	494234012170	
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	Variance to permit a carport at a front setback of 13' - 11", where ULDR Section 47-5.31 requires a minimum front yard setback of 25'. Variance to permit a carport at a side setback of 2' - 6", where ULDR Section 47-5.31 requires a minimum side yard setback of 5'.	
Applicable ULDR Sections <i>(Include all code sections)</i>	47-5.31	

Current Land Use Designation	Medium Residential
Current Zoning Designation	RS-8
Current Use of Property	Single Family
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front	E	25'	13' - 11" (CARPORT)
Side	N	5'	2' - 6" (CARPORT)
Side	S	5'	10.44' (HOUSE)
Rear	W	15'	46.86' (HOUSE)

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application form. **Note:** A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Variance to permit a carport at a front setback of 13' - 11", where ULDR Section 47-5.31 requires a minimum front yard setback of 25'. Variance to permit a carport at a side setback of 2' - 6", where

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

See "Attachment to Page 2 of the Variance Application"

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

See "Attachment to Page 2 of the Variance Application"

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

See "Attachment to Page 2 of the Variance Application"

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

See "Attachment to Page 2 of the Variance Application"

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

See "Attachment to Page 2 of the Variance Application"

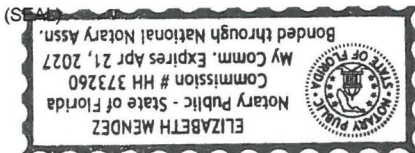
AFFIDAVIT: I, Andrew J. Schein, Esq. the Owner/Agent of said property ATTEST that I am aware of the following:


1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.



(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 10 day of March, 2025





NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. **Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE.** The applicant will need to meet with staff **PRIOR** to submitting the BOA application submittal via Lauderbuild.

*Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.

- Preliminary BOA Meeting** - The applicant and/or agent met with staff on the following date: _____
- **Board of Adjustment Application Form**- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. **Page 4** of the BOA application is due **AFTER** sign(s) are posted.
- **Proof of Ownership**- Warranty deed or tax record including corporation documents and Sunbiz verification name.
- Agent Authorization Form**- Authorization from **ALL** Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form.
- **Narrative**- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).
- **Color Photographs**- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.
- **Survey**- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year. **Copy sets of Survey must be at half-size scale 11x17"**.
- **Site Plan**- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents. **Copy sets of Plans must be at half-size scale 11x17"**.
- Elevations**- If applicable (Elevations may be required by staff upon application submittal).
- Landscape Plans**- If applicable (Landscape Plans may be required by staff upon application submittal).
- **Additional Plans**- If applicable (Additional Plans may be required by staff upon application submittal).
- **Mail Notification Documents**- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: **City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19TH Avenue, Fort Lauderdale, Florida 33311**

**City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311**

How To order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. **Distribution:** The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

Please Note: All copy sets must be clear, accurate and legible. All non-plan documents should be 8 1/2" x 11". Plans must be folded to 8 1/2" x 11".

Applicant: Andrew J. Schein / Lochrie & Chakas, P.A.
Owner: Charles Farrell
Address: 1739 NE 18th Avenue
Request: Variance from ULDR Section 47-5.31

Narrative

1. General Information and Request

Charles Farrell is the owner of the property located at 1739 NE 18th Avenue (the “Property”). The Property is the location of a single-family home that was constructed in 1951. Mr. Farrell purchased the Property in 2002 and has made significant improvements to the overall aesthetics of the Property over the past 23 years. The street view below shows the Property as it existed on January 2008.

January 2008 Property View



The street view below shows the Property as it existed in May of 2024.



As shown in the street views, Mr. Farrell significantly enhanced the front of the Property, giving it more “curb appeal”, increasing the lushness of the landscaping, and adding an additional street tree to improve the canopy along NE 18th Avenue. Although more street trees and maturing Live Oaks are generally viewed as positives for the streetscape, these came with negative externalities to Mr. Farrell – namely, large mature trees (the Live Oak is 1.2 inches away from becoming classified as a specimen tree) tend to have things fall from them. As the canopy from the Live Oak continues to grow, the Farrells sought to protect their vehicles from both the trees and the general South Florida sun.

As a professional engineer by trade, Mr. Farrell installed a carport over the existing paved parking area over a decade ago. The carport is located behind existing +/- 5’ high architectural posts, which were presumed to be the line where Mr. Farrell would be allowed to install a carport. Although the carport has existed on the Property for over a decade without issues, Mr. Farrell was cited in 2024 for erecting the carport without a permit, at which time it was discovered that the carport was constructed within the front setback, which is permitted in some, but not all residential zoning districts. Additionally, the overhang of the carport (but not the structural supports) extend into the northern side yard setback.

Mr. Farrell is therefore seeking a variance to allow the existing carport to remain at the existing setbacks.

2. Code Provisions

ULDR Section 47-5.31 –Yard Requirements for RS-8 Properties: Minimum 5’ side yard and minimum 25’ front yard

3. Variance Request

Variance to allow a carport to remain at an existing 13’ – 11” front yard setback and a 2’ – 6” side yard setback, where ULDR Section 47-5.31 requires a 25’ front yard setback and a 5’ side yard setback, for a total variance of 11’ – 1” for the front yard setback and 2’ – 6” for the side yard setback.

4. Variance Criteria

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property;

RESPONSE: The Property was constructed at a time when overall lot designs were not developed as efficiently as they are today. Today, single-family developments are frequently constructed “setback to setback” in order to maximize square footage, which comes with the ability to consider vehicle protection in the overall design. Newer single-family homes generally include enclosed garages or are designed around the ability to include a carport that meets code.

In 1951, this was generally not the case. The Property was built at a 38.5’ front yard setback, which is significantly more than the minimum 25’ required front yard setback. The side yard setbacks of 7.67’ and 10.44’ (north and south, respectively) are greater than the minimum 5’ side yard setback. The rear yard setback of 48.86’ is significantly greater than the minimum 15’ rear yard setback.

