



BOARD OF ADJUSTMENT MEETING NOTICE

Date: January 31st, 2025

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, February 12, 2025 at 6:00 pm.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-24120002
OWNER:	1717 FT LAUDERDALE BEACH; BLVD LLC % DAVID HOLMES JR
AGENT:	WEST, PAOLA A
ADDRESS:	1717 NORTH, FORT LAUDERDALE BEACH BLVD, FORT LAUDERDALE, FL 33305
LEGAL DESCRIPTION:	LOT 4 AND 5 LYING WEST OF ROAD RIGHT=OF=WAY, IN BLOCK 14 AS DESCRIBED IN DETAIL IN OFFICAL RECORD BOOK 2979 AT PAGE 803 AND THE EAST 3 FEET OF THE NORTH 100.00 FEET OF LOT 19 BLOCK 14 OF LAS OLAS BY THE SEA EXTENSION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 PAGE 25 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
COMMISSION DISTRICT:	2
REQUESTING:	<u>Sec. 47-19.5. - Fences, walls and hedges</u>

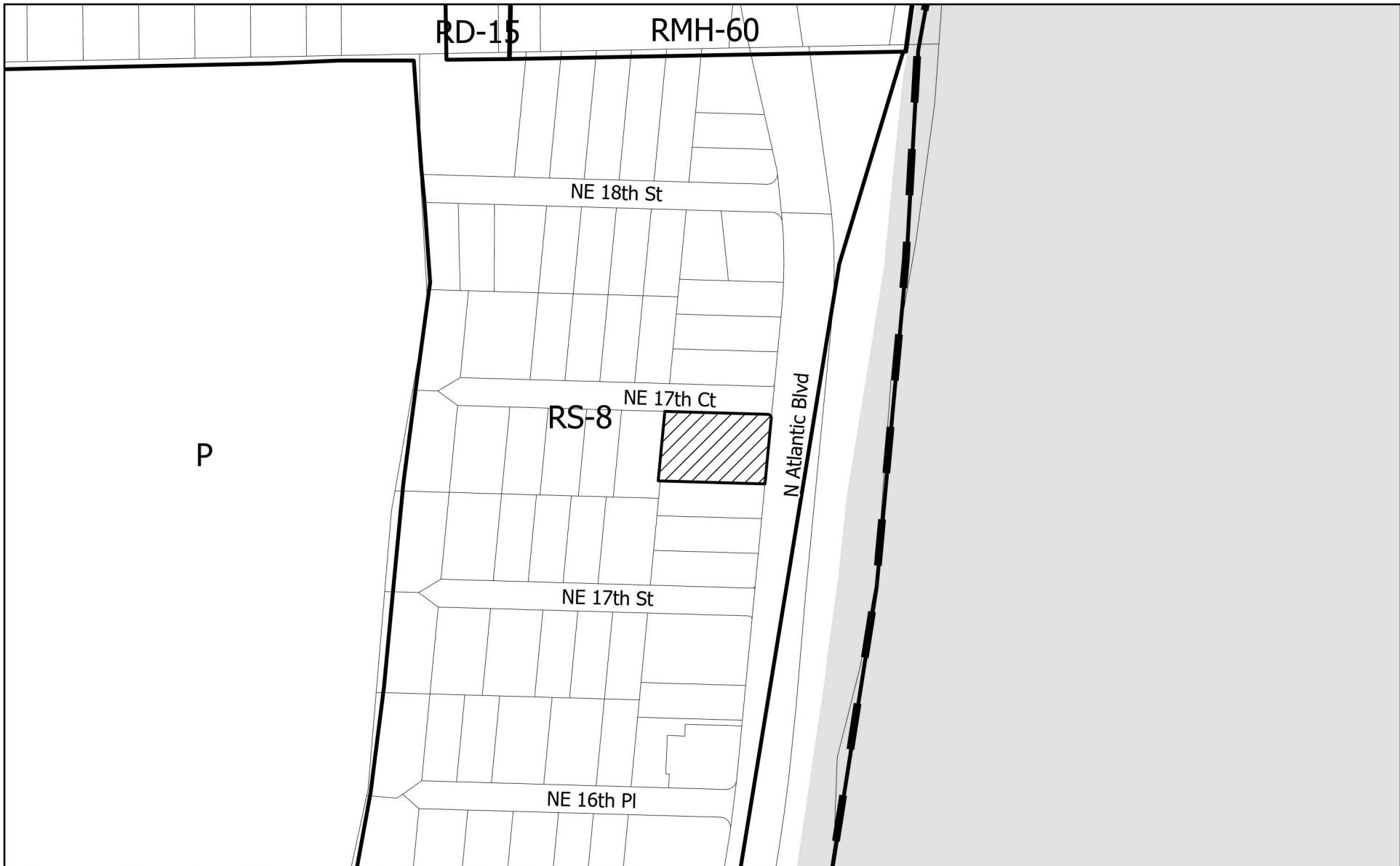
- Requesting a variance to allow an existing 24.75 inch high block wall, as measured from the finish floor of the principal structure and with 0-foot setbacks from a street property line, to be raised 16 inches in height for a total height of 41.25" above the finish floor of the principal structure to remain at the 0-foot setbacks, whereas the code requires an average 3-foot setback from a street property line when transparency (openness) is less than 75% and height is greater than 30". A total variance setback request of 3 feet.

To watch and listen to the meeting, please visit:
<https://www.fortlauderdale.gov/government/BOA> OR
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.
MOHAMMED MALIK
ZONING ADMINISTRATOR



Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



PLN-BOA-24120002

LEGEND

-  Municipal Boundary
-  Subject Site



PLN-BOA-24120002

Sec. 47-19.5. - Fences, walls and hedges

Sec. 47-19.5. - Fences, walls and hedges.

- A. The purpose and intent for the regulations in this section is to promote safety, create buffers, ease the transition between public ways and private property, and promote aesthetics while allowing flexibility and variety in the design of a fence or wall.
- B. Dimensional Requirements. The setback for a fence, wall or hedge shall depend on the height and percentage of transparency as shown in Table 1.

TABLE 1

FENCES, WALLS AND HEDGES (Note D)	HEIGHT MAX. Measured from Grade According to Section 47-2.2.G	PERCENT TRANSPARENT (Note B)	SETBACK (Note A & G)		
			STREET	SIDE	REAR
Residential Zoning Districts					
1a. FENCE/WALL	Up to 2'-6"	N/A	0'-0"	0'-0"	0'-0"
1b. FENCE/WALL	2'-6"—4'-4"	75—100% transparency	0'-0"	0'-0"	0'-0"
1c. FENCE/WALL	2'-6"—4'-4"	Below 75% transparency	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
1d. FENCE/WALL	4'-4"—6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"

FENCES, WALLS AND HEDGES (Note D)	HEIGHT MAX. Measured from Grade According to Section 47-2.2.G	PERCENT TRANSPARENT (Note B)	SETBACK (Note A & G)		
			STREET	SIDE	REAR
2. CHAIN LINK FENCE	Up to 6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
Residential/Non-Residential Zoning Districts					
3. FENCE/WALL	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
4. CHAIN LINK FENCE	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
5. HEDGES	Up to 10'-0"	N/A	0'-0"	0'-0"	0'-0"

Note A: Setbacks shall be measured from property lines, except when property abuts a waterway, the setback for the waterway shall be measured in accordance with [Section 47-2](#) of the ULDR.

Note B: Transparency (openness) is calculated based on the fence or wall being viewed at ninety (90) degrees to the street property line. Percent is determined as follows: Total square feet of openings in fence being divided by the total fence area utilizing the top of the fence in all of its positions for varying heights.

Note C: The linear distance of any one (1) segment of the indicated accessory structure along a given property line abutting a street which is parallel to the property line and closer than three (3) feet zero (0) inches from the property line cannot exceed thirty (30) percent of the length of the property line.

Note D: Handrails or safeguards when required by federal or state codes shall be exempt from this section.

Note E: Landscaping is required between the property line and accessory structure. See subsection C. below for specific landscape requirements.

Note F: To determine the average setback distance for fences, walls, and planters, multiply the total length of the fence, wall or planter, as viewed at ninety (90) degrees to the property line, by a factor of three (3), where three (3) represents the required minimum average setback. The resulting product must be equal to or greater than the total which results when adding the sum of each fence, wall, or planter segment multiplied by its setback from the property line. Walls, fences or planters constructed at an angle to the property line shall use the distance to the center of the structure to determine the actual setback of the segment.

Note G: Exceptions to setbacks:

Record

Showing 1-40 of 106

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PLN-BOA-24120002	We respectfully request the Board consider a vari...	Variance	Z- Board of Adjustment (BOA)	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Open
<input type="checkbox"/>	BLD-FEN-WT-24110017	Insta G ass windscreen on top of existing site ...	On ine Wa k-Thru- Fence I	Wa k-Thru - Fence	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Awaiting
<input type="checkbox"/>	PLB-GAS-21100030.R003	GAS AS BUILT PLANS I	Sharma Residence - Remode I	an Revision	0 I		1717	N I	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	MEC-RES-21100038.R004	MECHANICAL REVISION - AS BUILT PLANS I	Sharma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	PLB-RES-21100141.R002	PLUMBING REVISION - AS BUILT PLANS	Sharma Residence - Remode I	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	PLB-GAS-21100030.R002	GAS Revision - As Bui t P ans	Sharma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	ELE-RES-21100122.R001	E ectrica Revision - As Bui t P ans I	Sharma Residence - Remode	an Revision	0 I		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RALT-21100091.D005	REMODEL - SPECIAL INSPECTOR LETTOR OF COMPLIANCE I	Document Type: Approved Su.I	Deferred Submitta (E lectronic Document Submitta)	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RALT-21100091.D004	Sharma Remode	ocument Type: Finished Co...	Deferred Submitta (E lectronic Document Submitta)	0		1717 I	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RALT-21100091.D003	SFR REMODEL - FINAL SURVEY & EC I	Document Type: Approved Su... I	Deferred Submitta (E lectronic Document Submitta)	0 I		1717	N I	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-WIN-23100106	Rep ace Garage Door I	Sharma Residence - Remodel	Window and Door Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	PLB-GAS-21100030.R001	SFR Remode	harma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Void
<input type="checkbox"/>	PLB-RES-21100141.R001	SFR Remode - COC PLUMBING I	Sharma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	ELE-LV-23030008	LOW VOLTAGE FOR BLD-RALT-21100091 I	Sharma Residence - Remode	ectrica Low Vo tage Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RALT-21100091.R006	Sharma Remode - Structura Revision	Sharma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	MEC-RES-21100038.R003	REMODEL - MECHANICAL REVISION	Sharma Residence - Remode	an Revision	0		1717 I	N	FORT LAUDERDALE BEACH	BLVD I		Comp et
<input type="checkbox"/>	BE23020091	PERMITS.... SR I		Bui ding Code Case I	0 I	Linda Ho oway I	1717	N I	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	MEC-RES-21100038.R002	REVISED MECHANICAL PLANS	Sharma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	MEC-RES-23010015	Wine ce ar insta for BLD-RALT-21100091 I	1717 n fort auderda e	Mechanica Residentia Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RALT-21100091.R005	REVISED NOAs WINDOWS/DOORS	Sharma Residence - Remode /A...	P an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RADD-22050019.R001	REMODEL/ADDITION - REVISED NOAs FOR WINDOWS/DOORS I	Sharma Residence - Remode /A...	P an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Void
<input type="checkbox"/>	PLB-IRR-22110017	IRRIGATION FOR BLD-RADD-22050019	Sharma Residence - Remode /A...	P umbing Irrigation Permit	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	LND-INST-22110009 I	GENERAL LANDSCAPE FOR BLD-RALT-21100091 I	Sharma Residence - Remode /A... I	Landscape Insta ation Permit I	0		1717 I	N	FORT LAUDERDALE BEACH	BLVD I		Comp et
<input type="checkbox"/>	LND-TREE-22110019	Remove Medjoo date pa ms 4,5 & 6 each has 25 ft.... I	Tree remova s & re ocations I	Landscape Tree Remova -Re ocation Permit I	0 I		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	CE22100853	OVERGROWTH ON THE SIDE OF NE 17 CT I		Code Case	0	MMURRAY	1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	BLD-RADD-22050019.D002	Under Construction E evation Certificate	Document Type: Under Const...	Deferred Submitta (E lectronic Document Submitta)	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Void
<input type="checkbox"/>	BLD-RALT-21100091.D002	Under Construction E evation Certificate	Document Type: Approved Su...	Deferred Submitta (E lectronic Document Submitta)	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RADD-22050019.D001	UC E evation Certificate	Document Type: Under Const...	Deferred Submitta (E lectronic Document Submitta)	0 I		1717	N	FORT LAUDERDALE BEACH	BLVD		Void
<input type="checkbox"/>	BLD-RALT-21100091.R004	Sharma Residence - Remode /Addition - REVISION - ... I	Sharma Residence - Remode /A...	P an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	PLB-BF-22090005	AUTO FILL FOR BLD-RPSF-22090020	AUTO FILL HOOK UP FOR POOL P... I	P umbing Backf ow Insta ation Permit	0		1717 I	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	PLB-GAS-22090039	GAS HEATER CONNECTION FOR BLD-RPSF-22090020 I	GAS HEATER CONNECTION FOR PO...	P umbing Gas Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RPAV-22090050 I	DECK INSTALATION FOR POOL PERMIT #BLD-RPSF-22090020 I	DECK FOR POOL PERMIT # BLD-R... I	Residentia Paving Permit I	0 I		1717	N I	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	ELE-RES-22090158	ELECTRICAL HOOK UP BLD-RPSF-22090020 I	ELECTRICAL FOR POOL PERMIT #...	E ectrica Residentia Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	PLB-RES-22090169	PERIMETER PLUMBING FOR BLD-RPSF-22090020 I	PLUMBING FOR PERMIT # BLD-RP...	P umbing Residentia Permit	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RPSF-22090020 I	NEW SWIMMING POOL & SPA	JONATHAN THOMAS DEV LOT 19 B... I	Residentia Poo -Spa-Fountain Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RADD-22050019	SINGLE FAMILY RESIDENCE ALTERATION TO FLOORS 1 A...	Sharma Residence - Remode	esidentia Addition Permit	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Void
<input type="checkbox"/>	BLD-RALT-21100091.D001	UNDER CONSTRUCTION ELEVATION CERTIFICATE	Sharma Residence - Remode	Deferred Submitta (E lectronic Document Submitta)	0 I		1717 I	N	FORT LAUDERDALE BEACH	BLVD		Void
<input type="checkbox"/>	BLD-RALT-21100091.R002	Remode	harma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	MEC-RES-21100038.R001	CHANGE OF CONTRACTORI	Sharma Residence - Remode I	an Revision	0 I		1717	N I	FORT LAUDERDALE BEACH	BLVD		Comp et
<input type="checkbox"/>	BLD-RALT-21100091.R003	PLAN REVISIONS - Architectura , Structura , Mecha... I	Sharma Residence - Remode	an Revision	0 I		1717 I	N I	FORT LAUDERDALE BEACH	BLVD I		Comp et

