



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 06/14/2024

**INSTRUCTIONS:** The following information is required pursuant to the City’s Unified Land Development Regulations (ULDR), Section 47-24, Development Permits and Procedures, and must be filled out accurately with all applicable sections completed. Only complete the sections indicated for application type with N/A for those items not applicable. Refer to “Specifications for Plan Submittal” by application type for submittal requirements, which can be found on the City’s website.

Select the application type and approval level in **SECTION A** and complete the sections specified under each type.

**A APPLICATION TYPE AND APPROVAL LEVEL** *Select the application type from the list below and check the applicable type.*

<p><input type="checkbox"/> <b>LEVEL I</b> ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> New nonresidential less than 5,000 square feet</li> <li><input type="checkbox"/> Change of use <i>(if same impact or less than existing use)</i></li> <li><input type="checkbox"/> Plat note or Nonvehicular access line (NVAL) amendment</li> <li><input type="checkbox"/> Administrative site plan</li> <li><input type="checkbox"/> Amendment to site plan*</li> <li><input type="checkbox"/> Affordable Housing per §166.04151(7) Fla. Stat. <i>(Live Local Act)</i></li> <li><input type="checkbox"/> Property and right-of-way applications <i>(MOTs, construction staging)</i></li> <li><input type="checkbox"/> Parking Agreements <i>(separate from site plans)</i></li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, D, G</p>	<p><input type="checkbox"/> <b>LEVEL II</b> DEVELOPMENT REVIEW COMMITTEE (DRC)</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> New Nonresidential 5,000 square feet or greater</li> <li><input type="checkbox"/> Residential 5 units or more</li> <li><input type="checkbox"/> Nonresidential use within 100 feet of residential property</li> <li><input type="checkbox"/> Redevelopment proposals</li> <li><input type="checkbox"/> Change in use <i>(if greater impact than existing use)</i></li> <li><input type="checkbox"/> Development in Regional Activity Centers (RAC)*</li> <li><input type="checkbox"/> Development in Uptown Project Area*</li> <li><input type="checkbox"/> Regional Activity Center Signage</li> <li><input type="checkbox"/> Affordable Housing (≥10%)</li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, D, E, F</p>	<p><input type="checkbox"/> <b>LEVEL III</b> PLANNING AND ZONING BOARD (PZB)</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Conditional Use</li> <li><input type="checkbox"/> Parking Reduction</li> <li><input type="checkbox"/> Flex Allocation</li> <li><input type="checkbox"/> Cluster / Zero Lot Line</li> <li><input type="checkbox"/> Modification of Yards*</li> <li><input type="checkbox"/> Waterway Use</li> <li><input type="checkbox"/> Mixed Use Development</li> <li><input type="checkbox"/> Community Residences*</li> <li><input type="checkbox"/> Social Service Residential Facility (SSRF)</li> <li><input type="checkbox"/> Medical Cannabis Dispensing Facility*</li> <li><input type="checkbox"/> Community Business District for uses greater than 10,000 square feet</li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, D, E, F</p>	<p><input type="checkbox"/> <b>LEVEL IV</b> CITY COMMISSION (CC)</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Land Use Amendment</li> <li><input type="checkbox"/> Rezoning</li> <li><input type="checkbox"/> Plat</li> <li><input type="checkbox"/> Public Purpose Use</li> <li><input type="checkbox"/> Central Beach Development of Significant Impact*</li> <li><input type="checkbox"/> Vacation of Right-of-Way</li> <li> </li> <li><input type="checkbox"/> City Commission Review No PZB Review</li> <li><input type="checkbox"/> Vacation of Easement*</li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, D, E, F</p>
<p><input type="checkbox"/> <b>MISCELLANEOUS</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Affordable Workforce Housing Tax Reimbursement</li> <li><input type="checkbox"/> Community Residence</li> <li><input type="checkbox"/> Construction Noise Waiver</li> <li><input type="checkbox"/> Design Review Team (DRT)</li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, D, I</p>	<p><input type="checkbox"/> <b>EXTENSION OR DEFERRAL</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Request to defer after an application is scheduled for public hearing</li> <li><input type="checkbox"/> Request extension to previously approved application <i>(request must be within original approval date timeframe)</i></li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, H</p>	<p><input type="checkbox"/> <b>APPEAL</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Appeal decision by approving body and De Novo hearing items</li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, H</p>	<p><input type="checkbox"/> <b>PROPERTY AND RIGHT-OF-WAY</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Road Closures</li> <li><input type="checkbox"/> Construction Staging Plan</li> <li><input type="checkbox"/> Revocable licenses</li> </ul> <p><b>COMPLETE SECTIONS</b> B, C, H</p>

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

**B APPLICANT INFORMATION** *If applicant is the business operator, complete the agent column and provide property owner authorization.*

<b>Applicant/Property Owner</b>	<b>Authorized Agent</b>
<b>Address</b>	<b>Address</b>
<b>City, State, Zip</b>	<b>City, State, Zip</b>
<b>Phone</b>	<b>Phone</b>
<b>Email</b>	<b>Email</b>
<b>Proof of Ownership</b>	<b>Authorization Letter</b>
<b>Applicant Signature:</b>	<b>Agent Signature:</b>
<b>Signature</b>	<b>Signature</b>