This layout does not allow the Property to be retrofitted to provide any sort of vehicle protection that meets code. The carport is 17.26' deep, which is squarely in line with the minimum parking stall depth required by the City (minimum parking stall depths range from 16' – 9.5" to 20' – 1.125" depending on the parking angle). With an existing front yard setback of 38.5' and a minimum setback of 25' for carports, there is no location at the front of the Property where a proper carport can be installed within the minimum setbacks.

The want/need to protect vehicles is a reasonable use, and the restrictions in how the Property was designed 74 years ago prevents such reasonable use.

- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district;

RESPONSE: Without pulling surveys from all other properties in the zoning district, which may or may not be available, it's not possible to determine exactly how peculiar this situation is. It's very common for newer houses to include either garages or carports at the point of initial construction, and it's common for owners of older houses to seek carports to both improve the properties and to protect their vehicles.

Although objective peculiarity cannot be reasonably determined, the Property is in a position that renders the justifications for the front yard setback less important than other properties.

The general purpose of setbacks is to ensure proper spacing of structures against other structures and the street in order to preserve the aesthetic qualities of the neighborhood. Setbacks are measured from the property line. The relationship between the property line and the street varies from neighborhood to neighborhood and street to street – in some cases, the property line and the street coincide closely, with the property line abutting or nearly abutting the street pavement. In other cases, particularly with older platted neighborhoods, there's a large gap between the property line and the street.

In the case of the Property, the Property line is 10' – 8" away from the edge of pavement. This creates a situation where if a structure is set back 25', it looks more akin to a 35' – 8" setback from an observer on the street.

The carport is set back 13' – 11" from the property line but is set back 24' – 7" from the edge of pavement. Therefore, though the front yard variance requested in this application is an 11' – 1" variance, the physical appearance from the street looks more like a 5" variance.

- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district;

RESPONSE: The ability to protect one's possessions and property is a property right that is recognized by the City of Fort Lauderdale through the Property Rights Element of the Comprehensive Plan. As with many other rights, this right is not absolute, and the Property Rights

Element only states that the City will consider such property right in its decision-making. As it relates to protecting vehicles, some owners within this zoning district get to enjoy that right and have the ability to construct garages/carports, while others do not. It's essentially "luck of the draw" depending on how close the property line aligns with the street and where a developer nearly three-quarters of a century ago decided to place a house on a lot.

- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result or mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

RESPONSE: The Farrells are merely seeking to protect their vehicles with a carport constructed 24' – 7" from the street. Due to where the house was constructed 74 years ago and the relationship between the property line and the street, there is no space in the front of the property to construct any reasonable vehicle covering. The layout of the property was not created by the applicant, nor could this situation have been predicted by predecessors when the house was originally constructed.

- e. The variance is the minimum variance that will make possible a reasonable use of the property, and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

RESPONSE: Without needlessly removing trees, the existing location of the carport is the only reasonable location on the Property. This variance would allow the carport to remain at its existing depth of 17.26'. If the variance is not granted and mature landscaping is subsequently removed, the maximum depth for a carport outside of the setback would be 13.5', which is not an adequate depth for a carport.

As previously stated, the purpose of setbacks is to ensure proper spacing of structures against other structures and the street. This variance request is in harmony with this general purpose, as the carport is 24' – 7" from the street and the structure itself (without overhangs) is 6.55' from the neighboring property to the north.



Site Address	1739 NE 18 AVENUE, FORT LAUDERDALE FL 33305-3447	ID #	4942 34 01 2170
Property Owner	FARRELL, CHARLES W CHARLES W FARRELL REV TR	Millage	0312
Mailing Address	1739 NE 18 AVE FORT LAUDERDALE FL 33305-3447	Use	01-01
Abbr Legal Description	PROGRESSO 2-18 D LOT 3,4 N 17 BLK 11		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2025 values are considered "working values" and are subject to change.

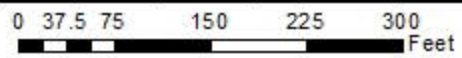
Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2025*	\$49,820	\$570,760	\$620,580	\$313,240	
2024	\$49,820	\$570,760	\$620,580	\$304,420	\$5,534.13
2023	\$49,820	\$647,900	\$697,720	\$295,560	\$5,408.24

2025* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$620,580	\$620,580	\$620,580	\$620,580
Portability	0	0	0	0
Assessed/SOH 03	\$313,240	\$313,240	\$313,240	\$313,240
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,722	0	\$25,722	\$25,722
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$262,518	\$288,240	\$262,518	\$262,518

Sales History			
Date	Type	Price	Book/Page or CIN
2/22/2023	QCD-T	\$100	118693676
5/15/2002	WD	\$289,900	33283 / 1934
3/13/2002	WD	\$289,900	33283 / 1932
5/22/2000	WD	\$202,000	30549 / 1433
7/30/1997	WD	\$156,000	26812 / 250

Land Calculations		
Price	Factor	Type
\$5.50	9,058	SF
Adj. Bldg. S.F. (Card, Sketch)		1443
Units/Beds/Baths		1/3/1
Eff./Act. Year Built: 1956/1951		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