Record

Showing 41-80 of 106

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	BLD-RALT-21100091.R001	SHORING PLANS	Sharma Residence - Remode	an Revision	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete
<input type="checkbox"/>	BE22010159	STARTING CONTRUCTION BEFORE 8AM IN THE MORNING-LO...		Bui ding Code Case	0	Hector Suarez I	1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	BLD-RPAV-21110032 I	PAVING FOR BLD-RALT-21100091 I	Sharma Residence - Remode	esidentia Paving Permit I	0 I		1717	N	FORT LAUDERDALE BEACH	BLVD I		Void
<input type="checkbox"/>	BLD-ROOF-21100153	#FL 1 & 2 ROOF FOR BLD-RALT-21100091 I	Sharma Residence - Remode	e-Roof Permit	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete
<input type="checkbox"/>	PLB-GAS-21100030	#FL 1 & 2 GAS FOR BLD-RALT-21100091	Sharma Residence - Remode	umbing Gas Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete I
<input type="checkbox"/>	PLB-RES-21100141	#FL 1 & 2 PLUMBING FOR BLD-RALT-21100091 I	Sharma Residence - Remode	umbing Residentia Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete
<input type="checkbox"/>	MEC-RES-21100038	#FL 1 & 2 MECHANICAL FOR BLD-RALT-21100091 I	Sharma Residence - Remodel	Mechanica Residentia Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete I
<input type="checkbox"/>	ELE-RES-21100122	#FL 1 & 2 ELECTRICAL FOR BLD-RALT-21100091 I	Sharma Residence - Remode	ectrica Residentia Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete
<input type="checkbox"/>	BLD-RALT-21100091 I	#FL 1 AND 2 - ALTERATION WITH RELOCATED ELEVATORI	Sharma Residence - Remode	esidentia A teration Permit	0		1717 I	N	FORT LAUDERDALE BEACH	BLVD		Comp ete I
<input type="checkbox"/>	PLB-RES-21080004 I	PLUMBING FOR BLD-RDEM-21070005 I	Sharma Residence - P umbing ... I	P umbing Residentia Permit I	0 I		1717	N	FORT LAUDERDALE BEACH	BLVD I		Comp ete
<input type="checkbox"/>	CE21070404 I	9-363: Fai ure to register the residentia dwe i... I		Code Case I	0 I	ANTHONYFL I	1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	BLD-RDEM-21070005	REMOVE DRYWALL I	Sharma Residence - Drywa Demo	Residentia Demo ition Permit I	0		1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ete
<input type="checkbox"/>	SE21060282			Bu k Trash Case	0	Wanda Acquave a	1717	N	FORT LAUDERDALE BEACH	BLVD		Comp ied
<input type="checkbox"/>	CT21040076	6-51.~ Sea Tur es~ It is the po icy of the... I	Vio ation-Citation	Vio ation-Citation	0		1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	CE21040690	SEA TURTLE LIGHTING		Code Case	0	Bernstein Saim...	1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	BT-GEN-REN-20074811		Genera Renewal	Genera Business Tax Renewa I			1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	CE20040318 I	POSSIBLY OPERATING AS A VACATION RENTAL DURING TH... I		Code Case I	0 I	PATRICEJ I	1717	N	FORT LAUDERDALE BEACH	BLVD		C osed
<input type="checkbox"/>	BT-GEN-20030095 I	VACATION RENTAL I	FLORIDA PLACES 4 RENT LLC I	Genera Business Tax Receipt I	196.89 I		1717	N	FORT LAUDERDALE BEACH	BLVD		De inquen
<input type="checkbox"/>	VIO-CE18100383_1	OPERATING A VACATION RENTAL PROPERTY WITHOUT FIRST I	UDIS,GARY A	Vio ation-CODE Hearing	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE18100383	OPERATING A VACATION RENTAL PROPERTY WITHOUT FIRS... I	UDIS,GARY A	Code Case	0		1717	N I	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE18052151_1		UDIS,GARY A	Vio ation-CODE Hearing	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE18052151	2018 SEA TURTLE: ILLUMINATING LIGHT COMING FROM, ...	UDIS,GARY A	Code Case	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE18030304_1I	15-272. (a) The property is being used as a	UDIS,GARY A	Vio ation-CODE Hearing I	0		1717 I	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE18030304 I	15-272. (a) The property is being used as a, vaca... I	UDIS,GARY A	Code Case I	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE17070061_1 I		UDIS,GARY A	Vio ation-CODE Hearing I	0 I		1717	N	FTL BEACH I	BLVD		C osed
<input type="checkbox"/>	CE17070061	SEA TURTLES 2017.; LIGHT DESCRIPTION: INTERIOR, C... I	UDIS,GARY A I	Code Case	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VRR-1501580		FLORIDA PLACES 4 RENT LLC I	Vacation Renta Registry	0		1717	N I	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	AB-0085976		NOVOVIC MICO	Resident/Business A arm Registration	0		1717	N	FTL BEACH	BLVD		Active I
<input type="checkbox"/>	VIO-CE16010554_1I		UDIS,GARY A	Vio ation-CODE Hearing I	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE16010554	Received a comp aint reference to the property, b... I	UDIS,GARY A I	Code Case	0		1717 I	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE16010055_1 I		WHITE,CLARENCE E	Vio ation-CODE Hearing	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE16010055	E/S LIEN ONE 1 OPEN CASES, , CE14121430 I	WHITE,CLARENCE E	Code Case	0 I		1717	N	FTL BEACH I	BLVD		C osed
<input type="checkbox"/>	VRR-1500307		FLORIDA PLACES 4 RENT LLC I	Vacation Renta Registry I	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE15021425_2	A1A AND NE 17 CT, MATTRESS DUMPED AT THE	WHITE,CLARENCE E	Vio ation-CODE Hearing	0		1717	N I	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE15021425_1	A1A AND NE 17 CT, MATTRESS DUMPED AT THE	WHITE,CLARENCE E	Vio ation-CODE Hearing I	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE15021425	A1A AND NE 17 CT, MATTRESS DUMPED AT THE, INTERSE... I	WHITE,CLARENCE E I	Code Case	0		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE14121430_2 I	THE FOLLOWING PERMITS WERE LEFT TO EXPIRE:	UDIS,GARY A	Vio ation-BLD Hearing	0		1717 I	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	VIO-CE14121430_1 I	THE FOLLOWING PERMITS WERE LEFT TO EXPIRE: I	UDIS,GARY A	Vio ation-BLD Hearing I	0 I		1717	N	FTL BEACH	BLVD		C osed
<input type="checkbox"/>	CE14121430 I	THE FOLLOWING PERMITS WERE LEFT TO EXPIRE; PLUMB... I	UDIS,GARY A I	Bui ding Code Case I	379 I		1717	N	FTL BEACH I	BLVD I		C osed
<input type="checkbox"/>	PM-13010203	400a MANUAL TRANSFER SWITCH REPLACEMENT WITH SAME	400a MANUAL TRANSFER SWITCH ... I	E ectrica Services Permit I	0 I		1717 I	N I	FTL BEACH I	BLVD I		Comp ete

Record

Showing 81-106 of 106

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Unit # (start)	Status
<input type="checkbox"/>	PM-11091830	R AND R FIXTURES BP11091826 ~ ~ ~ ~ ~OWNER UPD...	R AND R FIXTURES BP11091826	Plumbing Fixture Replacement Permit	0		1717	N	FTL BEACH	BLVD		Complete
<input type="checkbox"/>	PM-11091829	NEW AC INSTALL DUE TO FIRE BP11091826	NEW AC INSTALL DUE TO FIRE ...	Mechanica HVAC New Installation Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-11091827	ELECTRICAL REWIRE DUE TO FIRE BP11091826	ELECTRICAL REWIRE DUE TO FIR...	Electrica Residential Permit	0		1717	N	FT LAUD BEACH I	BLVD		Complete
<input type="checkbox"/>	PM-11091826	INTERIOR ALTERATIONS DUE TO FIRE ~ ~Last renewa ,...	INTERIOR ALTERATIONS DUE TO ...	Residentia Alteration Permit	0		1717	N	FTL BEACH	BLVD		Complete
<input type="checkbox"/>	PM-11061871	INTER DEMO FROM FIRE ABOVE GARAGE 5 BEDRMS REMOVE... I	INTER DEMO FROM FIRE ABOVE G... I	Residentia Demolition Permit	0		1717	N	FT LAUD BEACH	BLVD		Void
<input type="checkbox"/>	PM-07071802	INSTALL (3) ALUMINUM GATES	INSTALL (3) ALUMINUM GATES	Fence Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-07062091	install 2500 sq ft pavers for pool deck and ~driv...	install 2500 sq ft pavers fo...	Residentia Paving Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-07052512	30-DAY TEMP POWER	30-DAY TEMP POWER	Electrica Temporary Po e	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-06021457	INSTALL SOUND SYST BP 04020576	INSTALL SOUND SYST BP 04020576	Electrica Low Voltage Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-06020761	ELECT FOR CENT VAC BP04020576	ELECT FOR CENT VAC BP04020576	Electrica Residential Permit	0		1717	N	FT LAUD BEACH I	BLVD I		Complete
<input type="checkbox"/>	PM-06020759	INSTALL CENT VAC FOR ADDITION 04020576	INSTALL CENT VAC FOR ADDITIO...	Mechanica Residential Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-05091558	INSTALL NEW GAS LINE BP04020576	INSTALL NEW GAS LINE BP0402...	Plumbing Gas Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-05091061	ELEC UPGRADE TO REMODEL BP04020576	ELEC UPGRADE TO REMODEL BP04...	Electrica Residential Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-05052941	INSTALL TILE AND FLAT ROOF	INSTALL TILE AND FLAT ROOF	Re-Roof Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-05050957	INSTALL 4 AC SYSTEMS WITH DUCT BP 04020576 I	INSTALL 4 AC SYSTEMS WITH DU...	Mechanica HVAC New Installation Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-04070380	ELECT FOR POOL BP 04070371	ELECT FOR POOL BP 04070371	Electrica Residential Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-04070377	INSTALL HEAT PUMP FOR SPA BP 04070371	INSTALL HEAT PUMP FOR SPA BP...	Mechanica Residential Permit	0		1717	N	FT LAUD BEACH I	BLVD		Complete
<input type="checkbox"/>	PM-04070375	POOL PIPING BP 04070371	POOL PIPING BP 04070371	Plumbing Residential Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-04070371	REHAB POOL AND AND SPA ~12/21/06 RENEWAL ~B-RECHE...	REHAB POOL AND AND SPA	Residentia Pool-Spa-Fountain Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-04060866	PLUMBING FOR NEW SFR BP 04020576	PLUMBING FOR NEW SFR BP 0402... I	Plumbing Residential Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-04020576	2ND STORY ADD:4BD/4BA,STUDY & INTERIOR RENOVA... I	2ND STORY ADD:4BD/4BA,STUDY ...	Residentia Addition Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-03092116	REMOVE ROOF & DEMO INTERIOR MILDEW IN WALLS	REMOVE ROOF & DEMO INTERIOR ...	Residentia Demolition Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-01060258	REMOVE & REPLACE W/IMPACT WINDOW & FRENCH...	REMOVE & REPLACE W/IMPACT WI...	Window and Door Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-01040455	EL-REMODEL BATHROOM IN GUEST HOUSE-SFR	EL-REMODEL BATHROOM IN GUEST...	Electrica Commercial Permit	0		1717	N	FT LAUD BEACH	BLVD		Complete
<input type="checkbox"/>	PM-01040454	REMODEL BTHRM IN GUEST HOUSE-SFR	REMODEL BTHRM IN GUEST HOUSE...	Plumbing Fixture Replacement Permit	0		1717	N	FT LAUD BEACH I	BLVD		Complete
<input type="checkbox"/>	PM-01040453	REMODEL BATHROOM AND ADD WET BAR IN ATTACHED ~GAR... I	REMODEL BATHROOM AND ADD WET...	Residentia Alteration Permit	0		1717	N	FT LAUD BEACH	BLVD I		Complete



CITY OF FORT LAUDERDALE

PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: February 12, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA-24120002

Sec. 47-19.5. - Fences, walls and hedges

• Requesting a variance to allow an existing 24.75 inch high block wall, as measured from the finish floor of the principal structure and with 0-foot setbacks from a street property line, to be raised 16 inches in height for a total height of 41.25" above the finish floor of the principal structure to remain at the 0-foot setbacks, whereas the code requires an average 3-foot setback from a street property line when transparency (openness) is less than 75% and height is greater than 30". A total variance setback request of 3 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE
FORT LAUDERDALE, FL., 33311
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING:
www.fortlauderdale.gov/FLTV , www.youtube.com/cityoffortlauderdale or Cable
Television- Comcast Channel 78 and AT&T U-Verse Channel 99
TO VIEW MORE INFORMATION ABOUT THIS ITEM:
www.fortlauderdale.gov/government/BOA

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-24120002

APPLICANT: 1717 FT LAUDERDALE BEACH BLVD LLC

PROPERTY: 1717 N. Ft. Lauderdale Beach Blvd.

PUBLIC HEARING DATE: February 12, 2025

BEFORE ME, the undersigned authority, personally appeared PAOLA WEST, who upon being duly sworn and cautioned, under oath deposes and says:

- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47,27.2, of the City of Fort Lauderdale, I will forfeit my sign deposit.

PAOLA WEST (initial here)
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 29 day of Jan. 2025

(SEAL)

Notary Public State of Florida
Mark Einloth
My Commission HH 484573
Expires 2/19/2028

CITY OF FORT LAUDERDALE
PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
DATE: February 12, 2025 TIME: 6:00 P.M. CASE: PLN-BOA-24120002

Sec. 47-19.5 - Fences, walls and hedges

- Requesting a variance to allow an existing 24.75 inch high black wall, as measured from the finish floor of the principal structure and with 0-foot setbacks from a street property line, to be raised 16 inches in height for a total height of 41.25" above the finish floor of the principal structure to remain at the 0-foot setback, whereas the code requires an average 3-foot setback from a street property line when transparency (openness) is less than 75% and height is greater than 30". A total variance setback request of 3 feet.

FOR MORE INFORMATION CONTACT: PLANNING DEPARTMENT, 200 N.W. 11th Street, Fort Lauderdale, FL 33301, (954) 346-8800, www.fortlauderdale.gov/planning

FOR NOTICE AND ACCESS TO THE BOARD OF ADJUSTMENT MEETING, PLEASE CONTACT: PLANNING DEPARTMENT, 200 N.W. 11th Street, Fort Lauderdale, FL 33301, (954) 346-8800, www.fortlauderdale.gov/planning





NOTICE
This property is under construction. All activities are subject to change without notice. Please do not enter the property without the permission of the contractor.

NE 1st Ct

1717





PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
1000 BAYVIEW BLVD. SUITE 1000
MIAMI, FL 33134
DATE: 08/20/2024
TIME: 6:00 PM
AGENDA: 1. APPROVAL OF RESOLUTION NO. 2024-001
2. APPROVAL OF RESOLUTION NO. 2024-002
3. APPROVAL OF RESOLUTION NO. 2024-003
4. APPROVAL OF RESOLUTION NO. 2024-004
5. APPROVAL OF RESOLUTION NO. 2024-005
6. APPROVAL OF RESOLUTION NO. 2024-006
7. APPROVAL OF RESOLUTION NO. 2024-007
8. APPROVAL OF RESOLUTION NO. 2024-008
9. APPROVAL OF RESOLUTION NO. 2024-009
10. APPROVAL OF RESOLUTION NO. 2024-010
11. APPROVAL OF RESOLUTION NO. 2024-011
12. APPROVAL OF RESOLUTION NO. 2024-012
13. APPROVAL OF RESOLUTION NO. 2024-013
14. APPROVAL OF RESOLUTION NO. 2024-014
15. APPROVAL OF RESOLUTION NO. 2024-015
16. APPROVAL OF RESOLUTION NO. 2024-016
17. APPROVAL OF RESOLUTION NO. 2024-017
18. APPROVAL OF RESOLUTION NO. 2024-018
19. APPROVAL OF RESOLUTION NO. 2024-019
20. APPROVAL OF RESOLUTION NO. 2024-020
21. APPROVAL OF RESOLUTION NO. 2024-021
22. APPROVAL OF RESOLUTION NO. 2024-022
23. APPROVAL OF RESOLUTION NO. 2024-023
24. APPROVAL OF RESOLUTION NO. 2024-024
25. APPROVAL OF RESOLUTION NO. 2024-025
26. APPROVAL OF RESOLUTION NO. 2024-026
27. APPROVAL OF RESOLUTION NO. 2024-027
28. APPROVAL OF RESOLUTION NO. 2024-028
29. APPROVAL OF RESOLUTION NO. 2024-029
30. APPROVAL OF RESOLUTION NO. 2024-030
31. APPROVAL OF RESOLUTION NO. 2024-031
32. APPROVAL OF RESOLUTION NO. 2024-032
33. APPROVAL OF RESOLUTION NO. 2024-033
34. APPROVAL OF RESOLUTION NO. 2024-034
35. APPROVAL OF RESOLUTION NO. 2024-035
36. APPROVAL OF RESOLUTION NO. 2024-036
37. APPROVAL OF RESOLUTION NO. 2024-037
38. APPROVAL OF RESOLUTION NO. 2024-038
39. APPROVAL OF RESOLUTION NO. 2024-039
40. APPROVAL OF RESOLUTION NO. 2024-040
41. APPROVAL OF RESOLUTION NO. 2024-041
42. APPROVAL OF RESOLUTION NO. 2024-042
43. APPROVAL OF RESOLUTION NO. 2024-043
44. APPROVAL OF RESOLUTION NO. 2024-044
45. APPROVAL OF RESOLUTION NO. 2024-045
46. APPROVAL OF RESOLUTION NO. 2024-046
47. APPROVAL OF RESOLUTION NO. 2024-047
48. APPROVAL OF RESOLUTION NO. 2024-048
49. APPROVAL OF RESOLUTION NO. 2024-049
50. APPROVAL OF RESOLUTION NO. 2024-050
51. APPROVAL OF RESOLUTION NO. 2024-051
52. APPROVAL OF RESOLUTION NO. 2024-052
53. APPROVAL OF RESOLUTION NO. 2024-053
54. APPROVAL OF RESOLUTION NO. 2024-054
55. APPROVAL OF RESOLUTION NO. 2024-055
56. APPROVAL OF RESOLUTION NO. 2024-056
57. APPROVAL OF RESOLUTION NO. 2024-057
58. APPROVAL OF RESOLUTION NO. 2024-058
59. APPROVAL OF RESOLUTION NO. 2024-059
60. APPROVAL OF RESOLUTION NO. 2024-060
61. APPROVAL OF RESOLUTION NO. 2024-061
62. APPROVAL OF RESOLUTION NO. 2024-062
63. APPROVAL OF RESOLUTION NO. 2024-063
64. APPROVAL OF RESOLUTION NO. 2024-064
65. APPROVAL OF RESOLUTION NO. 2024-065
66. APPROVAL OF RESOLUTION NO. 2024-066
67. APPROVAL OF RESOLUTION NO. 2024-067
68. APPROVAL OF RESOLUTION NO. 2024-068
69. APPROVAL OF RESOLUTION NO. 2024-069
70. APPROVAL OF RESOLUTION NO. 2024-070
71. APPROVAL OF RESOLUTION NO. 2024-071
72. APPROVAL OF RESOLUTION NO. 2024-072
73. APPROVAL OF RESOLUTION NO. 2024-073
74. APPROVAL OF RESOLUTION NO. 2024-074
75. APPROVAL OF RESOLUTION NO. 2024-075
76. APPROVAL OF RESOLUTION NO. 2024-076
77. APPROVAL OF RESOLUTION NO. 2024-077
78. APPROVAL OF RESOLUTION NO. 2024-078
79. APPROVAL OF RESOLUTION NO. 2024-079
80. APPROVAL OF RESOLUTION NO. 2024-080
81. APPROVAL OF RESOLUTION NO. 2024-081
82. APPROVAL OF RESOLUTION NO. 2024-082
83. APPROVAL OF RESOLUTION NO. 2024-083
84. APPROVAL OF RESOLUTION NO. 2024-084
85. APPROVAL OF RESOLUTION NO. 2024-085
86. APPROVAL OF RESOLUTION NO. 2024-086
87. APPROVAL OF RESOLUTION NO. 2024-087
88. APPROVAL OF RESOLUTION NO. 2024-088
89. APPROVAL OF RESOLUTION NO. 2024-089
90. APPROVAL OF RESOLUTION NO. 2024-090
91. APPROVAL OF RESOLUTION NO. 2024-091
92. APPROVAL OF RESOLUTION NO. 2024-092
93. APPROVAL OF RESOLUTION NO. 2024-093
94. APPROVAL OF RESOLUTION NO. 2024-094
95. APPROVAL OF RESOLUTION NO. 2024-095
96. APPROVAL OF RESOLUTION NO. 2024-096
97. APPROVAL OF RESOLUTION NO. 2024-097
98. APPROVAL OF RESOLUTION NO. 2024-098
99. APPROVAL OF RESOLUTION NO. 2024-099
100. APPROVAL OF RESOLUTION NO. 2024-100

**NO
PARKING**
←
TOW AWAY ZONE



SR A1A
NE 11th CT

STOP

PUBLIC NOTICE
BOARD OF ADJUSTMENT MEETING
DATE: [illegible] TIME: [illegible]
LOCATION: [illegible]
AGENDA: [illegible]



PUBLIC NOTICE
NOTICE OF COMMENCEMENT
FOR THE CONSTRUCTION OF
A NEW RESIDENTIAL BUILDING
ON THE PROPERTY OF
[Property Name]
[Address]
[City, State, Zip]

NO PARKING



BOARD OF ADJUSTMENT (BOA) APPLICATION FORM

REV: 03/18/2024 APPLICATION FORM: BOA

**GENERAL INFORMATION
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL**

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

EXAMPLE VARIANCE SUBMITTAL

Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

QUESTIONS: Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: boardofadjustment@fortlauderdale.gov

Phone: 954-828-6520, Option 5.

INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type	(Select the application type from the list below and complete pages 1-4 of the application)	FEES
_____	Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
_____	Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
_____	Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
_____	Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
_____	Request for Continuance	\$954
_____	Request for Rehearing	\$318
_____	Rehearing Request before the board	\$1,219

Page 1: BOA - Applicant Information Sheet

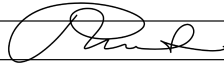
INSTRUCTIONS: The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **PROPERTY OWNER**, an agent authorization form is required (must be notarized)

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Agent Authorization Form Submitted	

Include ANY Related code case/permit #	
Existing / New	Existing: <input type="checkbox"/> <input type="checkbox"/> New: <input type="checkbox"/> <input type="checkbox"/>
Project Address	Address: _____
Legal Description	
Tax ID Folio Numbers <i>(For all parcels in development)</i>	
Variance/Special Exception Request <i>(Provide a brief description of your request)</i>	
Applicable ULDR Sections <i>(Include all code sections)</i>	

Current Land Use Designation	
Current Zoning Designation	
Current Use of Property	
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)		Required	Proposed
Front			
Side			
Side			
Rear			

Page 2a: Board of Adjustment (BOA) Criteria for Variance Request

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application form. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

We respectfully request the Board consider a variance to section 47-19.5, (Fences, walls and hedges) in order to allow an existing wall 0 feet from the property line to remain.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

The vicinity and grade of the Atlantic Ocean; The required finished floor elevation for the residence; The vicinity and grade of a large natural park, one block west; The existence of the perimeter wall since not only before the current owner purchased the lot, but possibly prior to 1971; The adoption of the fence regulations, circa 1997.

of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

The circumstances are peculiar to this and about 17 other corner properties along North Ft. Lauderdale Beach Boulevard, one block east of Hough Taylor Birch Park. This is a clear marked exception compared to other properties in the same RS-8 zoning district.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

The proposal adds glass to the top of the existing retaining wall, which not only provides more privacy for the residence, but eliminates future trespassing (an ongoing problem enabled by the lower wall height).

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

The hardship the owner faces is not self-created. As previously mentioned, the wall is existing and has been in existence since prior to the current owner, prior to the previous owner, and even prior to the code requirement in question.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

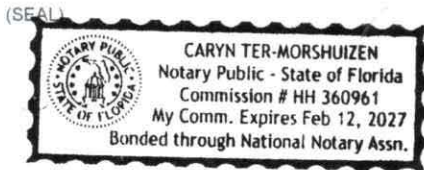
The property is an existing residence in residential zoning and land use. The minimum variance that would make reasonable use of the property, is to allow the existing wall to remain where it is located. To force the owner to relocate or demolish and rebuild the wall would incur the owner unreasonable costs that he neither anticipated nor brought on himself.

AFFIDAVIT: I, PAOLA A. WEST the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Paola A. West
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 16 day of December, 2024



Caryn Ter-Morshuizen
NOTARY PUBLIC
MY COMMISSION EXPIRES: 02/12/2027

Page 2b: Board of Adjustment (BOA) Criteria for Special Exception Request

Answer **All** questions on this page only *if* you are applying for a **SPECIAL EXCEPTION**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Variance, print or type N/A for the questions below and complete page 2a of this application form. Note: A narrative must be submitted in addition to this page.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

We respectfully request the Board consider a variance to section 47-19.5. [Fences, walls and hedges] in order to allow an existing wall 0 feet from the property line to remain.

CRITERIA: A special exception shall be granted upon demonstration by a preponderance of the evidence of all of the following criteria: Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.5,

a. Whether the proposed development or use meets the requirements for a special exception as provided by the ULDR; and

N/A

b. Granting of the special exception shall not be incompatible with adjoining properties or the surrounding neighborhood or otherwise contrary to the public interest.

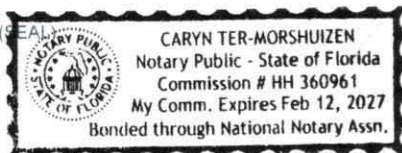
N/A

AFFIDAVIT: I, PAOLA A. WEST the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Paola West
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 16 day of December, 2024



Caryn Ter-Morshuizen
NOTARY PUBLIC
MY COMMISSION EXPIRES: 02/12/2027

Page 3: Checklist for submittal and completeness:

The following information and checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide the information/items below will result in your application being deemed incomplete. Note: Fourteen (14) Copy Sets of each item below will be DUE AFTER your application has been DEEMED COMPLETE. The applicant will need to meet with staff PRIOR to submitting the BOA application submittal via Lauderbuild. *Meeting Request information and the link to schedule a meeting with staff can be found on the cover page of this BOA application.

Preliminary BOA Meeting - The applicant and/or agent met with staff on the following date: _____

NEEDS TO BE UPLOADED. Board of Adjustment Application Form- The Board of Application form must be complete with the applicable information, signatures, and notarizations. *Submit the complete application form along with your submittal. Page 4 of the BOA application is due AFTER sign(s) are posted.

NEEDS TO BE UPLOADED. Proof of Ownership- Warranty deed or tax record including corporation documents and Sunbiz verification name.

NEEDS TO BE UPLOADED. Agent Authorization Form- Authorization from ALL Property owner(s) is required. If the Property is owned by an Entity, Sunbiz verification must be included with the authorized agent form. (PLEASE NOTE THAT THIS FORM IS ONLY NECESSARY IF YOU ARE HAVING SOMEONE ELSE REPRESENT YOU AT THE BOARD OF ADJUSTMENT MEETING, IF NOT, PLEASE DO NOT COMPLETE.)

NEEDS TO BE UPLOADED. Narrative- Include the applicable ULDR code sections, Date, specific request, and criteria as described in the specifications for submittal by application. The narrative must be titled "Narrative" and indicate the author).

NEEDS TO BE UPLOADED. Color Photographs- Color photos of the entire property and all surrounding properties dated and labeled and identified as to orientation.

NEEDS TO BE UPLOADED. Survey- The survey of the property must be digitally signed and sealed, showing existing conditions; survey must be As Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of land(s) not included in the proposed project unless specifically requested by the City. *Must be the most recent survey and the date on the survey should not exceed one (1) year.

NEEDS TO BE UPLOADED. Site Plan- A full set of plans must be submitted a survey may be substituted if the requested variance is clearly indicated. Cover sheet on plan set to state project name and table of contents.

IF APPLICATION, NEEDS TO BE UPLOADED. Elevations- If applicable (Elevations may be required by staff upon application submittal).

IF APPLICATION, NEEDS TO BE UPLOADED. Landscape Plans- If applicable (Landscape Plans may be required by staff upon application submittal).

IF APPLICATION, NEEDS TO BE UPLOADED. Additional Plans- If applicable (Additional Plans may be required by staff upon application submittal).

Mail Notification Documents- Mail Notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing. Please submit the following:

NEEDS TO BE UPLOADED. • TAX MAP: Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.

NEEDS TO BE UPLOADED. • PROPERTY OWNERS NOTICE LIST: Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.

CAN BE PROVIDED AT A LATER DATE • ENVELOPES: The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows: City of Fort Lauderdale- Zoning Division (BOA, 700 N.W. 19th Avenue, Fort Lauderdale, Florida 33311

City of Fort Lauderdale- Zoning Division (BOA)
700 N.W. 19th Avenue
Fort Lauderdale, Florida 33311

How to order a Tax Map and Notice List- To order a tax map and notice list, please contact Heather Hanson at hhanson@bcpa.net or call 954-357-6855 OR Kenny Gibbs at kgibbs@bcpa.net or call 954-357-5503. Distribution: The City of Fort Lauderdale, Zoning & Landscaping Division will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

How to Submit Your Application submittal- Submittals must be conducted through the City's Online Citizen Access portal- LauderBuild. No hard copy application submittals are accepted. View plan and document requirements at [LauderBuild Plan Room](#). View file naming and Convention standards at [File Naming Convention Standards](#)

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. _____

APPLICANT: _____

PROPERTY: _____

PUBLIC HEARING DATE: _____

BEFORE ME, the undersigned authority, personally appeared _____, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission** Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2. of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. _____(initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this _____ day of _____, 20__

(SEAL)

NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage

Prepared by and return to:

Daniel Haggerty
Mariner Title Company
100 SW Albany Avenue, Suite 310
Stuart, FL 34994
(772) 283-2881
File Number: 24-80040
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 7/25 day of July, 2024 between Catherine Holmes, a single woman, Individually and as Trustee of the Catherine Holmes Family Trust dated December 27, 2016 whose post office address is c/o Arnold & Porter, 250 West 55th Str., New York, NY 10019, grantor: and 1717 FT. LAUDERDALE BEACH BOULEVARD LLC, a Florida Limited Liability Company, whose post office address is c/o Arnold & Porter, 250 West 55th Str., New York, NY 10019, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida to-wit:

Lots 4 and 5, lying West of road Right-of-Way, in Block 14, as described in detail in Official Records Book 2979, at Page 803, and East three feet of North 100 feet of Lot 19, in Block 14, LAS OLAS BY THE SEA EXTENSION, according to the Plat thereof, as recorded in Plat Book 7, at Page 25, of the Public Records of Broward County, Florida.

Parcel Identification Number: 494331-02-0350

The Subject Property is not the Homestead Property of the Grantor pursuant to Florida Statutes and/or the Florida Constitution. The Grantor's Homestead Residence is in the State of New Jersey.

Subject to taxes for 2024, and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to 12/31/2023.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Christina Holmes

Witness

Printed Name: Christina Holmes

P.O. Address: 5 Trailside Place
Saddle River NJ 07458

David Holmes

Witness

Printed Name: DAVID HOLMES

P.O. Address: 5 TRAILSIDE PLACE
SADDLE RIVER, NJ 07458

Catherine M. Holmes

Catherine Holmes, Individually and as
Trustee of the Catherine Holmes Family
Trust dated December 27, 2016

State of Massachusetts
County of Nantucket

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 25 day of July, 2024 by **Catherine Holmes Individually and as Trustee of the Catherine Holmes Family Trust dated December 27, 2016** who is personally known or has produced drivers' licenses as identification.

[Seal]



Adeene O. Grizzle

Notary Public

Print Name: Adeene O. Grizzle

My Commission Expires: 02/14/2031



Site Address	1717 N FT LAUDERDALE BEACH BOULEVARD, FORT LAUDERDALE FL 33305	ID #	4943 31 02 0350
Property Owner	1717 FT LAUDERDALE BEACH BLVD LLC %DAVID HOLMES JR	Millage	0312
Mailing Address	5 TRAILSIDE PL SADDLE RIVER NJ 07458	Use	01-01
Abbr Legal Description	LAS OLAS BY THE SEA EXT 7-25 B LOT 4,5 LYING W OF ROAD R/W, BLK 14 & E 3 OF N 100 OF LOT 19 BLK 14		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2025 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2025	\$1,831,200	\$879,210	\$2,710,410	\$2,710,410	
2024	\$1,831,200	\$879,210	\$2,710,410	\$2,710,410	\$50,914.64
2023	\$1,831,200	\$879,210	\$2,710,410	\$2,710,410	\$51,624.42

2025 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$2,710,410	\$2,710,410	\$2,710,410	\$2,710,410
Portability	0	0	0	0
Assessed/SOH	\$2,710,410	\$2,710,410	\$2,710,410	\$2,710,410
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$2,710,410	\$2,710,410	\$2,710,410	\$2,710,410

Sales History			
Date	Type	Price	Book/Page or CIN
7/25/2024	WD-T	\$100	119707520
5/28/2024	WD-Q	\$17,000,000	119617406
4/9/2021	WD-Q	\$5,700,000	117190108
2/26/2016	SWD-D	\$4,000,000	113560772
1/6/2016	CET-D	\$1,902,800	113496171

Land Calculations		
Price	Factor	Type
\$120.00	15,260	SF
Adj. Bldg. S.F. (Card, Sketch)		10938
Units/Beds/Baths		1/6/9
Eff./Act. Year Built: 2000/1966		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
1717 FT. LAUDERDALE BEACH BOULEVARD LLC

Filing Information

Document Number	L24000293887
FEI/EIN Number	NONE
Date Filed	07/01/2024
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	09/30/2024
Event Effective Date	NONE

Principal Address

1717 FT. LAUDERDALE BEACH BOULEVARD
FORT LAUDERDALE, FL 33305

Changed: 09/30/2024

Mailing Address

5 TRAILSIDE PLACE
ATTN: DAVID HOLMES, JR.
SADDLE RIVER, NJ 07458

Changed: 09/30/2024

Registered Agent Name & Address

VCORP AGENT SERVICES, INC
1200 SOUTH PINE ISLAND ROAD
PLANTATION, FL 33324

Authorized Person(s) Detail

Name & Address

Title MGR

HOLMES, DAVID A, JR
5 TRAILSIDE PLACE
SADDLE RIVER, NJ 07458

Annual Reports

No Annual Reports Filed

Document Images

[09/30/2024 -- LC Amendment](#)

[View image in PDF format](#)

[08/02/2024 -- LC Amendment](#)

[View image in PDF format](#)

[07/01/2024 -- Florida Limited Liability](#)

[View image in PDF format](#)



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I David A Holmes Jr. ("Owner") as the current title owner of the real
[Print First and Last Name of the title Owner OR Name of Corporation]
property located at 1717 north Fort Lauderdale beach Blvd ("Property"), do hereby authorize
[Print Property Address]
Paola A. West (PLANW3ST LLC) ("Authorized Agent") to act as my agent regarding the submittal
[Print First and Last Name of Agent]

of a variance/special exception application to the City of Fort Lauderdale and appear at any and all scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding all issues related to my pending variance/special exception application. I understand and agree that, as the Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception application, all required hearing appearances related to my variance/special exception application, and any request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and agree, the City will mail or deliver all notices relating to my pending variance/special exception application to my property address, as listed on my variance/special exception application. I further understand and agree, the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized Agent's failure to comply with any terms or conditions outlined in my variance/special exception application, and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants, representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person, including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING DIVISION
BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this Agent Authorization Form. *Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.