**C PARCEL INFORMATION**

<b>Address/General Location</b>	
<b>Folio Number(s)</b>	
<b>Legal Description</b> <i>(Brief)</i>	
<b>City Commission District</b>	
<b>Civic Association</b>	

**D LAND USE INFORMATION**

<b>Existing Use</b>	
<b>Land Use</b>	
<b>Zoning District</b>	
<b>Proposed</b> <i>Applications requesting land use amendments and rezonings.</i>	
<b>Proposed Land Use</b>	
<b>Proposed Zoning District</b>	



**E PROJECT INFORMATION** *Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.*

Project Name			
Project Description <i>(Describe in detail)</i>			
Estimated Project Cost	\$	<i>(Estimated total project cost including land costs for all new development applications only)</i>	
Waterway Use			
Flex Units		Redevelopment Units	
Flex Acreage			
Residential Uses			Traffic Study Required
Single Family			Parking Reduction
Townhouses			Public Participation
Multifamily			Non-Residential Uses
Cluster/Zero Lot Line			Commercial
Other			Restaurant
			Office
			Industrial
			Other
Total <i>(dwelling units)</i>			Total <i>(square feet)</i>
Residential Unit Mix	Efficiency / Studio	1 - Bedroom	2 - Bedroom
Affordable Housing Units		% of AMI	3 - Bedroom or More
Affordable Unit Mix	Efficiency / Studio	1 - Bedroom	2 - Bedroom
			3 - Bedroom or More

**F PROJECT DIMENSIONAL STANDARDS** *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed
Lot Size <i>(Square feet/acres)</i>		
Lot Density <i>(Units/acres)</i>		
Lot Width		
Building Height <i>(Feet)</i>		
Structure Length		
Floor Area Ratio <i>(F.A.R.)</i>		
Lot Coverage		
Open Space		
Landscape Area		
Parking Spaces		
SETBACKS <i>(Indicate direction N,S,E,W)</i>	Required Per ULDR	Proposed
Front [____]		
Side [____]		
Corner / Side [____]		
Rear [____]		

*For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.*

	Required Per ULDR	Proposed	Deviation
Tower Stepback			
Front / Primary Street [____]			
Sides / Secondary Street [____]			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate <i>(square feet)</i>			
Residential Unit Size <i>(minimum)</i>			

**G AMENDED PROJECT INFORMATION** *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description <i>(Describe in detail)</i>			
	Original Approval	Proposed Amendment	Amended
Residential Uses <i>(dwelling units)</i>			
Non-Residential Uses <i>(square feet)</i>			
Lot Size <i>(Square feet/acres)</i>			
Lot Density <i>(Units/acres)</i>			
Lot Width			
Building Height <i>(Feet)</i>			
Structure Length			
Floor Area Ratio <i>(F.A.R.)</i>			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate <i>(square feet)</i>			
Residential Unit Size <i>(minimum)</i>			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			



**H** EXTENSION, DEFERRAL, APPEAL INFORMATION *Provide information for specific request. Circle approving body and yes or no.*

Project Name		
Request Description		
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING
Approving Body	Approving Body	Approving Body
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting <i>(Provide Date)</i>
Expiration Date <i>(Permit Submittal Deadline)</i>	Requested Deferral Date	60 Days from Meeting <i>(Provide Date)</i>
Expiration Date <i>(Permit Issuance Deadline)</i>	Previous Deferrals Granted	Appeal Request
Requested Extension <i>(No more than 24 months)</i>	Justification Letter Provided	Indicate Approving Body Appealing
Code Enforcement <i>(Applicant Obtain by Code Compliance Division)</i>	*Note: Deferral requests are subject to a fee per deferral. See Fee Schedule for amount.	
		De Novo Hearing Due to City Commission Call-Up

**I** MISCELLANEOUS *Provide information on the specific request.*

Project Name		
Request Description		
AFFORDABLE HOUSING TAX REIMBURSEMENT*	COMMUNITY RESIDENCE	NOISE WAIVER*
As Is Value \$	Residence Type	DRC Case Number
<i>Date</i>	Certification	Request Start Date
Completion Value \$	Length of Stay	Request End Date
<i>Date</i>	Number of Residents	Construction Start Time
Stabilized Value \$	Number of Live-in Staff	Construction End Time
<i>Date</i>	Habitable Rooms	Sunday Construction Times
Acquisition Value \$	Gross Floor Area	Noise Mitigation Plan Date of Plan
<i>Date</i>	DEVELOPMENT REVIEW TEAM (DRT)* <i>Complete Section F</i>	
		Previous Extension Resolution No. <i>(if applicable)</i>

\*Application is subject to specific fees based on hourly rate with minimum amount of: DRT \$477, Affordable Housing Tax Reimbursement \$2,500, Noise Waiver \$954