MARTY KIAR
 BROWARD COUNTY PROPERTY APPRAISER



1739 NE 18 AVE
 DATE OF PRINT: 10/04/2024

A & B INVESTMENTS LLC
2415 VENETIA RD
MOBILE, AL 36605

ALLES, ROSE O'KELLEY
1739 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

ARIDA, ANTHONY
1787 NE 18 ST
FORT LAUDERDALE, FL 33305

AVELLO, MIRIAM Y
1723 NE 18 AVE
FORT LAUDERDALE, FL 33305

BAKER, J & KATHLEEN K
725 N. JADE DR
KEY LARGO, FL 33037

BARTOLOME, RAMIRO IGLESIAS &
MONIOT, TODD LEWIS
289 KEPLER DR
GAITHERSBURG, MD 20878

BLACKA, STONE
1728 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

BUNKER, BRUCE
1724 NE 18 AVE
FORT LAUDERDALE, FL 33305

CHANDLER-ERICSON, ELNORA
1786 NE 19 ST
FORT LAUDERDALE, FL 33305

CISNEROS, LOURDES M
1778 NE 18 ST
FORT LAUDERDALE, FL 33305

CJEP TR & POULOS, COURTNEY J E
TRSTEE
1711 NE 18 AVE
FORT LAUDERDALE, FL 33305

CULBRETH, DEWEY JAMES JR
1741 N VICTORIA PARK ROAD
FORT LAUDERDALE, FL 33305

DAVIS, SCOTT A
1813 NE 18 ST
FORT LAUDERDALE, FL 33305

DIXON, ARMANI DANIELLE & STEELE
HERRERA, LOGAN BOONE
1901 NE 18 ST
FORT LAUDERDALE, FL 33305

DUDA, JOHN D & MCKAY, NEIL
1768 NE 18 ST
FORT LAUDERDALE, FL 33305

EDDELDORF, GEORGE
1733 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

EVANS, DONNA LEE
1801 NE 18 ST
FORT LAUDERDALE, FL 33305

FALLON, STEPHEN J
1712 NE 17 TER
FORT LAUDERDALE, FL 33305

FARRELL, CHARLES W & CHARLES W
FARRELL REV TR
1739 NE 18 AVE
FORT LAUDERDALE, FL 33305

FOHL, GREGORY A &
GALLADORA, JOHN R
1727 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

FRANKLIN, JORDAN H/E &
COZZENS, KIMBERLY
1800 NE 18 ST
FORT LAUDERDALE, FL 33305

FRISBY, REBECCA J
1820 NE 18 ST
FORT LAUDERDALE, FL 33305

GEMIGNANI, ROBERT & SLATER, KIRK
152 BRIDGE AVE
BAY HEAD, NJ 08742

GIBSON, SEAN R
1812 NE 18 ST
FORT LAUDERDALE, FL 33305

GOPAUL, ROGER & MEOLA, SUSAN
1771 NE 18 ST
FORT LAUDERDALE, FL 33305

GREENWOOD, LUCY H
1717 N VICTORIA PARK ROAD
FORT LAUDERDALE, FL 33305

HEILIG, DAVID C H/E & HEILIG, BETSY
I
1706 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

HOLLAND, FRANCES M & FRANCES
M HOLLAND REV TR
1718 NE 18 AVE
FORT LAUDERDALE, FL 33305

HUS, MOSES
1712 NE 18 AVE
FORT LAUDERDALE, FL 33305

INFANTOLINO, GIULIANA E
1807 NE 18 ST
FORT LAUDERDALE, FL 33305

JACKLICH,DAVID LANCE
1721 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

MABEY,THOMAS W II
1736 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

MCAULEY,JONATHON
1730 NE 18 AVE
FORT LAUDERDALE, FL 33305

MOENCH,BETTINA & BETTINA
MOENCH TR
1807 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

PUBLIC LAND % CITY OF FORT
LAUDERDALE
101 NE 3 AVE STE 2100
FORT LAUDERDALE, FL 33301

SETTLE,DONALD A
1781 NE 18 ST
FORT LAUDERDALE, FL 33305

TAGGART,JAMES F EST
9 MAIDEN LN
LYNNFIELD, MA 01940

ZALDIVAR,RAUL A & CATHERINE
1732 N VICTORIA PARK ROAD
FORT LAUDERDALE, FL 33305

KELLERHALS REV TR
551 NW 18 ST
FORT LAUDERDALE, FL 33311

MACINTYRE,STEPHEN W
1727 NE 18 AVE
FORT LAUDERDALE, FL 33305

MCDONALD,ERIC
1733 NE 18 AVE
FORT LAUDERDALE, FL 33305

MOONEY,KENNETH J EST
1790 NE 18 ST
FORT LAUDERDALE, FL 33305

RAVAGNI,HERNAN & HEALY,LUZ M
1804 NE 18 ST
FORT LAUDERDALE, FL 33305

SHUKH,BOHDAN
1715 NE 18 AVE
FORT LAUDERDALE, FL 33305

TOLSON,JOHN CARL & LORI SARAH
1724 N VICTORIA PARK ROAD
FORT LAUDERDALE, FL 33305

LINE,JOHN N KELLEWAY & LINE,SIAN
ELIZABETH
SUGARLOAF COBBS CROSS
*ENGLISH HARBOUR, AG

MASETH,RONALD A & RONALD A
MASETH REV TR
1784 NE 18 ST
FORT LAUDERDALE, FL 33305

MERCURI,CARLO
1718 N VICTORIA PARK RD
FORT LAUDERDALE, FL 33305

PILYAVSKY,VITALY & VAYNER,LYUBOV
16714 AMBER LAKE
WESTON, FL 33331

SAUNDERS,ROBERT
1793 NE 18 ST
FORT LAUDERDALE, FL 33305

SPAGNOLA,ROBERT A
1772 NE 18 ST
FORT LAUDERDALE, FL 33305

VAZQUEZ,RAUL A
1806 NE 19 ST
FORT LAUDERDALE, FL 33305



Rear View Looking East (south side)

3/6/25



Side View of Carport Looking South

3/6/25



Rear View of Carport Looking East

3/6/25



Front View Looking Northwest

3/6/25



Rear View Looking East (north side)

3/6/25

BOUNDARY SURVEY

Vicinity Map Not-to-Scale



Surveyors Notes:

1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES.
3. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
4. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
5. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN HEREON.
6. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 1-2 WEEKS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LB (LICENSED BUSINESS) #8598.
8. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR DIGITAL SEAL OF A FLORIDA LICENSED SURVEYOR OR MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSE ONLY AND IS NOT VALID.
9. ALL DATES SHOWN WITHIN THE REVISION BLOCK HEREON ARE FOR INTEROFFICE FILING USE ONLY AND IN NO WAY AFFECT THE DATE OF THE FIELD SURVEY STATED HEREIN, UNLESS OTHERWISE NOTED.
10. BEARINGS FOLLOWED BY A (M) HAVE BEEN COLLECTED IN FIELD AND ARE IN STATE PLANE (GRID) BEARING BASIS.