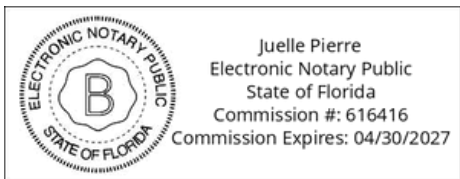
WITNESS: [Signature]
Witness Signature
W. Spencer Carey
Print Name
12/16/2024
Date

[Signature]
Signature - Owner/Authorized Individual
David A Holmes Jr.
Print Name - Owner/ Authorized Individual
MGR
Print Title - Authorized Individual

STATE OF FLORIDA
COUNTY OF Miami-Dade

The foregoing instrument was acknowledged before me by means of [] physical presence or [x] online notarization, this 16 day of December, 2024, by Juelle Pierre, an individual who is personally known to me or has produced Drivers License as identification

[NOTARY SEAL]



[Signature]
(Signature of Notary Public- State of Florida)
4/30/2027
My Commission Expires:
Juelle Pierre
Print, Type, or Stamp Commissioned Name of Notary Public)

[Previous On List](#) [Next On List](#) [Return to List](#)

1717 N FORT LAUDER

Search

[Events](#) **No Name History**

Detail by Entity Name

Florida Limited Liability Company
1717 FT. LAUDERDALE BEACH BOULEVARD LLC

Filing Information

Document Number	L24000293887
FEI/EIN Number	NONE
Date Filed	07/01/2024
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	09/30/2024
Event Effective Date	NONE

Principal Address

1717 FT. LAUDERDALE BEACH BOULEVARD
FORT LAUDERDALE, FL 33305

Changed: 09/30/2024

Mailing Address

5 TRAILSIDE PLACE
ATTN: DAVID HOLMES, JR.
SADDLE RIVER, NJ 07458

Changed: 09/30/2024

Registered Agent Name & Address

VCORP AGENT SERVICES, INC
1200 SOUTH PINE ISLAND ROAD
PLANTATION, FL 33324

Authorized Person(s) Detail

Name & Address

Title MGR

Authorized Person(s) Detail

Name & Address

Title MGR

HOLMES, DAVID A, JR
5 TRAILSIDE PLACE
SADDLE RIVER, NJ 07458

Annual Reports

No Annual Reports Filed

Document Images

[09/30/2024 -- LC Amendment](#)

[View image in PDF format](#)

[08/02/2024 -- LC Amendment](#)

[View image in PDF format](#)

[07/01/2024 -- Florida Limited Liability](#)

[View image in PDF format](#)

[Previous On List](#)

[Next On List](#)

[Return to List](#)

1717 N FORT LAUDER

[Events](#)

No Name History



150 75 0 150 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



1717 N Ft. Lauderdale Beach Blvd



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP	ADDRESS_1	
494331020700	WEIR,ADDIE C	DDCTD PUBLIC %CITY OF FORT LAUD	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301
494331020540	BETESH,ZACHARY		3306 NE 18 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020550	VICTORIA PARK ASSOCIATES LLC		1636 S OCEAN DR	FORT LAUDERDALE	FL	33316	FORT LAUDERDALE	FL33316
494331020560	ELDREDGE,ROBERT WILLIAM JR	FEGENBUSH,KRISTOFER	3316 NE 18 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020570	BELLUS,JOSHUA & SHANA		10 MILFORD ST APT 1	BOSTON	MA	02118	BOSTON	MA02118
494331020580	WEINER,CHARLES	MULIERO,DONNA	3321 NE 15 ST	FORT LAUDERDALE	FL	33304	FORT LAUDERDALE	FL33304
494331020590	3326 NE 18TH STREET LLC		3326 NE 18 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020480	HUSBAND,DANIEL	PUHEK,GREGORY F	3328 NE 18 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020470	SOLIMAN REALTY USA INC		2442 CARRINGTON PL	*OAKVILLE ON	CA	L6J 6	*OAKVILLE ON	CAL6J 6
494331020461	KUFELDT,DENISE C		1735 N FT LAUDERDALE BEACH BLVD	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020520	NUNEZ,ERICK		5271 SW 195 TER	SOUTHWEST RANCHES	FL	33332	SOUTHWEST RANCHES	FL33332
494331020510	SCHILLING,MARCOS		3311 NE 17 CT	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020501	MEANS,ELIZABETH JEAN	STOCKINGER,RICHARD CHARLES	3319 NE 17 CT	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020500	ROTHMAN,RICHARD		186 SPRINGFIELD ST	HENDERSON	NV	89074	HENDERSON	NV89074
494331020490	RING,MATTHEW WADE		3325 NE 17 CT	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020483	STEBER,JOHN H & SOPHIA	STEBER FAM TR	3329 NE 17 CT	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020462	STAMPONE,JOSEPH P & JULIA		500 COTTMAN AVE	CHELTENHAM	PA	19012	CHELTENHAM	PA19012
494331020460	WINSTON,ERIC J	WINSTON,JENNIFER S	200 E LAS OLAS BLVD STE 1550	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301
494331020410	GFM 3300 NE 17 CT LLC		411 N NEW RIVER DR E #2706	FORT LAUDERDALE	FL	33301	FORT LAUDERDALE	FL33301
494331020420	WERLANG,JORGE A & KARIN		3308 NE 17 CT	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020350	1717 FT LAUDERDALE BEACH	BLVD LLC %DAVID HOLMES JR	5 TRAILSIDE PL	SADDLE RIVER	NJ	07458	SADDLE RIVER	NJ07458
494331020340	HALPERN,MARTIN I & STEPHANIE J		1711 N FT LAUDERDALE BEACH BLVD	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020400	MUNOZ,PABLO G		3301 NE 17 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020390	WALKER,AMY H	AMY HAMNER WALKER LIV TR	3305 NE 17 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020360	SDAD LLC		2407 HUNTERS RIDGE DR	IRVING	TX	75063	IRVING	TX75063
494331020330	LANGE,STEPHAN P & MINE BABACAN		1705 N FT LAUDERDALE BEACH BLVD	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020291	OSTRER,ALEKSANDR		3316 NE 17 STREET	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020310	BENDITT,GENEVIEVE		3324 NE 17 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020210	ADMD98 LLC		2407 HUNTERS RIDGE DR	IRVING	TX	75063	IRVING	TX75063
494331020200	STEINBERGER,MARK		1657 N FT LAUDERDALE BEACH BLVD	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020301	3320 NE 17 STREET LLC		1742 MOUNT VERNON RD STE 300	ATLANTA	GA	30338	ATLANTA	GA30338
494331020300	ZYTO LLC		3318 NE 17 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020371	VENKATESH,VISWANATH		3319 NE 17 ST	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331020372	GUSAROVA,IRINA		1890 S OCEAN DR #2007E	HALLANDALE BEACH	FL	33009	HALLANDALE BEACH	FL33009
494331020432	BENNETT,DOUGLAS	BENNETT,LINDA	9 TIMBERCREST RIDGE	*NEPEAN ON	CA	K2R 1	*NEPEAN ON	CAK2R 1
494331020431	BENNETT,DOUGLAS	BENNETT,LINDA	9 TIMBERCREST RIDGE	*NEPEAN ON	CA	K2R 1	*NEPEAN ON	CAK2R 1
494331020430	BENNETT,DOUGLAS	BENNETT,LINDA	9 TIMBERCREST RIDGE	*NEPEAN ON	CA	K2R 1	*NEPEAN ON	CAK2R 1
494331020370	ORANGE GROUP PARTNERS 2 LLC		5600 OAKVIEW TER	FORT LAUDERDALE	FL	33312	FORT LAUDERDALE	FL33312
494331020440	AMC LEGACY PROPERTY	MANAGEMENT SERIES LLC	3326 NE 17 CT	FORT LAUDERDALE	FL	33305	FORT LAUDERDALE	FL33305
494331000010	TIITF/DNR DIV REC & PARKS	HUGH TAYLOR BIRCH STATE PARK	3900 COMMONWEALTH BLVD	TALLAHASSEE	FL	32399	TALLAHASSEE	FL32399
494331020321	FLORIDA DEPT OF TRANSPORTATION	OFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	FORT LAUDERDALE	FL33309
494331000020	FLORIDA DEPT OF TRANSPORTATION	OFFICE OF RIGHT OF WAY	3400 W COMMERCIAL BLVD	FORT LAUDERDALE	FL	33309	FORT LAUDERDALE	FL33309
494331020320	GOMEZ,PATRICIA A	PATRICIA A GOMEZ TR	303 ANNE CT	PROSPECT HEIGHTS	IL	60070	PROSPECT HEIGHTS	IL60070

PHOTO 1: ENTRANCE; SOUTH EAST VIEW



PHOTO 2: INTERIOR (NORTH) SIDE; EAST VIEW



PHOTO 3: INTERIOR SIDE; SOUTH VIEW



PHOTO 4: INTERIOR (SOUTH) SIDE; EAST VIEW



PHOTO 5: INTERIOR (SOUTH) SIDE; WEST VIEW



PHOTO 6: STREET (EAST) SIDE; NORTH VIEW



PHOTO 7: INTERIOR (NORTH) SIDE; WEST VIEW



PHOTO 8: STREET (EAST) SIDE; SOUTH VIEW



PHOTO 9: SOUTH VIEW FROM NE 17TH CT



PHOTO 10: EAST VIEW FROM NE 17TH CT



PHOTO 11: SOUTH VIEW FROM N FT. LAUDERDALE BL



PHOTO 12: WEST VIEW FROM NE 17TH CT



PHOTO 13: NORTH VIEW FROM N FT. LAUDERDALE BCH BL



PHOTO 14: FRONT VIEW FROM N FT. LAUDERDALE BCH BL



PHOTO 15: FRONT VIEW FROM N FT. LAUDERDALE BCH BL



PHOTO 16: FRONT VIEW FROM N FT. LAUDERDALE BCH BL



PHOTO 17 : SOUTH VIEW FROM NE 17TH CT



PHOTO 18 : SOUTH VIEW FROM NE 17TH CT





January 2nd, 2025

City of Fort Lauderdale
 Development Services Department
 700 N.W. 19th Avenue
 Fort Lauderdale, FL 33311

RE: Variance for 1717 N Ft. Lauderdale Beach Boulevard Ft. Lauderdale, FL 33305
 (494331020350)

Dear members of the Board of Appeals,

PLANW3ST is representing applicant-landowner 1717 FT LAUDERDALE BEACH BLVD LLC in pursuit of a Variance for the above-referenced property. The property is a single lot that is zoned RS-8 (Residential Single Family/Low Medium Density) and has a land use designation of Low-Medium. The lot is located at the southwest corner of NE 17th Court and North Ft. Lauderdale Beach Boulevard within the City of Ft. Lauderdale (refer to **Exhibit "A"** included with this narrative). The lot is approximately 15,260 sq. ft. (0.35 acres) and currently has a recently renovated single-family residence. The renovation was done under Master Permit #BLD-RALT-21100091. The owner purchased the property in July (refer to the submittal backup- BCPA sheet and Deed), happily looking forward to being a beachfront resident of the City of Ft. Lauderdale. This summer, the owner's contractor made an inquiry to the zoning department as to the possibility of adding a privacy feature (glass) on top of the existing exterior perimeter wall for privacy and security purposes. The contractor was given preliminary confirmation, and the permit was submitted in November under #BLD-FEN-WT-24110017. Last reviewed on 11/12/2024, the permit was rejected due to a required 3-foot setback for fences and walls facing the street, and the requirement of a continuous line of shrubs or groundcover within this setback area.

The current owner has found this entire experience challenging at best. The property was not only recently renovated under the prior owner, but the contractor inquired about the proposal before submitting the permit. Additionally, the wall is existing and has been since before the owner purchased the property. This is what brings this variance request in front of you.

We respectfully request the Board consider a variance to section 47-19.5. [Fences, walls and hedges] in order to allow an existing wall 0 feet from the property line to remain.

Sec. 47-19.5. - Fences, walls and hedges.

...

B. Dimensional Requirements. The setback for a fence, wall or hedge shall depend on the height and percentage of transparency as shown in Table 1.

TABLE 1

Residential Zoning Districts					
1a. FENCE/WALL	Up to 2'-6"	N/A	0'-0"	0'-0"	0'-0"

1b. FENCE/WALL	2'-6"—4'-4"	75—100% transparency	0'-0"	0'-0"	0'-0"
1c. FENCE/WALL	2'-6"—4'-4"	Below 75% transparency	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
1d. FENCE/WALL	4'-4"—6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
2. CHAIN LINK FENCE	Up to 6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"

...

Note C: The linear distance of any one (1) segment of the indicated accessory structure along a given property line abutting a street which is parallel to the property line and closer than three (3) feet zero (0) inches from the property line cannot exceed thirty (30) percent of the length of the property line.

...

Note E: Landscaping is required between the property line and accessory structure. See subsection C. below for specific landscape requirements.

Note F: To determine the average setback distance for fences, walls, and planters, multiply the total length of the fence, wall or planter, as viewed at ninety (90) degrees to the property line, by a factor of three (3), where three (3) represents the required minimum average setback. The resulting product must be equal to or greater than the total which results when adding the sum of each fence, wall, or planter segment multiplied by its setback from the property line. Walls, fences or planters constructed at an angle to the property line shall use the distance to the center of the structure to determine the actual setback of the segment.

...

We understand that, in accordance with Sec. 47-24.12.A.4, a Variance shall only be approved upon demonstrating a unique hardship is attributable to the land by proving, by a preponderance of the evidence, all of the following criteria have been met. We believe we meet all criteria, justified herein.

a. That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property;

The property is located on the west side of both North Fort Lauderdale Beach Boulevard and the Atlantic Ocean, as well as one block east of Hugh Taylor Birch Park. The property is one of several along N Ft. Lauderdale Beach Boulevard in this area that have perimeter retaining walls. These walls were most likely built to accommodate the grade difference between the higher finished floor elevation required for the residences and the surrounding grade—especially given the vicinity to the park and ocean. The wall has been in existence and maintained since at least 2007 as shown in Google Streetview images, and possibly even since before 1971 based on historical county

aerials (see below). This predates the original adoption date of the fence regulations referenced above (circa 1997). The special conditions that apply to this property are summarized as follows:

- The vicinity and grade of the Atlantic Ocean
- The required finished floor elevation for the residence
- The vicinity and grade of a large natural park, one block west
- The existence of the perimeter wall since not only before the current owner purchased the lot, but possibly prior to 1971.
- The adoption of the fence regulations, circa 1997.

1971 Aerial (Source:

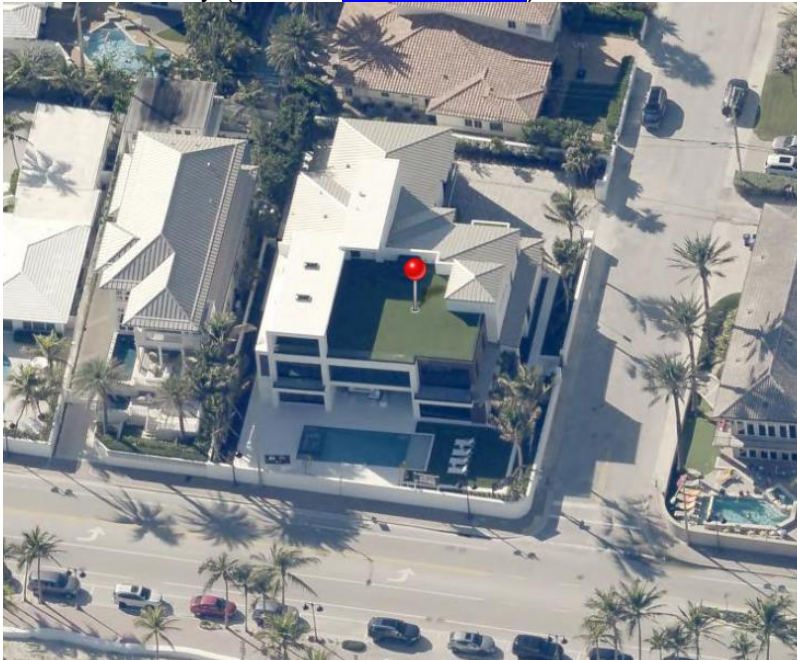
<https://bcgishub.broward.org/eng/rest/services/BCE/AerialPhotos1963to2000/FeatureServer/0/26/attachments/375>)



2007 Pictometry (Source: www.bcpa.net)



2024 Pictometry (Source: www.bcpa.net)



2007 (Source: Google Street View)



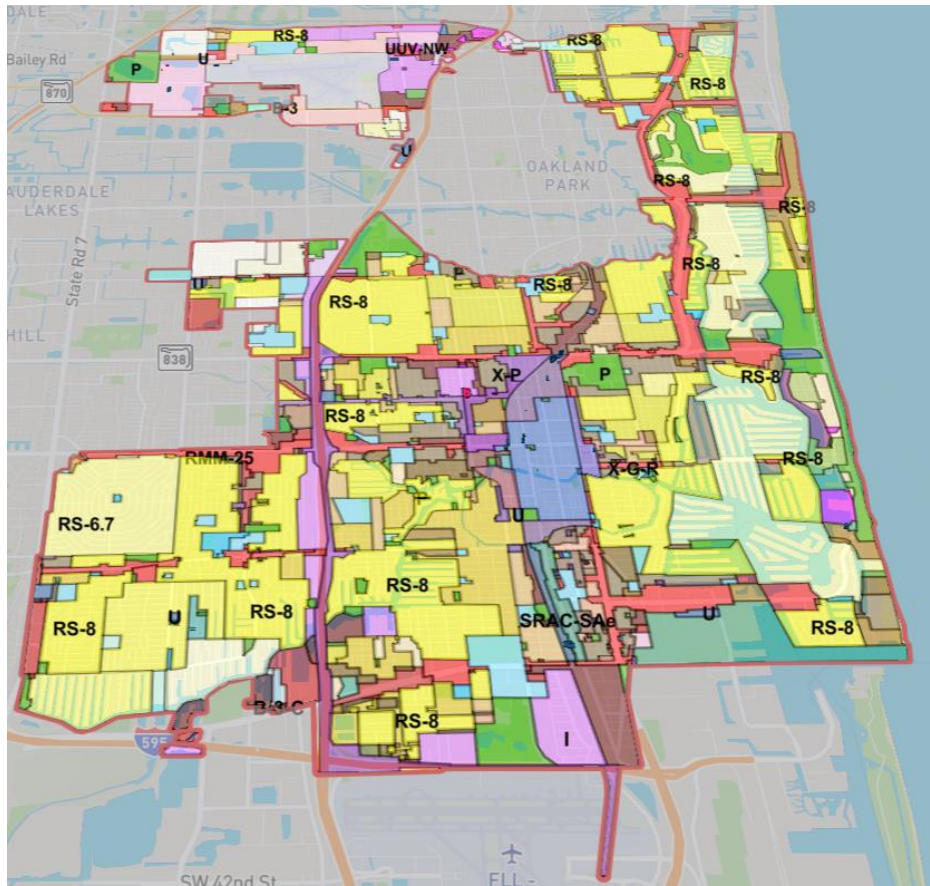
2024 (Source: Google Street View)



- b. That the circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district;

The circumstances mentioned under standard a. are peculiar to this and about 17 other corner properties along North Ft. Lauderdale Beach Boulevard, one block east of Hough Taylor Birch Park as shown below (Source: www.bcpa.net). This is a clear marked exception compared to other properties in the same RS-8 zoning district (Source: <https://www.fortlauderdale.gov/government/departments-a-h/development-services/urban-design-and-planning/property-zoning-and-land-use-information>).