**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

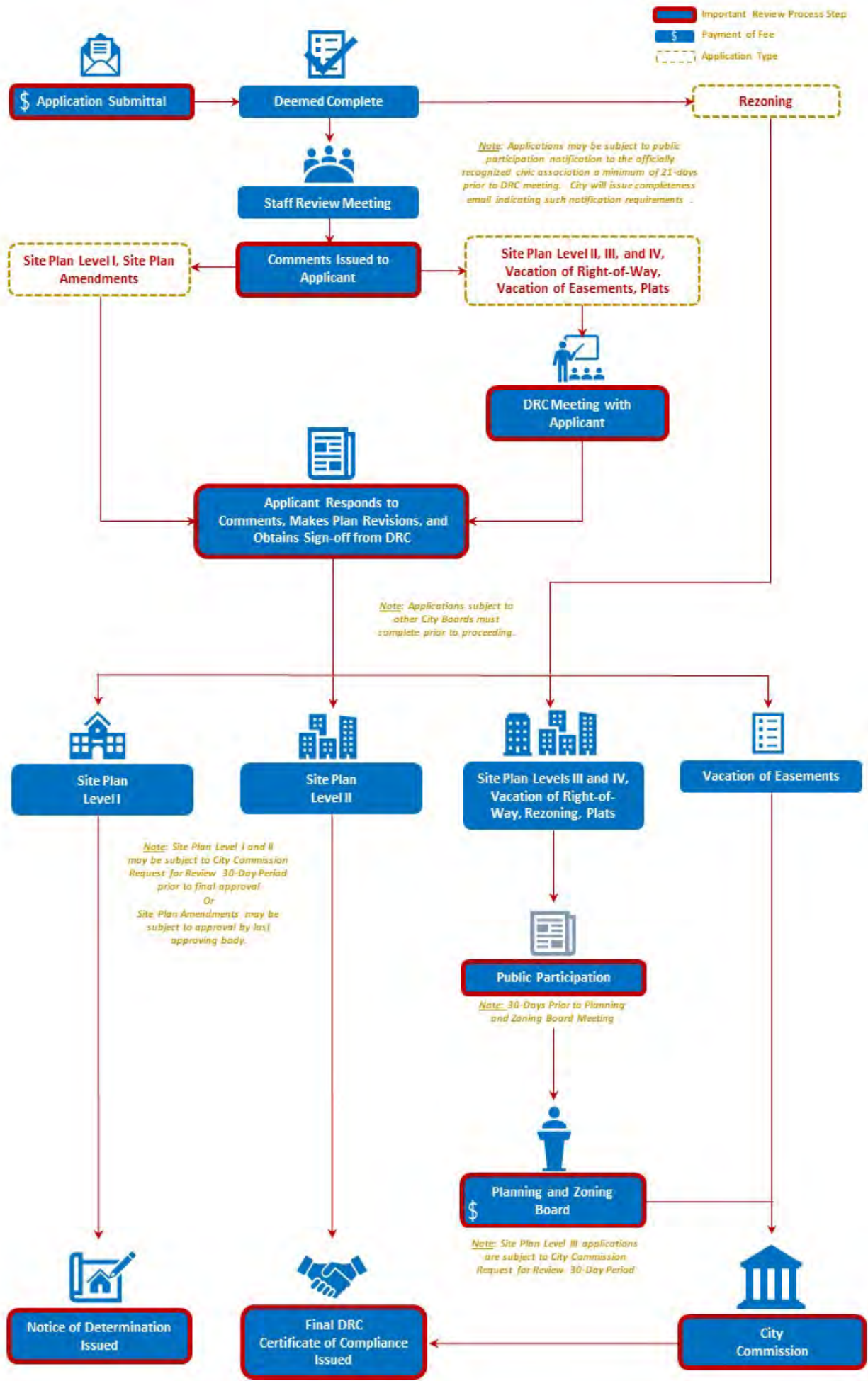
- Preliminary Development Meeting completed on the following date:
- Development Application Form completed with the applicable information including signatures.
- Proof of Ownership warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form that includes all parcels within the proposed development.
- Project and Unified Land Development Code Narratives project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement submittal of a traffic study or traffic statement.
- Stormwater Calculations signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delay in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.