Job Number : 217525-SE	Field:
Drawn By : I.F.	Date of Field Work : 07/26/2024
Revisions	
Update - D.C. - 01/22/2025	
Update - T.B. - 02/19/2025	
02/25/2025 - COMMENTS - K.T.	

Survey Related Information and Certifications:

CERTIFIED TO
CHARLES FARRELL

Legal Description:

LOT 3 AND THE NORTH 17.0 FEET OF LOT 4, BLOCK 11, OF TOWN OF PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; SAID LAND SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA.

Bearing Basis:
NONE. RECORD INFORMATION LACKS ANGULAR DATA.
ALL ANGULAR DATA SHOWN BASED UPON FIELD OBSERVATION ONLY.

Abbreviation Legend (Some items in legend may not appear on drawing)

A OR AL = ARC LENGTH	F.F.E. = FINISHED FLOOR ELEV.	PCC = POINT OF COMPOUND CURVATURE	QTR = QUARTER
C/O = CLEANOUT	FIR = FOUND IRON ROD	PH = POOL HEATER	RNG = RANGE
CA = CENTRAL ANGLE	FN = FOUND NAIL	PI = POINT OF INTERSECTION	ROW = RIGHT OF WAY
CATV = CABLE TV RISER	FND = FOUND	PK = PARKER KAELOIN	SEC = SECTION
CF = CALCULATED FROM FIELD	G.F.F. = GARAGE FINISHED FLOOR ELEV.	R = RADIUS	TR = TELEPHONE RISER
CH = CHORD DISTANCE	L = LEGAL DESCRIPTION	POB = POINT OF BEGINNING	TWP = TOWNSHIP
CONC. = CONCRETE	M = MEASURED	POC = POINT OF COMMENCEMENT	UE = UTILITY EASEMENT
CR = CALCULATED FROM RECORD	OHC = OVERHEAD CABLE	PP = POOL PUMP	UP = UTILITY POLE
DE = DRAINAGE EASEMENT	P = PLAT	PRC = POINT OF REVERSE CURVATURE	WM = WATER METER
EL OR ELEV = ELEVATION	PC = POINT OF CURVATURE		WV = WATER VALVE
EM = ELECTRIC METER			

Elevations, if shown:

Benchmark: P235	Elevations on Drawing are in:
Benchmark Elev.: 6.01'	N.G.V.D.29 <input type="checkbox"/> N.A.V.D.88 <input checked="" type="checkbox"/>
Benchmark Datum: N.A.V.D.88	

CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL (IF AFFIXED) HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.



Digitally signed
by Pablo A Alvarez
Date: 2025.02.25
14:12:46 -05'00'

SIGNATURE _____ DATE: **2-25-2025**
PABLO ALVAREZ - PROFESSIONAL SURVEYOR AND MAPPER FLORIDA REGISTRATION NO. 7274 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL (IF AFFIXED) OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

Symbols (Some items in legend may not appear on drawing - Not to Scale)

☉ = UTILITY POLE	⊕ = WELL	♿ = HANDICAP SPACES
☆ = LIGHT POLE	⊕ = CENTER LINE	⚠ = TEMPORARY SITE BENCHMARK
▣ = CATCH BASIN	⌘ = PARTY WALL	⌘ = SEC. QTR. CORNER
⚡ = FIRE HYDRANT	⌘ = AIR CONDITIONER	⌘ = SEPTIC LID
⊙ = MANHOLE	⌘ = SEPTIC LID	⌘ = ELEV. SHOT
⌘ = WATER VALVE	⌘ = SECTION CORNER	
⌘ = WATER METER		

Line types

BOUNDARY	— (solid blue) —
BUILDING	— (dashed green) —
EASEMENT	— (dashed red) —
CHAIN LINK FENCE	— x —
WOOD FENCE	— // —
PLASTIC FENCE	— o —
OVERHEAD	— —

Platted Easements & Notable Conditions (unplatted easements also listed if provided):
- TILE WALK CROSSES THE BOUNDARY LINE ON EASTERLY SIDE OF LOT AS SHOWN.

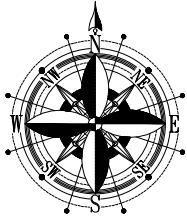
PRINTING INSTRUCTIONS

WHEN PRINTING THIS PDF IN ADOBE, SELECT "ACTUAL SIZE" TO ENSURE CORRECT SCALING. **DO NOT USE "FIT"**.

This survey has been issued by the following Landtec Surveying office:
840 US Hwy 1, Suite 330
North Palm Beach, Florida 33408
Office: (561) 210-9344 www.LandtecSurvey.com
Email: Construction@landtecsurvey.com