- c. That the literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property;

Literal application of this provision would restrict the owner a substantial property right that is already enjoyed by several properties similarly situated. The property was merely renovated--under the previous owner--and not demolished and rebuilt. The proposal adds glass to the top of the existing retaining wall, which not only provides more privacy for the residence, but eliminates future trespassing (an ongoing problem enabled by the lower wall height). This issue is emphasized by the multiple occasions that Ft. Lauderdale police were dispatched to remove trespassers on the property. The property will not be more profitable with the retaining wall remaining, as both the wall and the residence exist today.

- d. That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations;

The hardship the owner faces is not self-created. As previously mentioned, the wall is existing and has been in existence since prior to the current owner, prior to the previous owner, and even prior to the code requirement in question. A residential lot owner is entitled to seek privacy and take security measures, particularly as a response to prior trespassing. The owner's contractor reached out to staff prior to submitting a permit, in order to confirm the

proposal would not encounter any issues during permitting; therefore, the owner neither disregarded nor ignored the provisions of the code.

- e. **That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.**

The property is an existing residence in residential zoning and land use. The minimum variance that would make reasonable use of the property, is to allow the existing wall to remain where it is located. To force the owner to relocate or demolish and rebuild the wall would incur the owner unreasonable costs that he neither anticipated nor brought on himself. The home is not being built as new; it was merely renovated a few years prior. As previously mentioned, the perimeter retaining wall condition is also consistently and compatibly seen in several residences along the west side of North Ft. Lauderdale Beach Boulevard in this area. The wall is existing, and maintaining it at the height it currently is will be detrimental to the safety and welfare of the owner. As the finished floor elevation of the residence is 11.70 NAVD (per the Elevation Certificate), the architectural feature proposed on top of the existing wall will not exceed height requirements.



Thank you for your consideration. We respectfully request you allow the owner to maintain his wall as justified above.

Please do not hesitate to contact me with any questions.

Paola A. West, AICP, ISA CA
President

Exhibit "A"



Parcel Id: [494331020350](#)
Owner: 1717 FT LAUDERDALE BEACH
BLVD LLC %DAVID HOLMES JR
Situs Address: 1717 N FT LAUDERDALE
BEACH BLVD FORT
LAUDERDALE FL 33305

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>SHARMA</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>1717 NE 17th COURT</u>	Company NAIC Number: _____
City: <u>FORT LAUDERDALE</u> State: <u>FL</u> ZIP Code: <u>33305</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>PORTION OF LOT 4 AND 5 BLOCK 14 LAS OLAS BY THE SEA</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>RESIDENTIAL</u>	
A5. Latitude/Longitude: Lat. <u>26.150030</u> Long. <u>-80.14463</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 <input type="checkbox"/> WGS 84	
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: <u>1B</u>	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s): <u>0.00</u> sq. ft.	
b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>0</u> Engineered flood openings: <u>0</u>	
d) Total net open area of non-engineered flood openings in A8.c: <u>0.00</u> sq. in.	
e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>0.00</u> sq. ft.	
f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>0.00</u> sq. ft.	
A9. For a building with an attached garage:	
a) Square footage of attached garage: <u>425.00</u> sq. ft.	
b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>0</u> Engineered flood openings: <u>0</u>	
d) Total net open area of non-engineered flood openings in A9.c: <u>0.00</u> sq. in.	
e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): _____ sq. ft.	
f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): _____ sq. ft.	

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION	
B1.a. NFIP Community Name: <u>FORT LAUDERDALE</u>	B1.b. NFIP Community Identification Number: <u>125105</u>
B2. County Name: <u>BROWARD</u>	B3. State: <u>FL</u> B4. Map/Panel No.: <u>12011C0388</u> B5. Suffix: <u>H</u>
B6. FIRM Index Date: <u>08/18/2014</u>	B7. FIRM Panel Effective/Revised Date: <u>08/18/2014</u>
B8. Flood Zone(s): <u>AO</u>	B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>1,2,3</u>
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____	
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____	
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA	
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>1717 NE 17th COURT</u>	FOR INSURANCE COMPANY USE
City: <u>FORT LAUDERDALE</u> State: <u>FL</u> ZIP Code: <u>33305</u>	Policy Number: _____ Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: FT LAUDERDALE BM Vertical Datum: 1988

Indicate elevation datum used for the elevations in items a) through h) below.
 NGVD 1929 NAVD 1988 Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? Yes No
 If Yes, describe the source of the conversion factor in the Section D Comments area.

			Check the measurement used:
a) Top of bottom floor (including basement, crawlspace, or enclosure floor):	<u>11.70</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
b) Top of the next higher floor (see Instructions):	<u>21.60</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
c) Bottom of the lowest horizontal structural member (see Instructions):	_____	<input type="checkbox"/> feet <input type="checkbox"/> meters	
d) Attached garage (top of slab):	<u>10.50</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area):	<u>12.20</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
f) Lowest Adjacent Grade (LAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished	<u>7.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
g) Highest Adjacent Grade (HAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished	<u>8.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	
h) Finished LAG at lowest elevation of attached deck or stairs, including structural support:	<u>0.00</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters	

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. *I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments and describe in the Comments area.

Certifier's Name: HARRY A BURGESS License Number: 5089

Title: LAND SURVEYOR

Company Name: RENNER BURGESS SURVEYING

Address: 801 SE 6th AVENUE SUITE 203

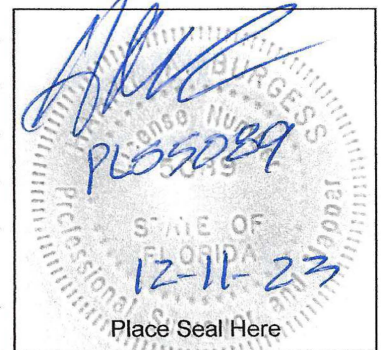
City: DELRAY BEACH State: FL ZIP Code: 33483

Signature: harry a burgess Digitally signed by harry a burgess Date: 11/07/2023

Telephone: (561) 243-4624 Email: HBURGESS@GATE.NET

Copy all pages of this Elevation Certificate and attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2, type of equipment and location per C2.e, and description of any attachments):
08:20:36 05'00'



This form will not accept alphanumeric input for the following sections and are hereby noted to be N/A A8a-f A9a-F
 C2= FORT LAUDERDALE BM ELEV 8.34 NAVD

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

1717 NE 17th COURT

City: FORT LAUDERDALE State: FL ZIP Code: 33305

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ 4.00 feet meters above or below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ 4.50 feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is: _____ 2.50 feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ 3.50 feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: RENNER BURGESS SURVEYING

Address: 801 SE 6th AVE SUITE 203

City: DELRAY BEACH FL State: FL ZIP Code: 34983

Signature: _____ Date: _____

Telephone: _____ Ext.: _____ Email: _____

Comments:

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 1717 NE 17th COURT	FOR INSURANCE COMPANY USE
City: FORT LAUDERDALE State: FL ZIP Code: 33305	Policy Number: _____ Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. A local official completed Section H for insurance purposes.
- G3. In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: New Construction Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ feet meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ feet meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ feet meters Datum: _____
- G11. Variance issued? Yes No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 1717 NE 17th COURT	FOR INSURANCE COMPANY USE
City: FORT LAUDERDALE State: FL ZIP Code: 33305	Policy Number: _____ Company NAIC Number: _____

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–9. Top of bottom floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is: _____ 4.50 feet meters above the LAG

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: _____ feet meters above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?
 Yes No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: HARRY BURGESS

Address: 801 SE 6th AVENUE SUITE 203

City: DELRAY BEACH State: FL ZIP Code: 33483

Signature:  Date: 11/07/2023

Telephone: (561) 243-4624 Ext.: _____ Email: HBURGESS@GATE.NET

Comments:

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
 1717 NE 17th COURT

FOR INSURANCE COMPANY USE

Policy Number: _____

City: FORT LAUDERDALE State: FL ZIP Code: 33305

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo One

Photo One Caption: FRONT VIEW 10-4-2023

Clear Photo One



Photo Two

Photo Two Caption: RGHT VIEW 10-4-2023

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
1717 NE 17th COURT

FOR INSURANCE COMPANY USE

City: FORT LAUDERDALE State: FL ZIP Code: 33305

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo Three

Photo Three Caption: **LEFT VIEW 10-4-2023**

Clear Photo Three



Photo Four

Photo Four Caption: **REAR SIDE VIEW 10-4-2023**

Clear Photo Four

REVISION	DATE
0000	10/25/2021
0001	09/08/2022
0002	09/08/2022
0003	09/08/2022
0004	09/08/2022

Contract	
Name	
WS	
Date	6/15/21
Scale	AS NOTED
Drawn	HT
Job	2021-51
Sheet	A1.01
Of	XX Sheets

SUBDIVISION

LEGAL DESCRIPTION: TAX PARCEL NUMBER: 494397066650
 REC-RES-23010018

CONSTRUCTION OCCUPANCY: FT. LAUDERDALE
 TYPE OF CONSTRUCTION: II-B
 OCCUPANCY: GROUP R3
 ANS1 ASCE 7-10 FOR WIND LOADS
 (170 MPH WIND SPEED EXPOSURE "C")
 3 SEC. GUST

ZONING DESIGNATION:
 RS-4 SINGLE FAMILY RESIDENCE

FLOOD ZONE:
 PRELIMINARY A0 3-FEET
 EXISTING FIN. FLR. ELEV. +11.63 NAVD (4' ABOVE ORIGINAL AVERAGE GRADE)
 EXISTING GARAGE ENTRANCE ELEV. +10.98 NAVD (3.35' ABOVE ORIGINAL AVERAGE GRADE)

SITE DATA	REQUIRED	PROPOSED
Structure (Sq. Ft.)	1,000	12,102
Lot area, minimum (sq ft)	6,000	15,300
Lot width, minimum (ft)	75	100
Density, maximum (du/ac)	8.0 du/het ac	1
Height, maximum (ft)	35	35 (Top of Elevator Room)
Front yard setback, minimum (ft)	25	31 (East Side)
Rear yard setback, minimum (ft)	15	15 (Existing West Side)
Interior side yard setback, minimum (ft)	5	10.6 (Existing South Side)
Min. Corner yard setback, min. (ft)	12.5	12.5 (North Side)
Lot Coverage, maximum (sq ft)	6,120	5,870

REQUIRED: PARKING
 PARKING MINIMUM: 3 SPACES
 UTILITY SERVICE: CITY SEWER

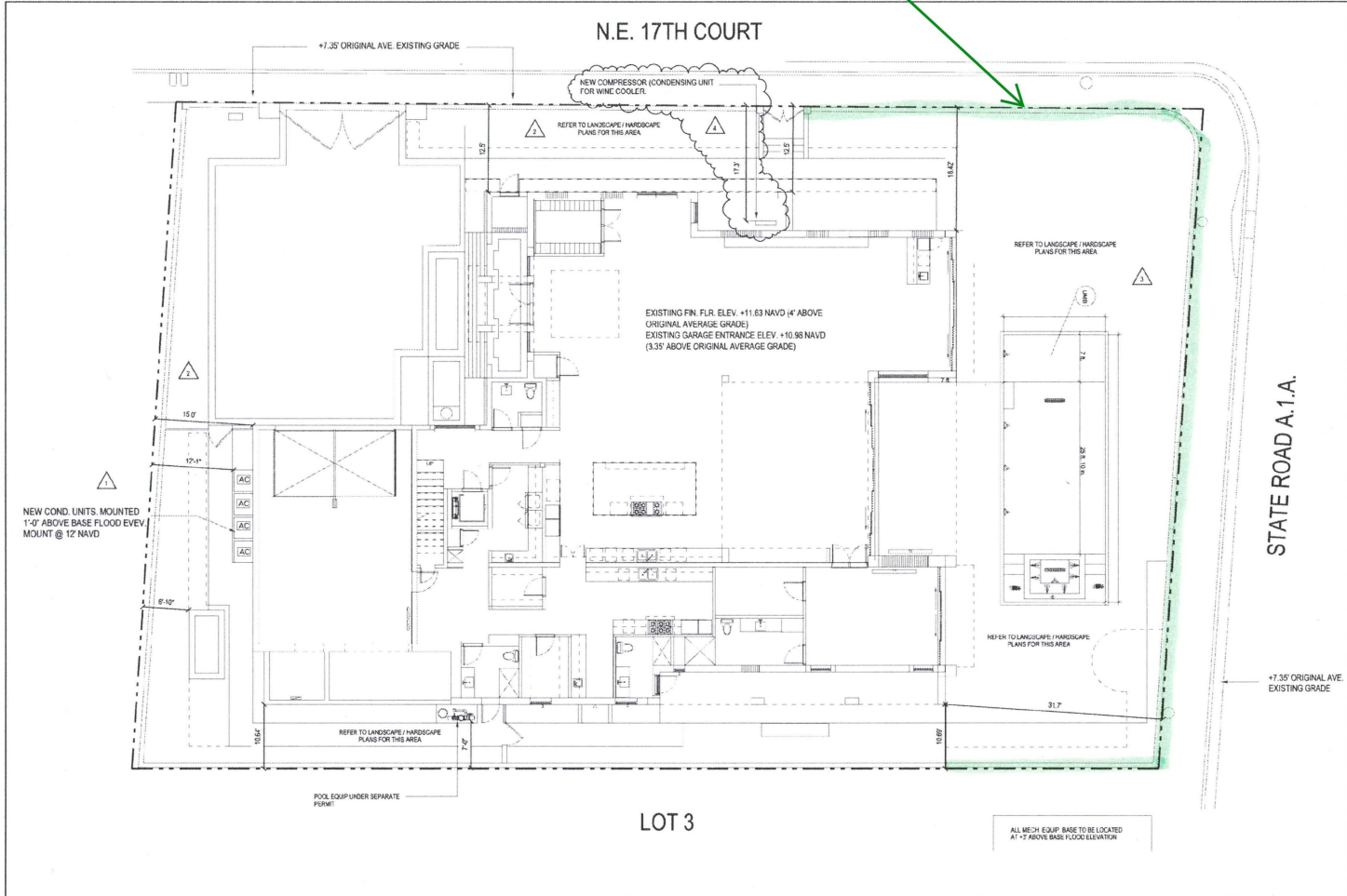
BUILDING AREA CALCULATIONS:

1ST FLR	4,870 S.F. - EXISTING UNDER AIR (NO INCREASE TO 1ST FLR AREA)
2ND FLR	1,000 S.F. - EXISTING GARAGE (NO INCREASE TO 1ST FLR AREA)
ELEVATOR ROOM	5,850 S.F. - EXISTING UNDER AIR (NO INCREASE TO 2ND FLR AREA)
	382 S.F. - UNDER AIR (REPLACE DEMOLISHED 100 S.F. ELEVATOR ROOM)
	12,102 S.F. TOTAL ENCLOSED AREA

SEPARATE PERMITS REQUIRED FOR GENERATOR, PAVING, FENCING, POOL, ETC.

UTILITIES AND UTILITY EQUIPMENT SHOULD BE LOCATED ABOVE THE BFE+1 UNLESS LOCATION BELOW THAT ELEVATION IS SPECIFICALLY ALLOWED PER ASCE 24 OR THE EQUIPMENT IS DESIGNED, CONSTRUCTED, AND INSTALLED TO PREVENT FLOODWATERS, INCLUDING ANY BACKFLOW THROUGH THE SYSTEM, FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS. MOUNT ALL EQUIP. @ 12' NAVD OR ABOVE

Proposed Area for 16" Glass Windscreen on Perimeter Wall not to exceed 6 feet above the principal buildings first floor, finished floor elevation.



- SITE PLAN NOTES**
- CONTRACTORS AND SUBCONTRACTORS SHALL PERFORM ANY CONSTRUCTION IN ACCORDANCE WITH ALL CODES REGULATIONS, HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
 - ALL DIMENSIONS SHALL BE VERIFIED PREVIOUS TO AND CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR. CONTRACTOR AND/OR SUBTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.
 - SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO THE CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.
 - CONTRACTOR TO VERIFY ALL SETBACKS, EASEMENTS, R.O.W. SIZE AND LOCATIONS AND BE RESPONSIBLE FOR THE SAME.
 - THE DRAINAGE SWALE WILL BE A MINIMUM OF 2 INCHES LOWER THAN THE EDGE OF THE STREET IN THE DRIVEWAY AND A MINIMUM OF 6 INCHES LOWER IN THE GRASS.
 - OWNER SHALL SUBMIT A FINAL SURVEY TO THE CITY ENGINEER OFFICE PRIOR TO THE FINAL INSPECTION. SURVEY MUST INCLUDE SUFFICIENT TOPOGRAPHY TO VERIFY CONFORMANCE TO THE DESIGN, APPROXIMATE LOCATIONS OF THE SEPTIC TANK, DRAINFIELD, WELDS, AND SERVICE LINES TO THE BUILDING.
 - PLEASE SEE CIVIL ENGINEERING PLANS FOR GRADES AND DIMENSIONS.
 - FINISH FLOOR ELEVATION SHALL NOT BE LESS THAN 18" ABOVE THE CROWN OF THE ROAD.
 - MAXIMUM SLOPE SHALL NOT EXCEED 4% (1/4)

SITE PLAN NOTES

HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE OWNER'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.