**DRC PROCESS OVERVIEW:** Below is the development review process flowchart with key steps to guide applicants.



**CONTACT INFORMATION:** Questions regarding the development process or LauderBuild, see contact information below.

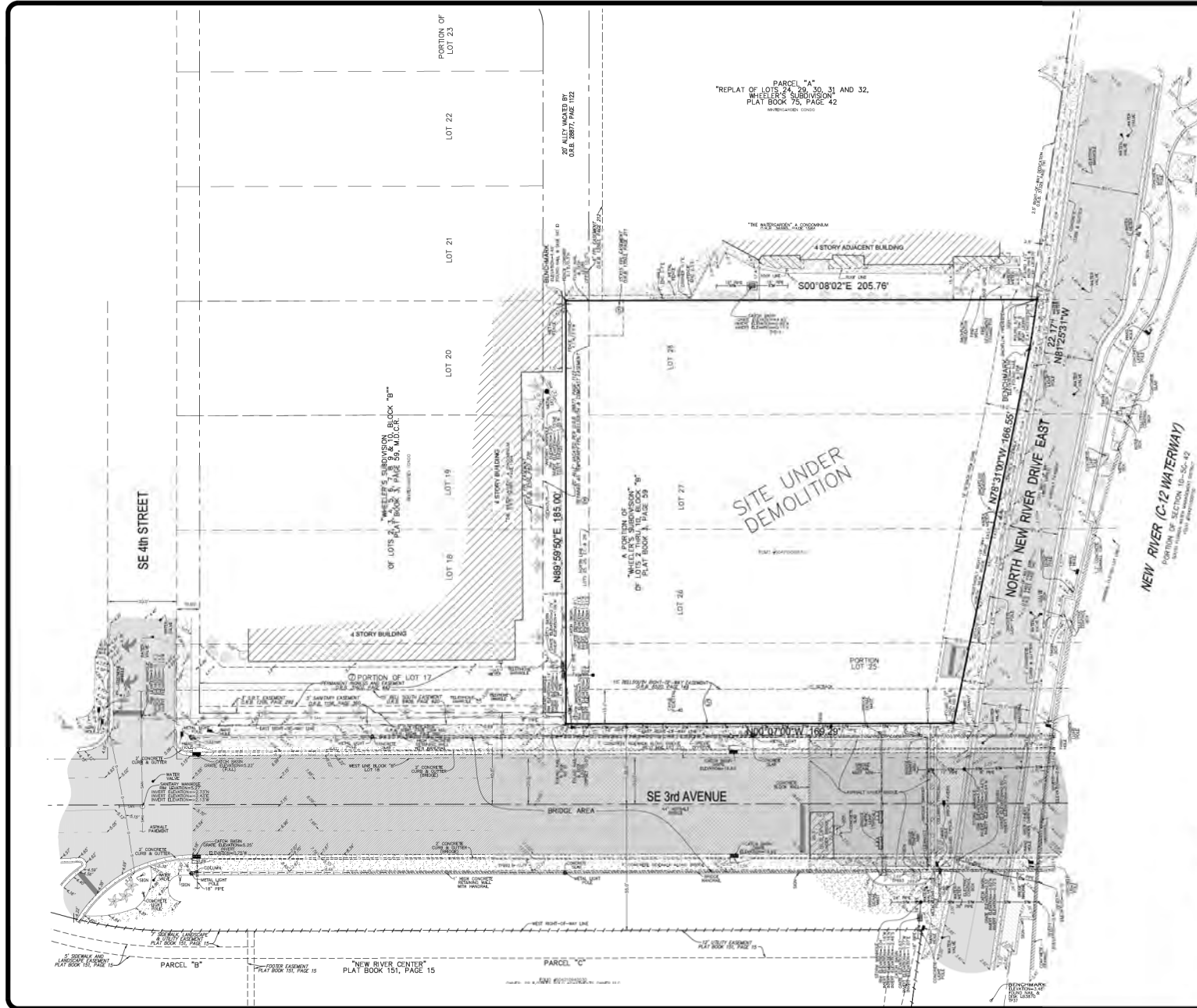
**GENERAL URBAN DESIGN AND PLANNING QUESTIONS**

Planning Counter  
 954-828-6520, Option 5  
[planning@fortlauderdale.gov](mailto:planning@fortlauderdale.gov)

**LAUDERBUILD ASSISTANCE AND QUESTIONS**

DSD Customer Service  
 954-828-6520, Option 1  
[lauderbuild@fortlauderdale.gov](mailto:lauderbuild@fortlauderdale.gov)





- LEGEND**
- [Symbol] ASPHALT PAVEMENT
  - [Symbol] OVERPASS ASPHALT
  - [Symbol] CONCRETE
  - [Symbol] PAVED DRIVE
  - [Symbol] ELEVATION
  - [Symbol] OVERHEAD WIRE
  - [Symbol] UNDERGROUND ELECTRIC LINE
  - [Symbol] UNDERGROUND TELEPHONE LINE
  - [Symbol] UNDERGROUND WATER LINE
  - [Symbol] UNDERGROUND GAS LINE
  - [Symbol] UNDERGROUND STORM SEWER LINE
  - [Symbol] UNDERGROUND SANITARY SEWER LINE
  - [Symbol] NON-VEHICULAR ACCESS LINE
  - [Symbol] CENTERLINE
  - [Symbol] S.P.S. CONCRETE BLOCK/STUCCO
  - [Symbol] S.P.S. BRICK RECORDS FROM
  - [Symbol] T.P. TRANSFER POINT (FOR REFERENCE ONLY)
  - [Symbol] F.P.L. FLORIDA POWER & LIGHT COMPANY
  - [Symbol] L.I. LICENSED BUSINESS
  - [Symbol] M.C.G. MIAMI-DADE COUNTY RECORDS
  - [Symbol] A/C AIR CONDITION UNIT
  - [Symbol] B.O.M. BROWARD COUNTY BENCHMARK
  - [Symbol] S.U.M. (NAMED) URBAN MOUNT
  - [Symbol] P.V.C. POLYVINYL CHLORIDE
  - [Symbol] T.C. TITLE COMPANY EJECTION
  - [Symbol] T.R. TREE IDENTIFIER
  - [Symbol] N.F.T. INCHES/ FEET



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SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 3.