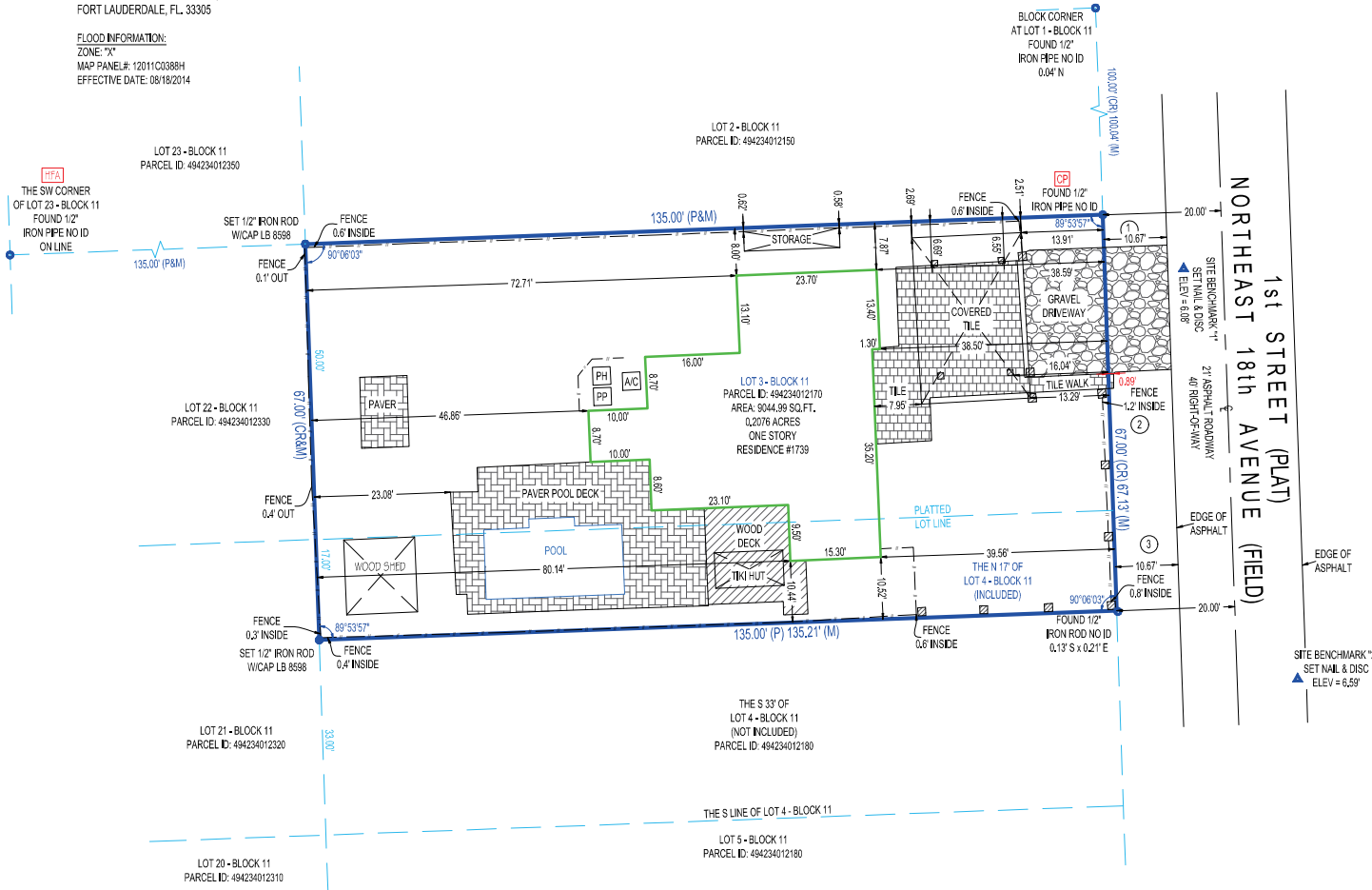
BOUNDARY SURVEY



SCALE: 1"=20'

PROPERTY ADDRESS:
1739 NORTHEAST 18th AVENUE,
FORT LAUDERDALE, FL, 33305

FLOOD INFORMATION:
ZONE: "X"
MAP PANEL#: 12011C0388H
EFFECTIVE DATE: 08/19/2014



NOTE:
① = TREE

# TREE	TYPE	DBH
1	OAK	1.4'
2	GUMBO LIMBO	1.2'
3	OAK	1.2'

Job Number : 217525-SE	Field:
Drawn By : I.F.	Date of Field Work : 07/26/2024
Revisions	
Update - D.C. - 01/22/2025	02/25/2025 - COMMENTS - K.T.
Update - T.B. - 02/19/2025	

This survey has been issued by the following Landtec Surveying office:
840 US Hwy 1, Suite 330
North Palm Beach, Florida 33408
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LANDTEC
CONSTRUCTION SURVEYING
LICENSED BUSINESS No. 8598