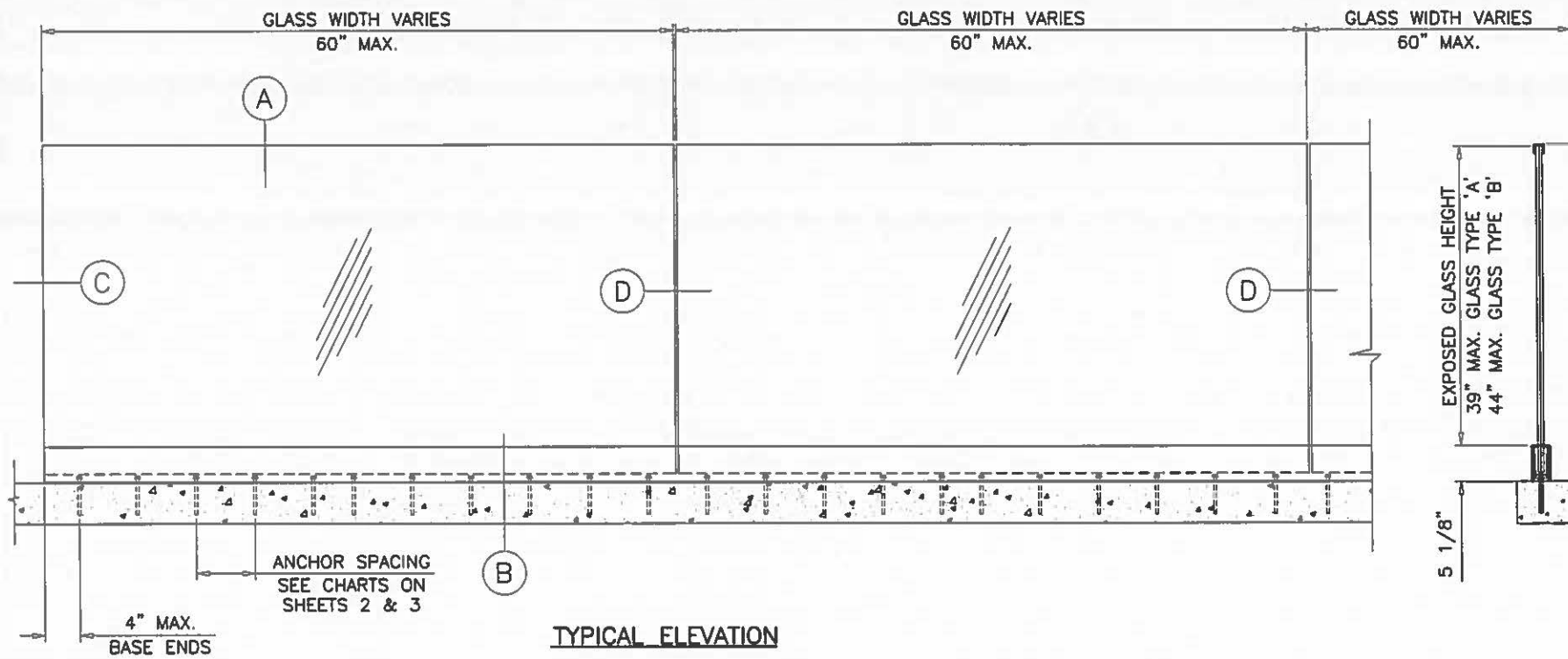
IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL BE PROCEEDED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.

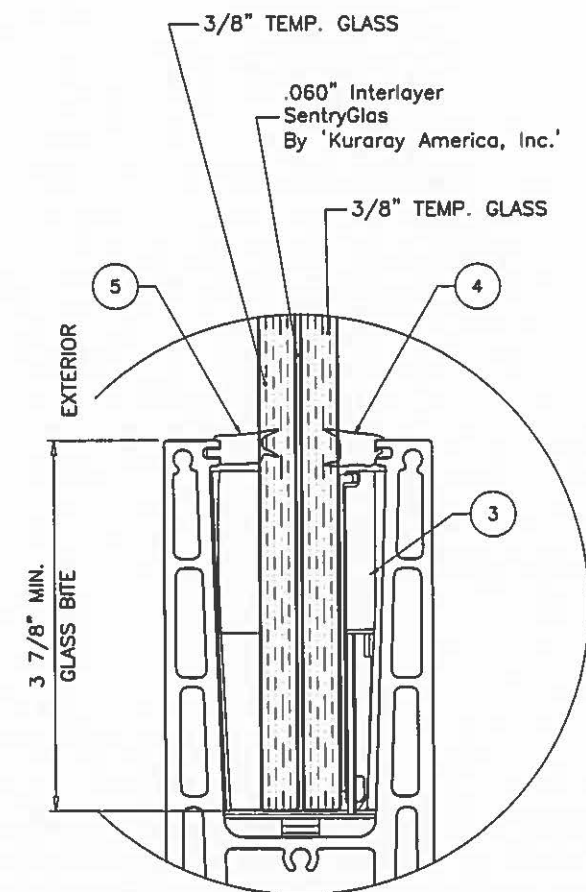
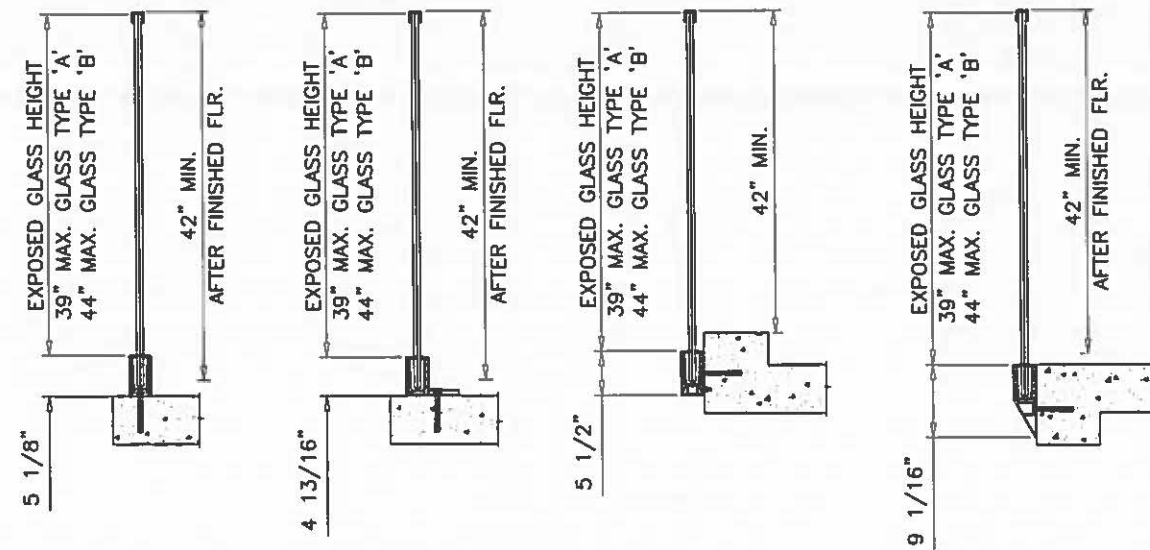
CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ANY DISTURBED EXISTING MANHOLES, METERS, VALVE BOXES, BLOW OFF RISERS, ETC. TO THE NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.

SITE PLAN

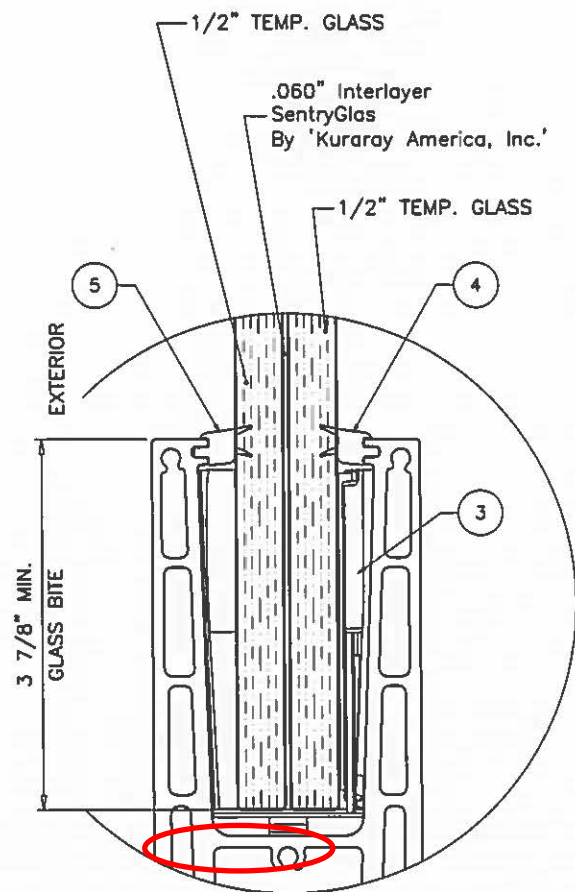
1/8" = 1'-0"



TYPICAL ELEVATION



GLASS TYPE 'A'
 MAXIMUM DESIGN LOAD RATING = + 90.0 PSF
 (FOR SIZES SHOWN ABOVE) - 90.0 PSF
 (13/16" OVERALL LAMINATED GLASS)



GLASS TYPE 'B'
 MAXIMUM DESIGN LOAD RATING = + 110.0 PSF
 (FOR SIZES SHOWN ABOVE) - 110.0 PSF
 (1-1/16" OVERALL LAMINATED GLASS)

PRODUCT COMPLIES WITH REQUIREMENTS OF ANSI Z97.1.

**EASY GLASS PRIME
 ALUMINUM GLASS RAILING SYSTEM**

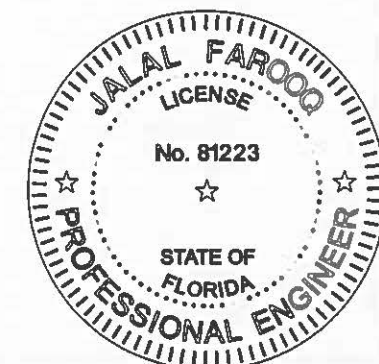
THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE 2023 (8TH EDITION) FLORIDA BUILDING CODE INCLUDING HIGH VELOCITY HURRICANE ZONE (HVHZ).

ANCHORS SHALL BE CORROSION RESISTANT, SPACED AS SHOWN ON DETAILS AND INSTALLED PER MANUF'S INSTRUCTIONS. SPECIFIED EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND FLOOR DRESSING.

MATERIALS INCLUDING BUT NOT LIMITED TO STEEL/METAL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF THE 2023 FLORIDA BLDG. CODE & ADOPTED STANDARDS.

THIS PRODUCT APPROVAL IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SITE SPECIFIC PROJECT, I.E. LIFE SAFETY OF THIS PRODUCT, ADEQUACY OF STRUCTURE RECEIVING THIS PRODUCT ETC. CONDITIONS NOT SHOWN IN THIS DRAWING ARE TO BE ANALYZED SEPARATELY, AND TO BE REVIEWED BY BUILDING OFFICIAL.

DESIGN LOADS SHOWN ARE BASED ON 'ALLOWABLE STRESS DESIGN (ASD)'.



EASY GLASS PRIME ALUM GLASS RAILING SYS.
Q-RAILING, NORTH AMERICA
 14321 Franklin Ave. Suite A
 Tustin, CA 92870
 Phone: (714) 259-1372
 www.q-railing.com

af c
AL-FAROOQ CORPORATION
 ENGINEERS & PRODUCT DEVELOPMENT
 9360 SUNSET DRIVE, SUITE 220
 MIAMI, FLORIDA 33173
 TEL. (305) 284-8100 WWW.AFCENG.COM
 FBPE #3538 RAILING\24-11D-QRN

revisions:	no	date	by	description
date:	03-26-24	scale:	1/2"=1'-0"	
dr. by:	TARIQ	chk. by:		
drawing no.	24-11D			
sheet	1 of 7			

MAX. DESIGN LOAD CAPACITY - PSF (TOP MOUNT & F-TOP MOUNT)
ANCHOR SPACING AT 8" O.C. MAX.

EXPOSED GLASS HEIGHT	3000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				4000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				5000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				A36 STEEL 3/8" THK. MIN.
	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'E' -
36 IN.	57.7	32.1	42.5	80.8	66.4	37.1	49.1	94.4	73.3	41.2	51.5	94.4	110.0
38 IN.	52.5	29.2	39.0	73.6	60.5	33.8	45.0	86.1	66.8	37.5	47.2	86.1	110.0
40 IN.	48.0	26.7	35.9	67.4	55.3	30.9	41.4	78.8	61.1	34.3	43.4	78.8	110.0
42 IN.	44.1	24.5	33.1	61.9	50.8	28.4	38.2	72.4	56.1	31.5	40.0	72.4	110.0
44 IN.	40.6	22.6	30.7	57.0	46.8	26.2	35.4	66.8	51.7	29.1	37.1	66.8	103.6

MAX. DESIGN LOAD CAPACITY - PSF (TOP MOUNT & F-TOP MOUNT)
ANCHOR SPACING AT 4" O.C. MAX.

EXPOSED GLASS HEIGHT	3000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				4000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				5000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				A36 STEEL 3/8" THK. MIN.
	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'E' -
36 IN.	64.5	51.9	70.7	110.0	74.6	60.0	81.7	110.0	82.6	66.6	85.6	110.0	110.0
38 IN.	58.7	47.3	64.8	110.0	67.8	54.6	74.8	110.0	75.1	60.7	78.3	110.0	110.0
40 IN.	53.6	43.2	59.6	110.0	62.0	50.0	68.7	110.0	68.7	55.6	72.0	110.0	110.0
42 IN.	49.1	39.7	54.9	103.6	56.8	45.9	63.4	110.0	63.0	51.0	66.4	110.0	110.0
44 IN.	45.2	36.6	50.9	95.5	52.3	42.3	58.7	110.0	58.0	47.0	61.4	110.0	110.0

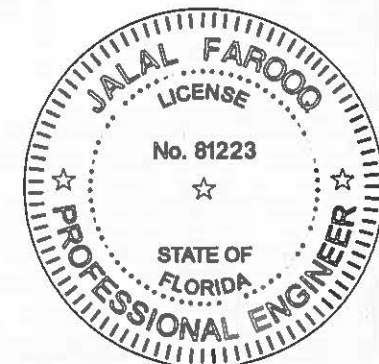
MAX. DESIGN LOAD CAPACITY - PSF (FASCIA MOUNT)
ANCHOR SPACING AT 8" O.C. MAX.

EXPOSED GLASS HEIGHT	3000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				4000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				5000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				A36 STEEL 3/8" THK. MIN.
	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'E' -
36 IN.	101.4	45.6	84.4	110.0	110.0	65.4	98.5	110.0	110.0	73.0	102.5	110.0	110.0
38 IN.	92.7	41.6	76.9	110.0	107.8	59.8	89.8	110.0	110.0	66.7	93.5	110.0	110.0
40 IN.	85.1	38.2	70.3	110.0	98.9	54.8	82.2	110.0	110.0	61.2	85.6	110.0	110.0
42 IN.	78.4	35.1	64.6	110.0	91.1	50.4	75.5	110.0	101.3	56.3	78.6	110.0	110.0
44 IN.	72.4	32.4	59.5	104.0	84.2	46.6	69.6	110.0	93.6	52.0	72.5	110.0	110.0

MAX. DESIGN LOAD CAPACITY - PSF (FASCIA MOUNT)
ANCHOR SPACING AT 4" O.C. MAX.

EXPOSED GLASS HEIGHT	3000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				4000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				5000 PSI CONCRETE 3-1/2" MIN. EDGE DIST.				A36 STEEL 3/8" THK. MIN.
	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'E' -
36 IN.	110.0	92.5	110.0	110.0	110.0	107.3	110.0	110.0	110.0	110.0	110.0	110.0	110.0
38 IN.	101.8	84.6	110.0	110.0	110.0	98.1	110.0	110.0	110.0	109.3	110.0	110.0	110.0
40 IN.	93.4	77.6	110.0	110.0	108.6	90.0	110.0	110.0	110.0	100.3	110.0	110.0	110.0
42 IN.	86.1	71.4	109.7	110.0	100.0	82.9	110.0	110.0	110.0	92.4	110.0	110.0	110.0
44 IN.	79.6	66.0	101.2	110.0	92.5	76.6	110.0	110.0	102.8	85.3	110.0	110.0	110.0

DESIGN LOADS SHOWN IN CHARTS ABOVE ARE FOR RAILINGS WITH GLASS TYPE 'B'
FOR RAILINGS WITH GLASS TYPE 'A' LIMIT MAX. LOADS TO ±90.0 PSF
FOR INSTALLATION ANCHOR DESCRIPTIONS SEE SHEET 3
FOR TOP MOUNT & F-TOP MOUNT DETAILS SEE SHEET 4
FOR FASCIA MOUNT DETAIL SEE SHEET 5



afc
AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
9360 SUNSET DRIVE, SUITE 220
MIAMI, FLORIDA 33173
WWW.AFCENG.COM
TEL: (305) 264-8100
FBPE #9598

EASY GLASS PRIME ALUM GLASS RAILING SYS.
Q-RAILING, NORTH AMERICA
14321 Franklin Ave. Suite A
Tustin, CA 92870
Phone: (714) 259-1372
www.q-railling.com

revisions:	no.	date	by	description
date:	03-26-24	scale:	-	dr. by: TARIQ
chk. by:				
drawing no.	24-11D			
sheet	2 of 7			

RAILING\24-11D-QRN

MAX. DESIGN LOAD CAPACITY - PSF (Y-FASCIA MOUNT)
ANCHOR SPACING AT 8" O.C. MAX.