**RIVERWALK RESIDENCES OF LAS OLAS**  
33 NORTH NEW RIVER DRIVE  
FORT LAUDERDALE, BROWARD COUNTY,  
FLORIDA 33301

**BOUNDARY AND TOPOGRAPHIC SURVEY  
ALTA/NSPS LAND TITLE SURVEY**

**PLS**

**PULICE LAND SURVEYORS, INC.**  
5381 NOB HILL ROAD  
SUNRISE, FLORIDA 33351  
TELEPHONE: 304-960-0127  
FAX: 304-960-1118  
E-mail: info@police-land-surveyors.com  
WEBSITE: www.police-land-surveyors.com

DRAWN BY: M.D.      SCALE: 1" = 20'      FILE: GABLES RESIDENTIAL  
CHECKED BY: J.F.P.      SURVEY DATE: 9/26/21      ORDER NO.: 6902

# Gables Riverwalk

333 N New River Drive E  
DRC – Signs in the RAC



Crush Law, P.A.  
888 E Las Olas Blvd., Suite 201  
Fort Lauderdale, FL 33301



GABLES RIVERWALK





Example of day/night



DRC for  
RAC  
Signs

DESIGN DATE

09-05-24

DESIGN/AM

CE/AA/AD/CH

PROPERTY NAME  
& ADDRESS

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

PROPERTY ID/FOLIO #

504210040180

DESCRIPTION

SIGN A  
SPECS

PAGE

4



**A) Canopy Lettering**  
**Location 1 - Southwest View**  
 30" lettering height, 6" depth "Logo",  
 21" lettering height, 6" depth "GABLES RIVERWALK",  
 Aluminum constructed  
 LED channel letters, painted metallic silver,  
 Face lighted at night, Silver during the day.  
 (Mounted to Canopy - See Attachment Engineering)

**20 amp circuit at 120V**  
 Weight = Approx. 125lbs

**DRC for  
RAC  
Signs**

**DESIGN DATE**

09-05-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME  
& ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

504210040180

**DESCRIPTION**

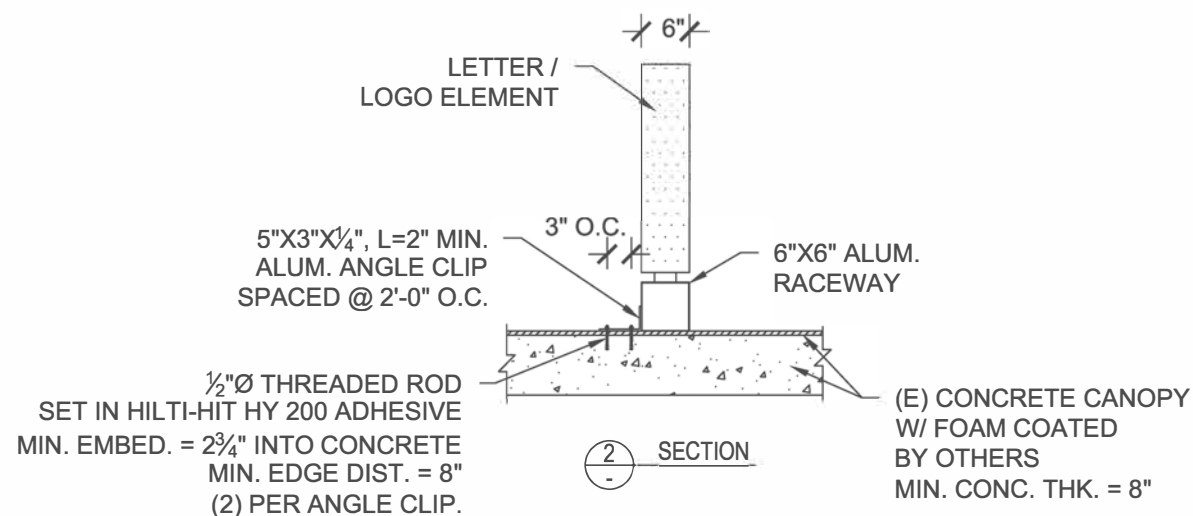
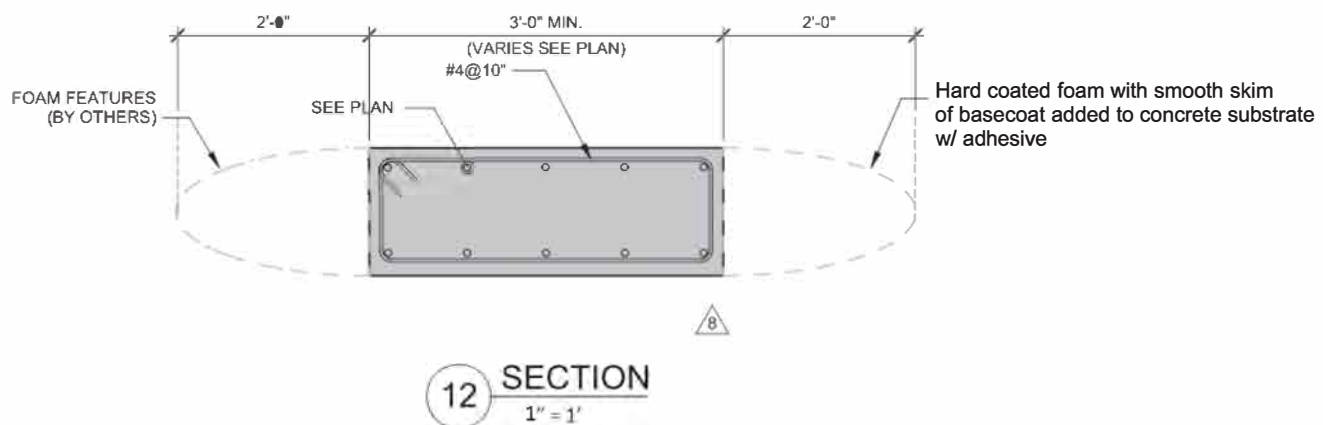
SIGN A  
ATTACHMENT