ACCESSORY STRUCTURE PLAN SET DESCRIPTION

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- S1 STRUCTURAL PLAN AND ELEVATIONS
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- S3 STRUCTURAL DETAILS
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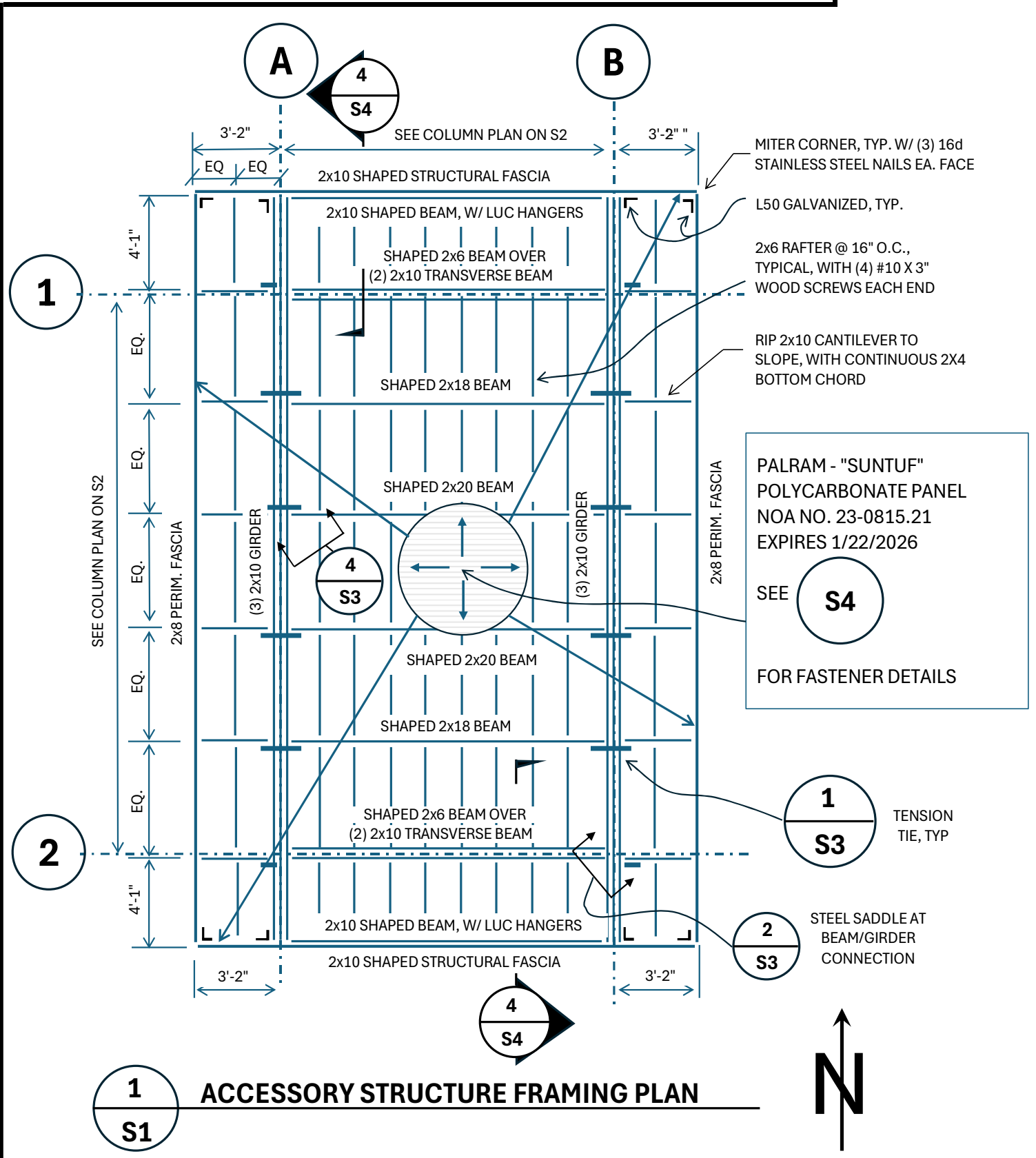


PROPERTY ADDRESS:
1739 NE 18TH AVE
FT. LAUDERDALE, FL,
33305

LEGAL DESCRIPTION:
LOT 3 & THE NORTH 17
FEET OF LOT 4 OF
BLOCK 11, TOWN OF
PROGRESSO

MARCH 5, 2025

S0



1
S1 **ACCESSORY STRUCTURE FRAMING PLAN**



ACCESSORY STRUCTURE ELEVATION LOOKING WEST



ACCESSORY STRUCTURE ELEVATION LOOKING NORTH

NOTES

1. ALL WOOD MEMBERS PRESSURE-TREATED SOUTHERN YELLOW PINE #2 OR BETTER AND ALL WOOD, INCLUDING HORIZONTAL CLOSURE STRIPS, RECEIVED A MINIMUM OF TWO COATS BEHR SEMI-TRANSPARENT WOOD STAIN
2. STEEL COLUMNS, A42 ; MACHINE BOLTS A325 ; MISC PLATE A36 ; ANCHOR BOLTS A563. ALL BOLTS, NUTS, WASHERS GALVANIZED. STEEL COLUMN ASSEMBLIES SHOP PRIME, THEN COATED WITH RUSTOLEUM PRIMER/PAINT
3. SIMPSON CONNECTORS USE STRONG-DRIVE SD CONNECTOR SCREWS, EITHER #9x1-1/2" or #9x2-1/2" DEPENDING ON CONNECTOR AND CONNECTION



STRUCTURAL PLAN AND ELEVATIONS

S1



(3) 2x10 GIRDER - SEE PLAN

1 CANTILEVER DECK TIE DETAIL

S3



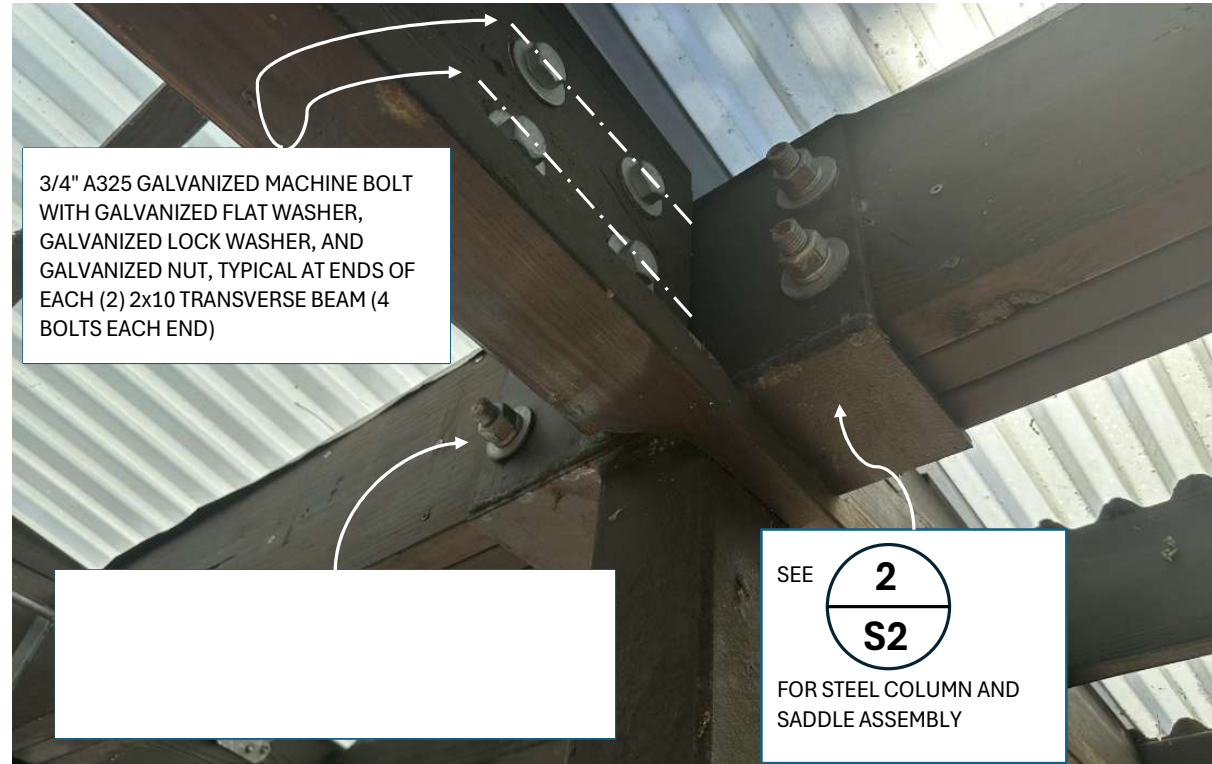
5/8" x 15" GALVANIZED STEEL BENT ANCHOR BOLTS WITH 2"x2"x3/16" PLATE WASHERS AND DOUBLE NUTS. SEE