EXPOSED GLASS HEIGHT	3000 PSI CONCRETE 5" MIN. EDGE DIST.				4000 PSI CONCRETE 5" MIN. EDGE DIST.				5000 PSI CONCRETE 5" MIN. EDGE DIST.				A36 STEEL 3/8" THK. MIN.
	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'E' -
36 IN.	110.0	66.2	110.0	110.0	110.0	76.9	110.0	110.0	110.0	85.7	110.0	110.0	110.0
38 IN.	95.0	53.0	103.1	110.0	110.0	61.6	110.0	110.0	110.0	68.7	110.0	110.0	110.0
40 IN.	87.8	49.0	95.2	110.0	102.1	56.9	110.0	110.0	110.0	63.5	110.0	110.0	110.0
42 IN.	81.4	45.4	88.2	110.0	94.6	52.7	102.2	110.0	105.2	58.8	105.8	110.0	110.0
44 IN.	75.6	42.1	82.0	110.0	87.9	49.0	95.0	110.0	97.8	54.6	98.3	110.0	110.0

MAX. DESIGN LOAD CAPACITY - PSF (Y-FASCIA MOUNT)
ANCHOR SPACING AT 4" O.C. MAX.

EXPOSED GLASS HEIGHT	3000 PSI CONCRETE 5" MIN. EDGE DIST.				4000 PSI CONCRETE 5" MIN. EDGE DIST.				5000 PSI CONCRETE 5" MIN. EDGE DIST.				A36 STEEL 3/8" THK. MIN.
	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'A' 3-3/4" EMBED	ANCHOR 'B' 3" EMBED	ANCHOR 'C' 4-1/2" EMBED	ANCHOR 'D' 4-1/4" EMBED	ANCHOR 'E' -
36 IN.	110.0	108.6	110.0	110.0	110.0	110.0	110.0	110.0	110.0	110.0	110.0	110.0	110.0
38 IN.	110.0	87.0	110.0	110.0	110.0	100.9	110.0	110.0	110.0	110.0	110.0	110.0	110.0
40 IN.	110.0	80.4	110.0	110.0	110.0	93.3	110.0	110.0	110.0	103.9	110.0	110.0	110.0
42 IN.	110.0	74.5	110.0	110.0	110.0	86.4	110.0	110.0	110.0	96.3	110.0	110.0	110.0
44 IN.	110.0	69.3	110.0	110.0	110.0	80.3	110.0	110.0	110.0	89.5	110.0	110.0	110.0

DESIGN LOADS SHOWN IN CHARTS ABOVE ARE FOR RAILINGS WITH GLASS TYPE 'B'
FOR RAILINGS WITH GLASS TYPE 'A' LIMIT MAX. LOADS TO ±90.0 PSF
FOR Y-FASCIA MOUNT DETAIL SEE SHEET 5

ANCHOR 'A'

INTO CONCRETE
1/2" DIA. SZ-S (SZ18-10) WEDGE ANCHOR BY 'MKT'
SEE CHARTS FOR MIN. EDGE DIST. AND MIN. EMBEDMENT

ANCHOR 'B'

INTO CONCRETE
1/2" DIA. KWIK HUS-EZ SCREW BY 'HILTI'
SEE CHARTS FOR MIN. EDGE DIST. AND MIN. EMBEDMENT

ANCHOR 'C'

INTO CONCRETE
HIT-HY ANCHORING SYSTEM BY 'HILTI'
WITH HIT-HY ADHESIVE CAPSULE AND
1/2" DIA. 'HILTI' THREADED ROD
(HIT-Z-R STAINLESS AISI 304/316 SS)
SAE J995 GRADE 5 NUT
AND ANSI B18.22.1 TYPE A PLAIN WASHER
SEE CHARTS FOR MIN. EDGE DIST. AND MIN. EMBEDMENT

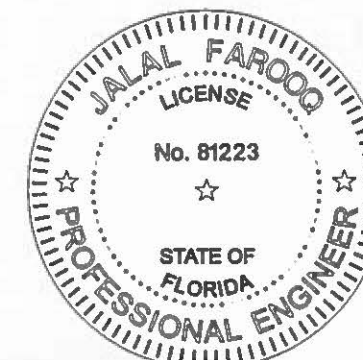
ANCHOR 'D'

INTO CONCRETE
HVU ANCHORING SYSTEM BY 'HILTI'
WITH HVU ADHESIVE CAPSULE AND
1/2" DIA. 'HILTI' THREADED ROD
(HAS-R STAINLESS AISI 304/316 SS)
SAE J995 GRADE 5 NUT
AND ANSI B18.22.1 TYPE A PLAIN WASHER
SEE CHARTS FOR MIN. EDGE DIST. AND MIN. EMBEDMENT

ANCHOR 'E'

INTO A36 STEEL STRUCTURES (3/8" MIN. THK.)
3/8" DIA. ST/ST SCREW (Groups 1, 2 OR 3, Cond. CW)
(Fu = 100,000 PSI & Fy = 65,000 PSI)
(3) THREADS TO EXTEND BEYOND METAL THICKNESS
1" MIN. MIN. EDGE DISTANCE

NOTE:
ANCHOR TORQUED AND OTHERWISE INSTALLED AS
PER MANUFACTURER SPECIFICATIONS.



afc

AL-FAROOQ CORPORATION
ENGINEERS & PRODUCT DEVELOPMENT
9360 SUNSET DRIVE, SUITE 220
MIAMI, FLORIDA 33173
WWW.AFCENG.COM
TEL (305) 264-8100
FBPE #3538

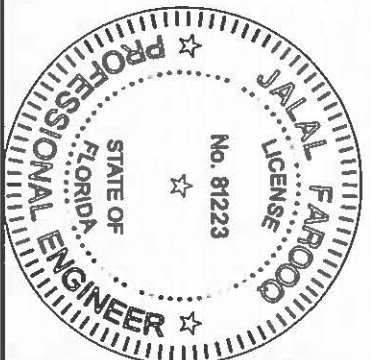
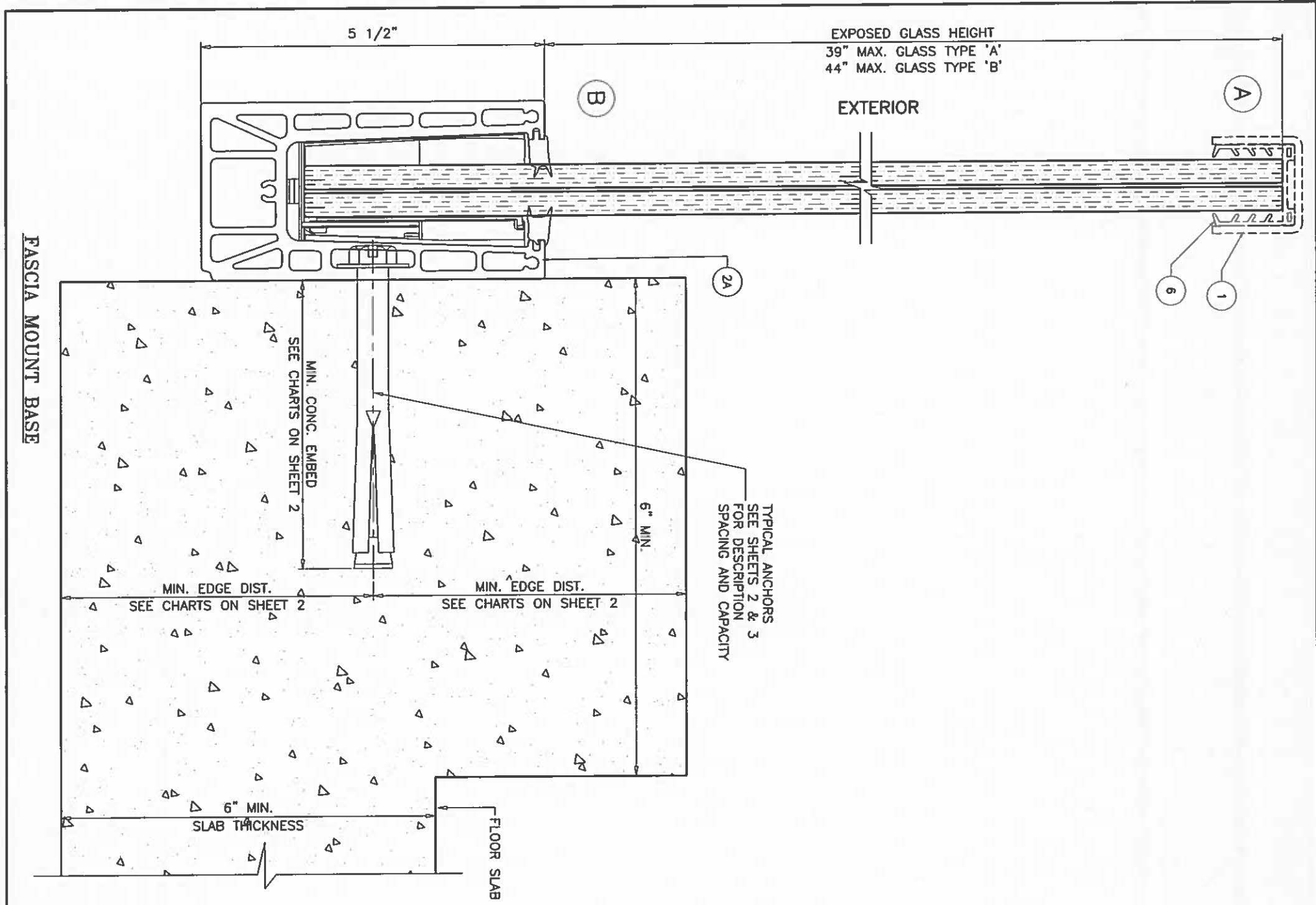
EASY GLASS PRIME ALUM GLASS RAILING SYS.
Q-RAILING, NORTH AMERICA
14321 Franklin Ave. Suite A
Tustin, CA 92870
Phone: (714) 259-1372
www.q-railling.com

revisions:	no	date	by	description

date: 03-26-24
scale: -
dr. by: TARIQ
chk. by:

drawing no.
24-11D

sheet 3 of 7

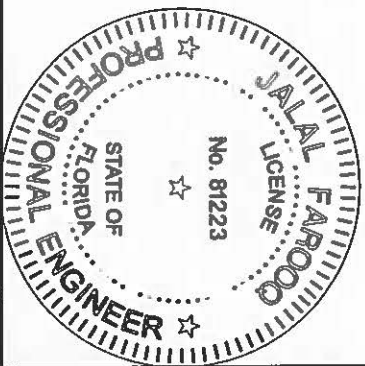
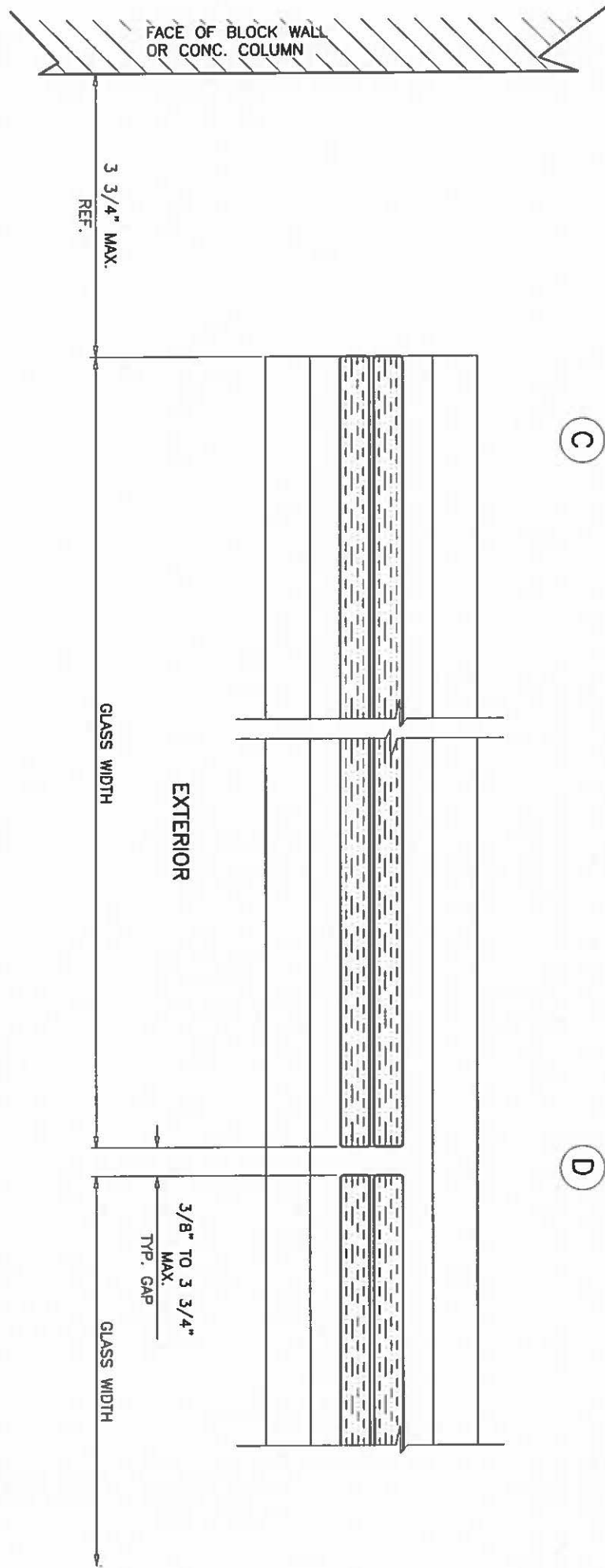


date: 03-26-24	revisions:
scale: 1/2" = 1"	no date by description
dr. by: TARIQ	
chk. by:	

EASY GLASS PRIME ALUM GLASS RAILING SYS.
Q-RAILING, NORTH AMERICA
 14321 Franklin Ave. Suite A
 Tustin, CA 92870
 Phone: (714) 259-1372 www.q-railing.com

AL-FAROOQ CORPORATION
 ENGINEERS & PRODUCT DEVELOPMENT
 9360 SUNSET DRIVE, SUITE 220
 MIAMI, FLORIDA 33173
 TEL. (305) 264-8100 WWW.AFCENG.COM
 FBPE #3538 RAILING\24-11D-QRN



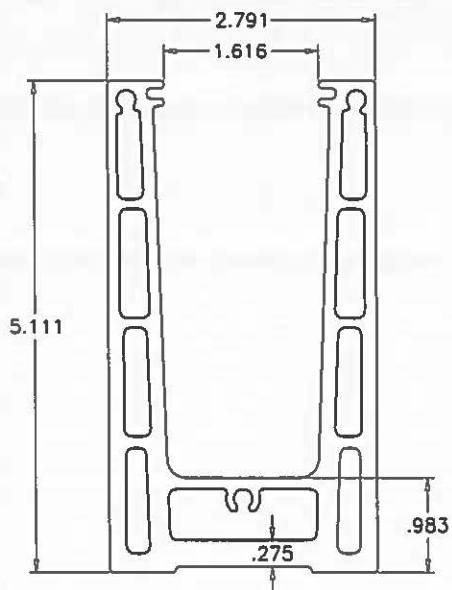


drawing no. 24-11D	date: 03-26-24	revisions:		
	scale: 1/2" = 1"	no	date	by description
	dr. by: TARIQ			
	chk. by:			

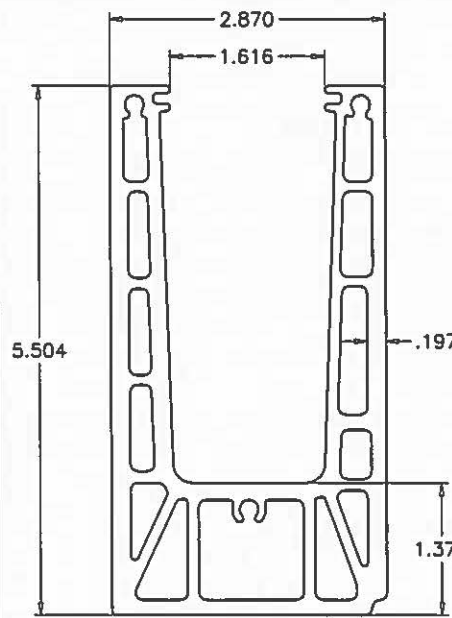
EASY GLASS PRIME ALUM GLASS RAILING SYS.
Q-RAILING, NORTH AMERICA
 14321 Franklin Ave. Suite A
 Tustin, CA 92870
 Phone: (714) 259-1372 www.q-railing.com