**PAGE**

5



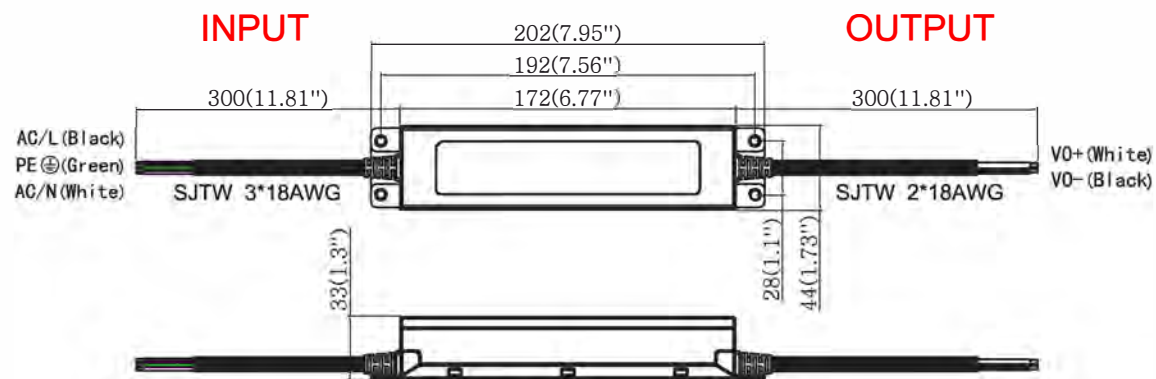
**Canopy Specs**



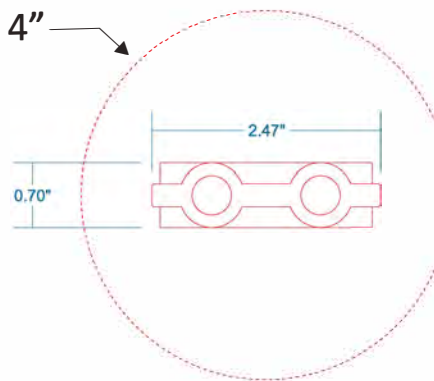


**Power Supply Specs**

Unit: mm (inch)



Each LED has 4" light radius



Load 1

Load: 73.2%  
Modules: 122  
Watts: 146.4W  
Mean Well HLG 200W (1x)

Load 2

Load: 76%  
Modules: 95  
Watts: 114W  
Mean Well HLG 150W (1x)

Input - 120 VAC 1.9 Amps

Led Transformer Output - 12VDC 60W (5A)