2
S2

FOR COLUMN AND BASEPLATE ASSEMBLY. TYPICAL CONCRETE FOOTING 24"x24"x24" ENGAGES EXISTING CARPORT 4" CONCRETE SLAB.

3 COLUMN BASE PLATE OF ACCESSORY STRUCTURE

S3



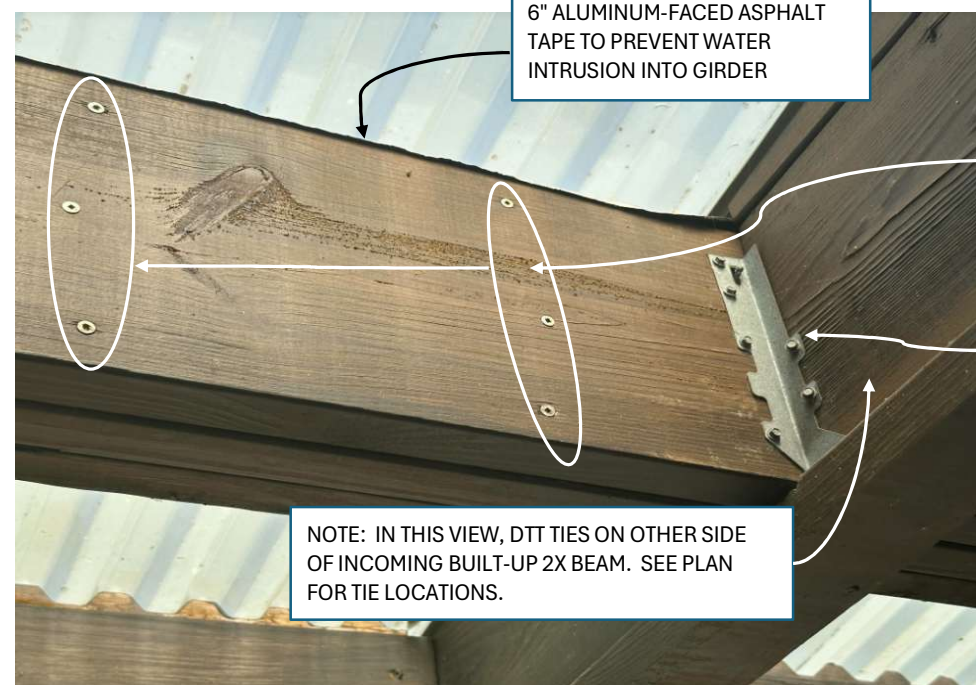
3/4" A325 GALVANIZED MACHINE BOLT WITH GALVANIZED FLAT WASHER, GALVANIZED LOCK WASHER, AND GALVANIZED NUT, TYPICAL AT ENDS OF EACH (2) 2x10 TRANSVERSE BEAM (4 BOLTS EACH END)

SEE **2**
S2

FOR STEEL COLUMN AND SADDLE ASSEMBLY

2 GIRDER/BEAM/COLUMN CONNECTION

S3



6" ALUMINUM-FACED ASPHALT TAPE TO PREVENT WATER INTRUSION INTO GIRDER

(3) #10x3" STAINLESS STEEL WOOD SCREWS @ 12" O.C. EACH FACE TYP; @ 6" O.C. EACH FACE WITHIN 3'-0" OF COLUMN

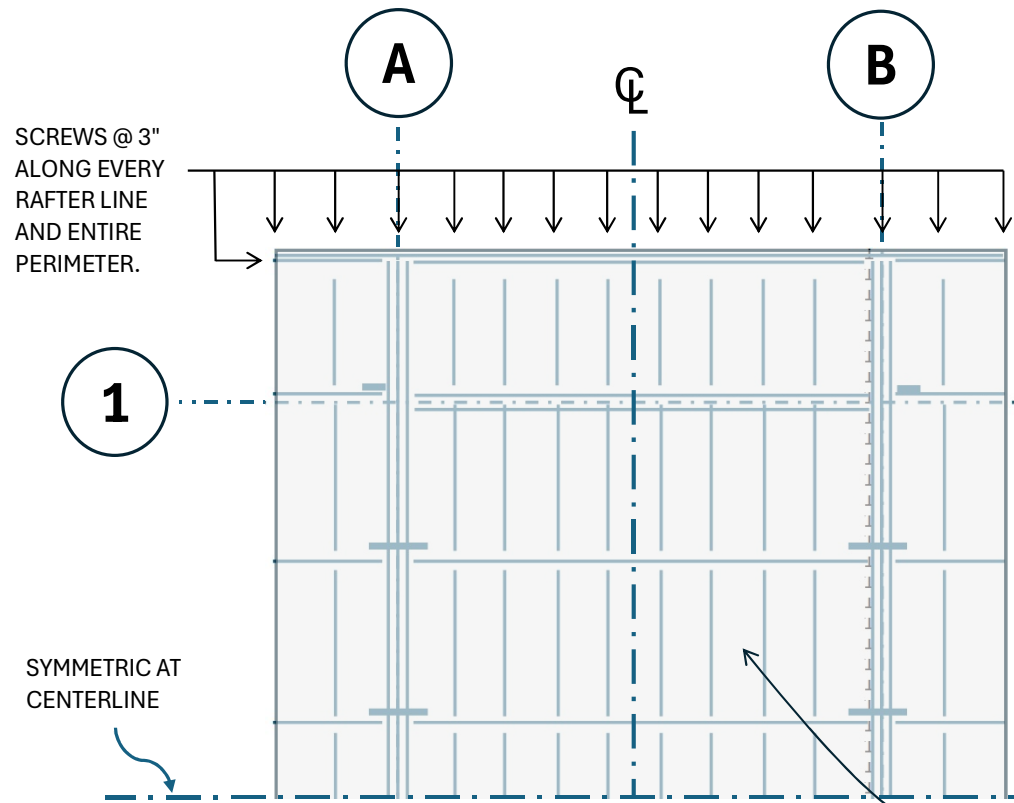
SIMPSON LUS210 GALVANIZED EA. SIDE OF GIRDER WITH #9 X 2-1/2" STRONG-DRIVE SCREWS EACH HOLE