AL-FAROOQ CORPORATION
 ENGINEERS & PRODUCT DEVELOPMENT
 9360 SUNSET DRIVE, SUITE 220
 MIAMI, FLORIDA 33173
 TEL (305) 264-8100 WWW.AFCENG.COM
 FBPE #3538 RAILING\24-11D-QRN

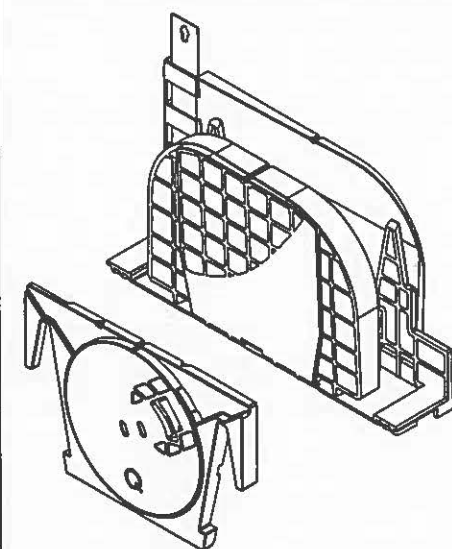




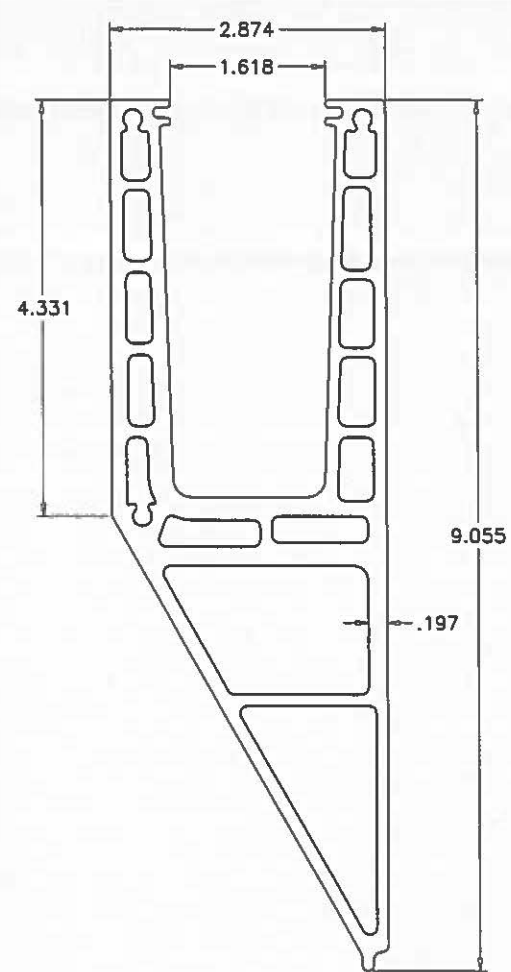
2 BASE SHOE - TOP MOUNT



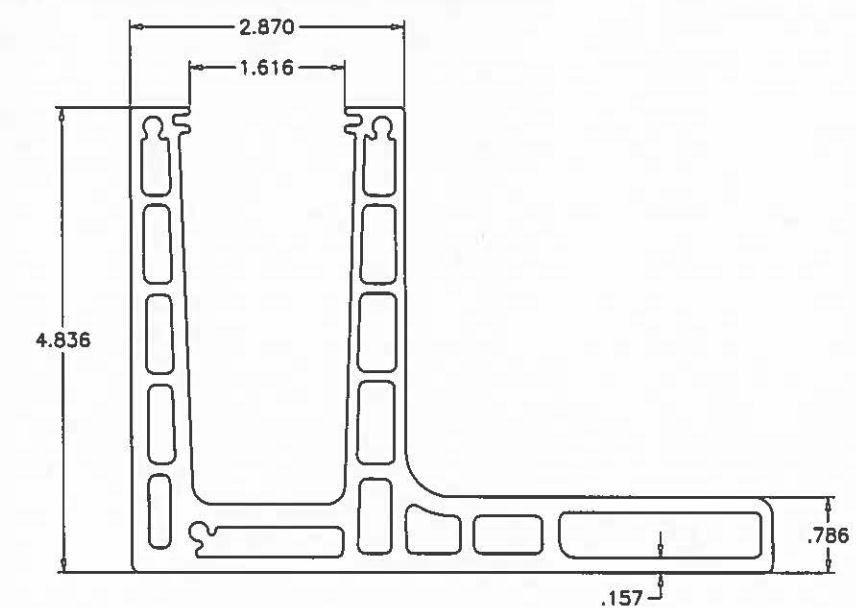
2A BASE SHOE - FASCIA MOUNT



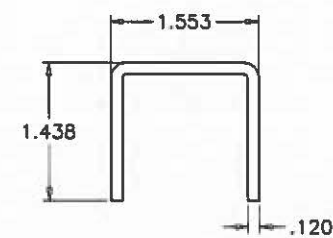
3 ADJUSTABLE Q-DISC



2C BASE SHOE - Y-FASCIA MOUNT



2B BASE SHOE - F-TOP MOUNT



1 CAP RAIL

ITEM	PART #	DESCRIPTION	MATERIAL	MANF./SUPPLIER/REMARKS
1	-	CAP RAIL (OPTIONAL)	ST. STEEL	-
2	MOD 8410	BASE SHOE - TOP MOUNT	6063-T6	-
2A	MOD 8430	BASE SHOE - FASCIA MOUNT	6063-T6	-
2B	MOD 8420	BASE SHOE - F-TOP MOUNT	6063-T6	-
2C	MOD 8440	BASE SHOE - Y-FASCIA MOUNT	6063-T6	-
3	MOD 8401	ADJUSTABLE Q-DISC, AT 10" O.C. MAX.	ABS PLASTIC	-
4	-	INTERIOR GLAZING GASKET	EPDM	DUROMETER 80±5 SHORE A
5	-	EXTERIOR GLAZING GASKET	EPDM	DUROMETER 80±5 SHORE A
6	-	GASKET AT HAND RAIL	EPDM	DUROMETER 80±5 SHORE A

GASKETS PROPERTIES

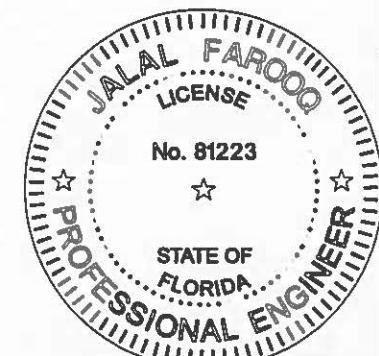
BASE POLYMER = PVC
 DENSITY = 1.5g/cm³
 HARDNESS = SHORE D 90 HD
 IMPACT STRENGTH = 10 KJ/M²
 SOFTENING TEMPERATURE = 85° C
 FIREPROOF PERFORMANCE = B1
 TENSILE STRENGTH = 60 MPa

afC
AL-FAROOQ CORPORATION
 ENGINEERS & PRODUCT DEVELOPMENT
 9360 SUNSET DRIVE, SUITE 220
 MIAMI, FLORIDA 33173
 TEL. (305) 264-8100
 WWW.AFCENG.COM
 FBPE #3538

EASY GLASS PRIME ALUM GLASS RAILING SYS.
Q-RAILING, NORTH AMERICA
 14321 Franklin Ave. Suite A
 Tustin, CA 92870
 Phone: (714) 259-1372
 www.q-railing.com

revisions:	no	date	by	description

date: 03-26-24
 scale: 1/2" = 1"
 dr. by: TARIO
 chk. by:



drawing no.
24-11D
 sheet 7 of 7

RAILING 24-11D-QRN



PLANW3ST

10152 Indiantown Road, #159

Jupiter, Florida 33478

www.planw3st.com

954-529-9417

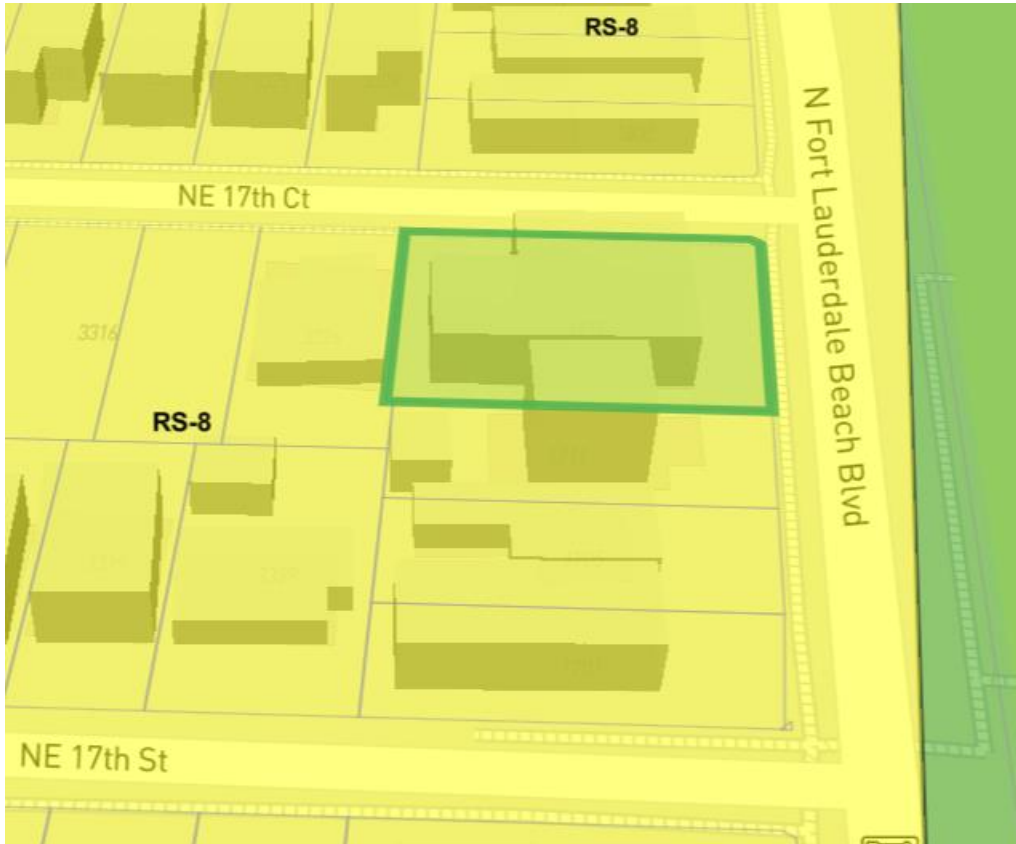
LEGAL DESCRIPTION: LOT 4 AND 5 LYING WEST OF ROAD RIGHT-OF-WAY, IN BLOCK 14 AS DESCRIBED IN DETAIL IN OFFICIAL RECORD BOOK 2979 AT PAGE 803 AND THE EAST 3 FEET OF THE NORTH 100.00 FEET OF LOT 19 BLOCK 14 OF LAS OLAS BY THE SEA EXTENSION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7 PAGE 25 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FOLIO: 494331020350

ADDRESS: 1717 N FT LAUDERDALE BEACH BLVD FORT LAUDERDALE FL 33305



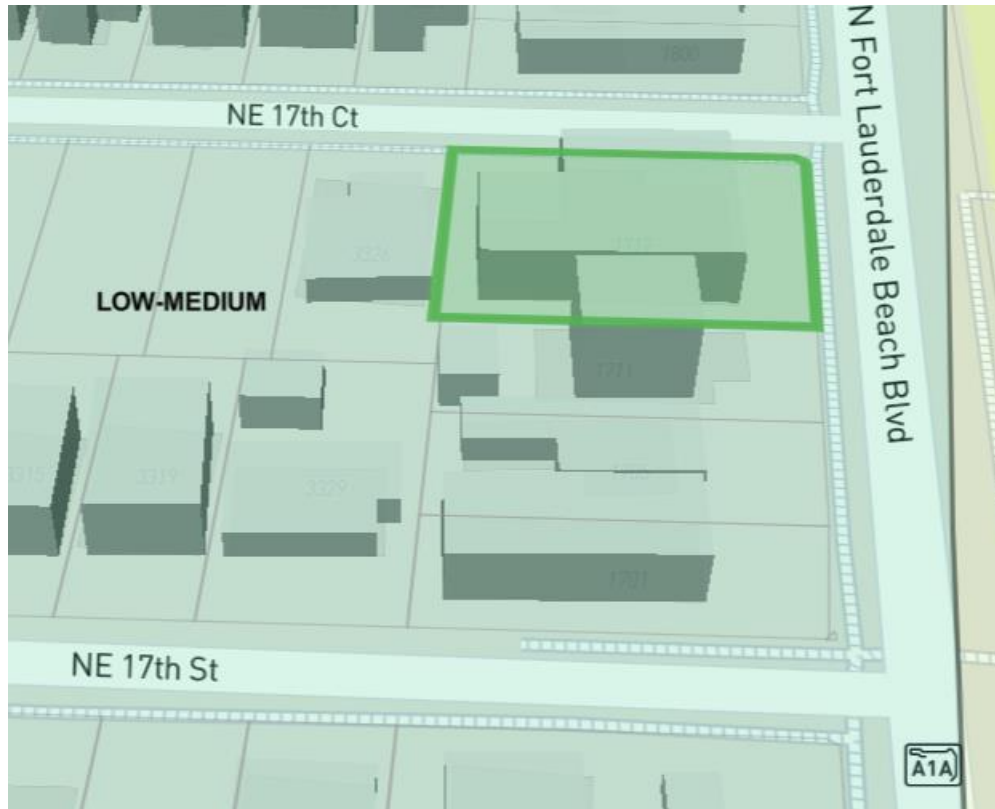
Zoning Map Excerpt



Zoning District:
[RS-8 - Residential Single Family/Low Medium Density](#)

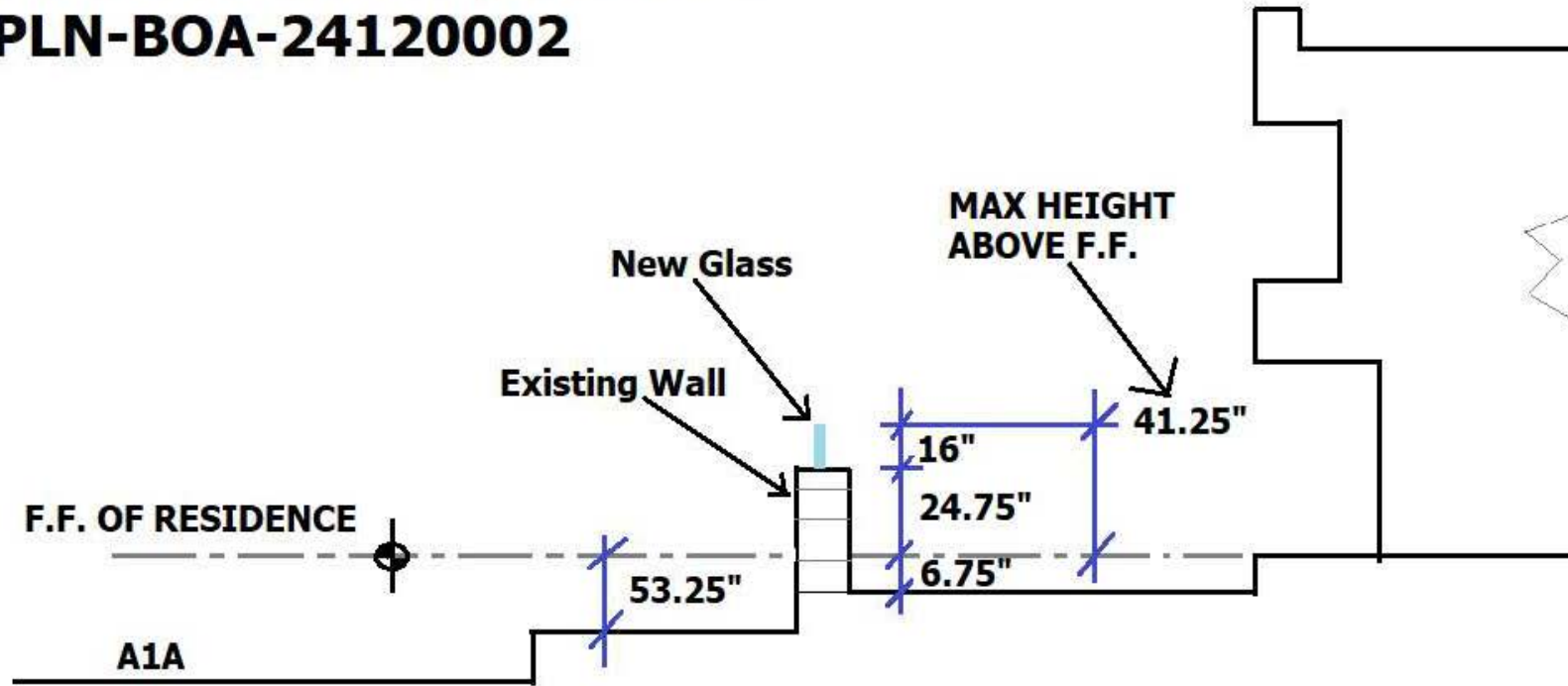


Future Land Use Map Excerpt



[FLU Medium Low Density](#)

**1717 N FT. LAUDERDALE BEACH BLVD.
FT. LAUDERDALE, FL 33305
PLN-BOA-24120002**



SECTION DRAWING