DRC for  
RAC  
Signs

DESIGN DATE

09-05-24

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PROPERTY NAME  
& ADDRESS

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

PROPERTY ID/FOLIO #

504210040180

DESCRIPTION

SIGN A  
ELECTRICAL

PAGE

6



Complies With  
**UL 48**  
Sign Certification  
**E534702**

DRC for  
RAC  
Signs

DESIGN DATE

09-05-24

DESIGN/AM

CE/AA/AD/CH

PROPERTY NAME  
& ADDRESS

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

PROPERTY ID/FOLIO #

504210040180

DESCRIPTION

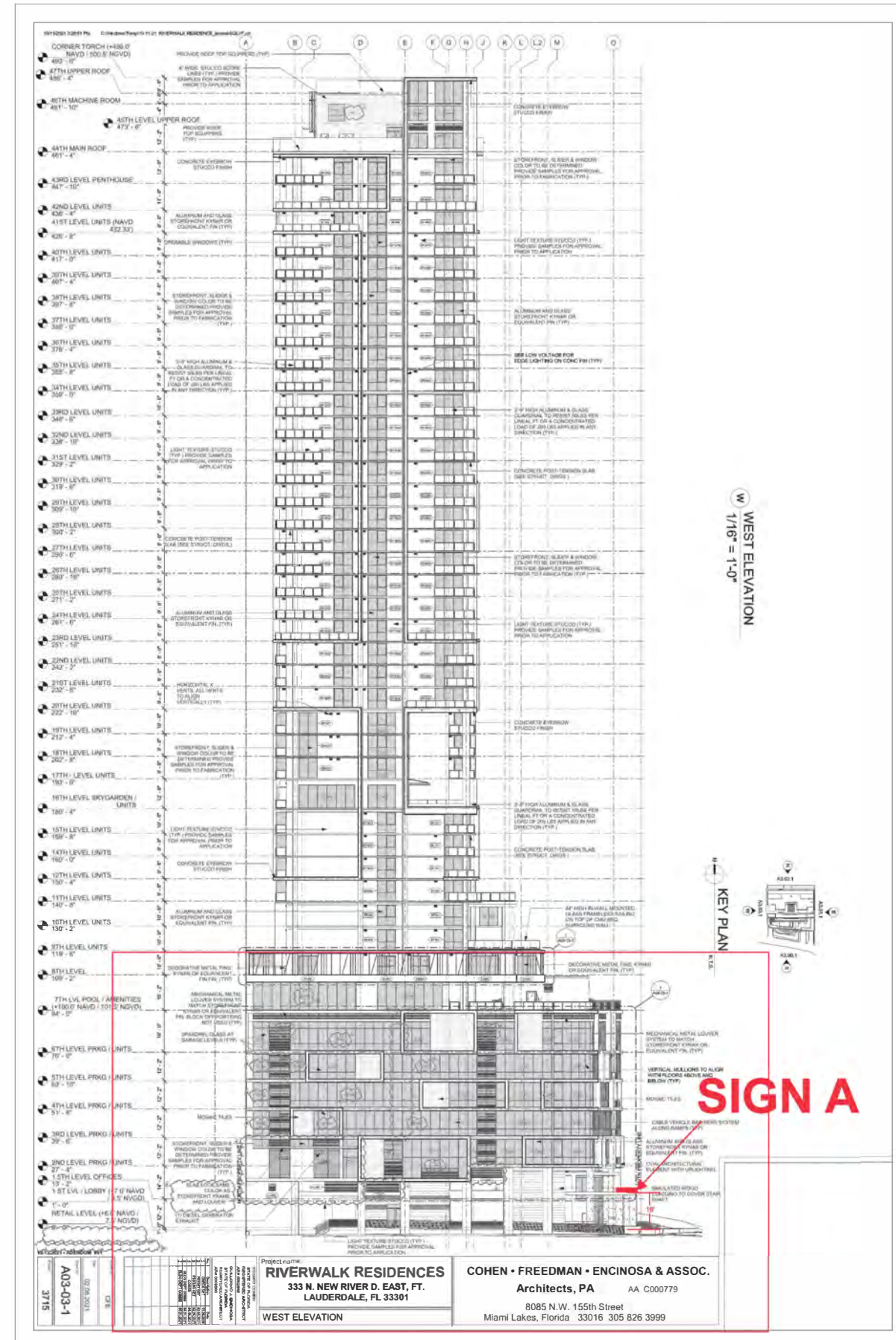
SIGN A  
ELEVATION

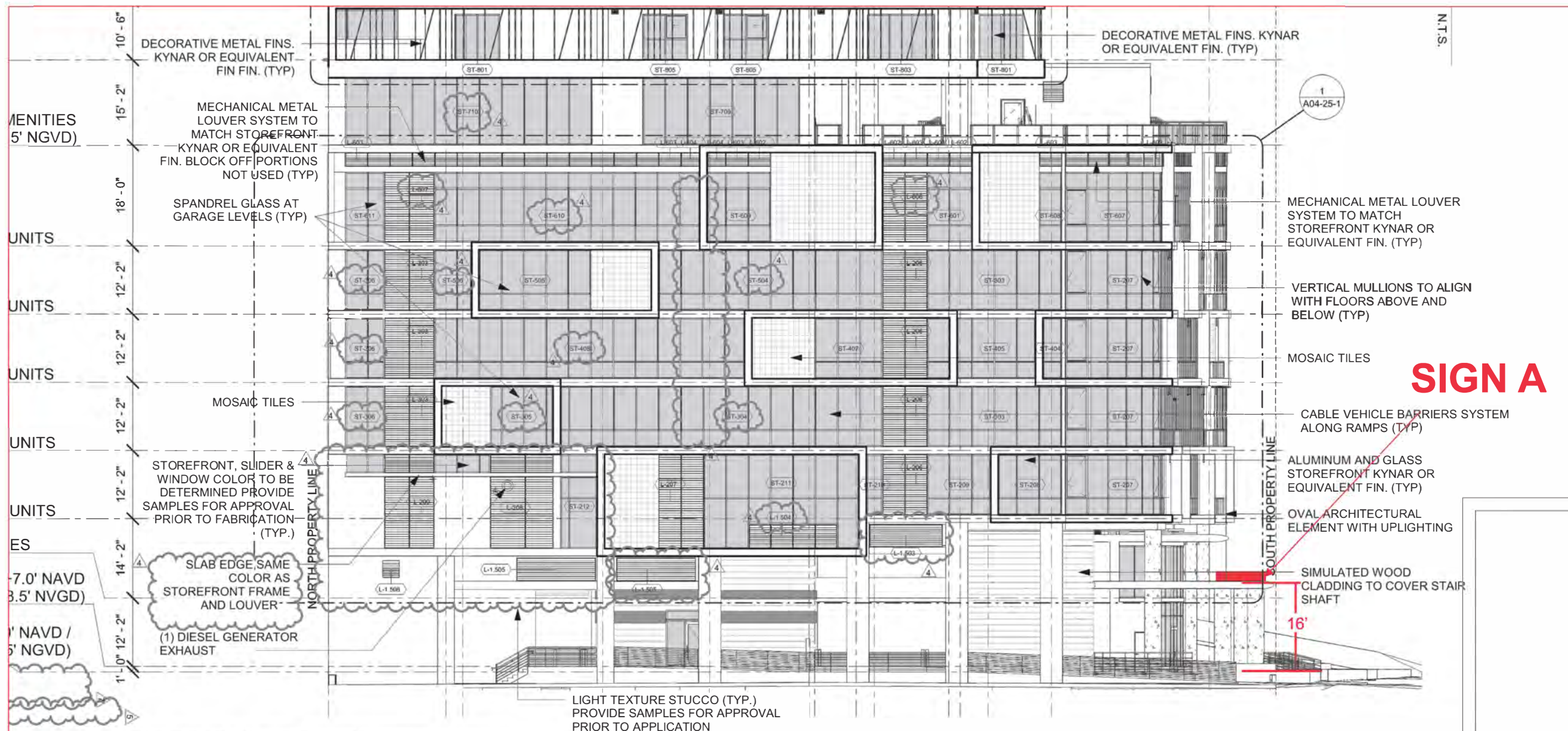
PAGE

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**A) Canopy Lettering**  
Location 1 - Southwest View  
30" lettering height, 6" depth "Logo",  
21" lettering height, 6" depth "GABLES RIVERWALK",  
Aluminum constructed  
LED channel letters, painted metallic silver,  
Face lighted at night, Silver during the day.  
(Mounted to Canopy - See Attachment Engineering)





**DRC for RAC Signs**

**DESIGN DATE**

09-05-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME & ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

504210040180

**DESCRIPTION**

SIGN A  
ENLARGED ELEVATION

**PAGE**

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Project name:  
**RIVERWALK RESIDENCES**  
333 N. NEW RIVER D. EAST, FT.  