NOTE: IN THIS VIEW, DTT TIES ON OTHER SIDE OF INCOMING BUILT-UP 2X BEAM. SEE PLAN FOR TIE LOCATIONS.

4 TRIPLE 2X10 GIRDER

S3

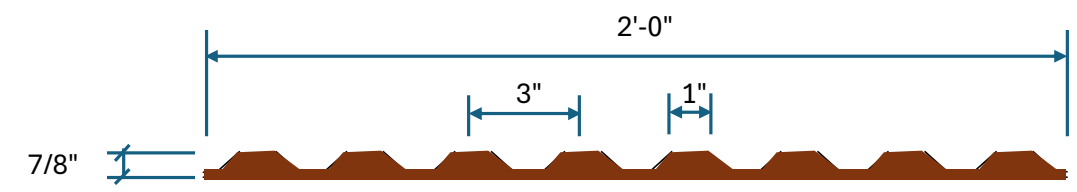




SCREWS @ 16" ALONG EVERY BEAM LINE. USE SILICONE SEALANT AT LAP WITHIN 6'-0" OF PERIMETER.

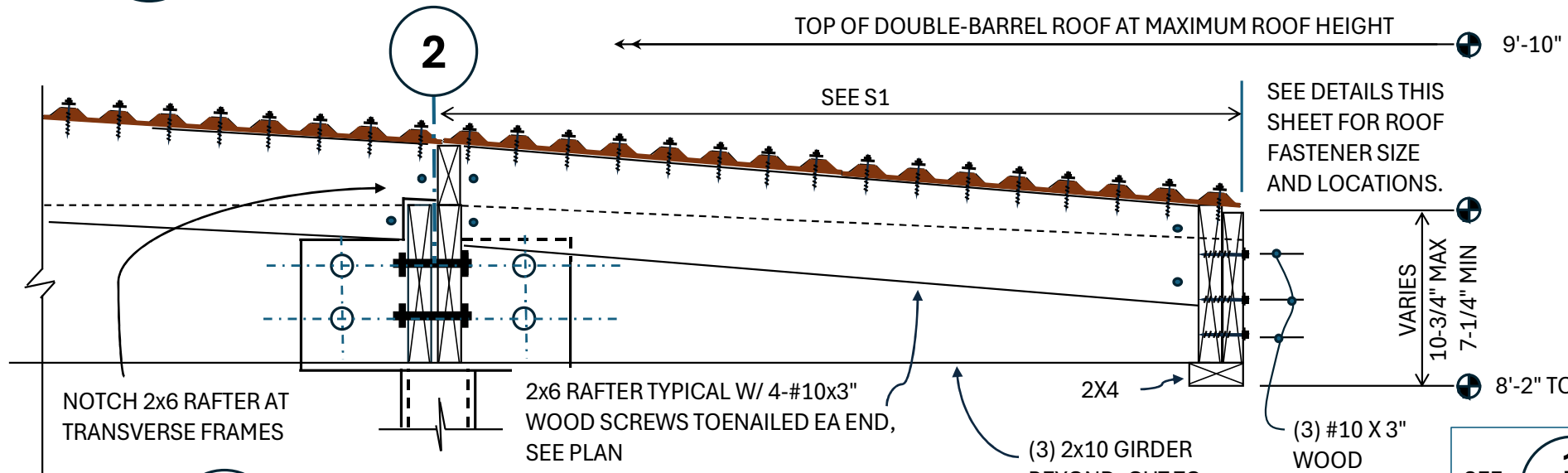
1
S4
FASTENER DETAILS

PALRAM - "SUNTUF"
POLYCARBONATE PANELS
NOA NO. 23-0815.21
EXPIRES 1/22/2026



PALRAM SUNTUF WOOD CLOSURE STRIP
NOTE: CLOSURE STRIPS INSTALLED AT EVERY RAFTER AND EAST AND WEST PERIMETERS

3
S4
ROOF FASTENER LAYOUT PLAN



4
S4
SECTION AT NORTH/SOUTH OVERHANGS

SEE **1**
S1 FOR FRAMING CONNECTION CLIPS AT ROOF CORNERS



SEALTITE HSS #9 x 2-1/2" ALL STAINLESS STEEL SCREW WITH BONDED EPDM WASHER. SEE **3** FOR SCREW SPACING. PREDRILL PANEL 1/4" DIAMETER AT EVERY HOLE TO MINIMIZE IMPACT OF THERMAL STRESS. USE SUPPLEMENTAL EPDM BONDED STAINLESS WASHER AT EVERY SCREW. APPROXIMATELY 1,600 SCREWS TOTAL.



POLYCARBONATE ROOFING DETAILS



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