LAUDERDALE, FL 33301

**COHEN • FREEDMAN • ENCINOSA & ASSOC.**  
Architects, PA AA C000779

8085 N.W. 155th Street  
Miami Lakes, Florida 33016 305 826 3999

No. Description  
1 CHECK SET  
2 PERMIT SET  
3 PRICING SET  
4 CORR'D  
5 BLDG DEPT COMM  
6 BLDG DEPT COMMZ  
7  
8

GUILLERMO J. ENCINOSA  
STATE OF FLORIDA  
REGISTERED ARCHITECT  
ARCH. REG. NO. 0009690



**GABLES RIVERWALK**

A) Canopy Lettering  
Location 1 - Southwest View  
30" lettering height, 6" depth "Logo",  
21" lettering height, 6" depth "GABLES RIVERWALK",  
Aluminum constructed  
LED channel letters, painted metallic silver,  
Face lighted at night, Silver during the day.  
(Mounted to Canopy - See Attachment Engineering)



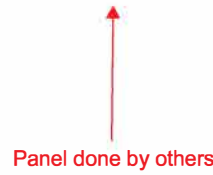
Sign lettering



1/16" Extruded Alum. Trim Panel  
Dark Acacia



Night View

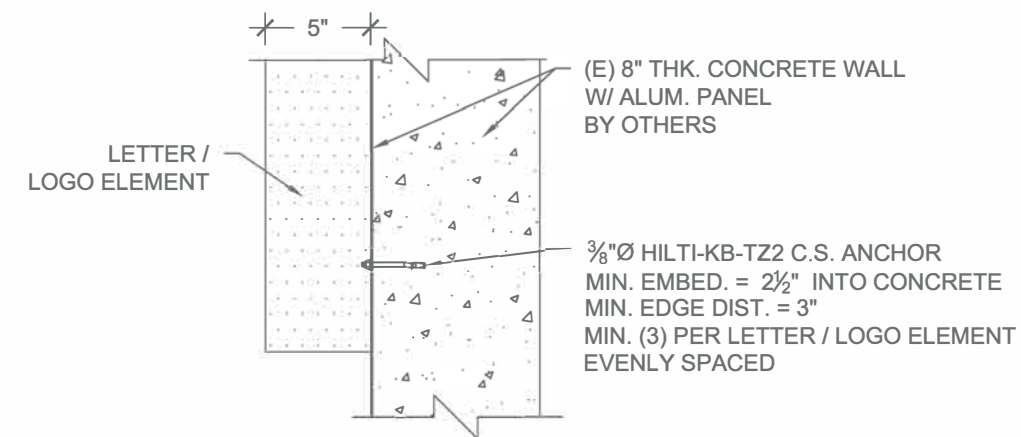


Side View

454" x 30" = 94.6 SQFT



**B) BALCONY LETTERING**  
**Location 2 - South Elevation**  
 454" x 30" - Single Sided - Qty: 1  
 5"D aluminum LED channel letters, painted metallic silver,  
 Face lighted at night, Silver during the day.  
 (install onto Woodgrain Cladding)



DRC for  
RAC  
Signs

DESIGN DATE

10-22-24

DESIGN/AM

CE/AA/AD/CH

PROPERTY NAME & ADDRESS

RIVERWALK RESIDENCES  
 333 N NEW RIVER DR EAST  
 FORT LAUDERDALE, FL  
 33301

PROPERTY ID/FOLIO #

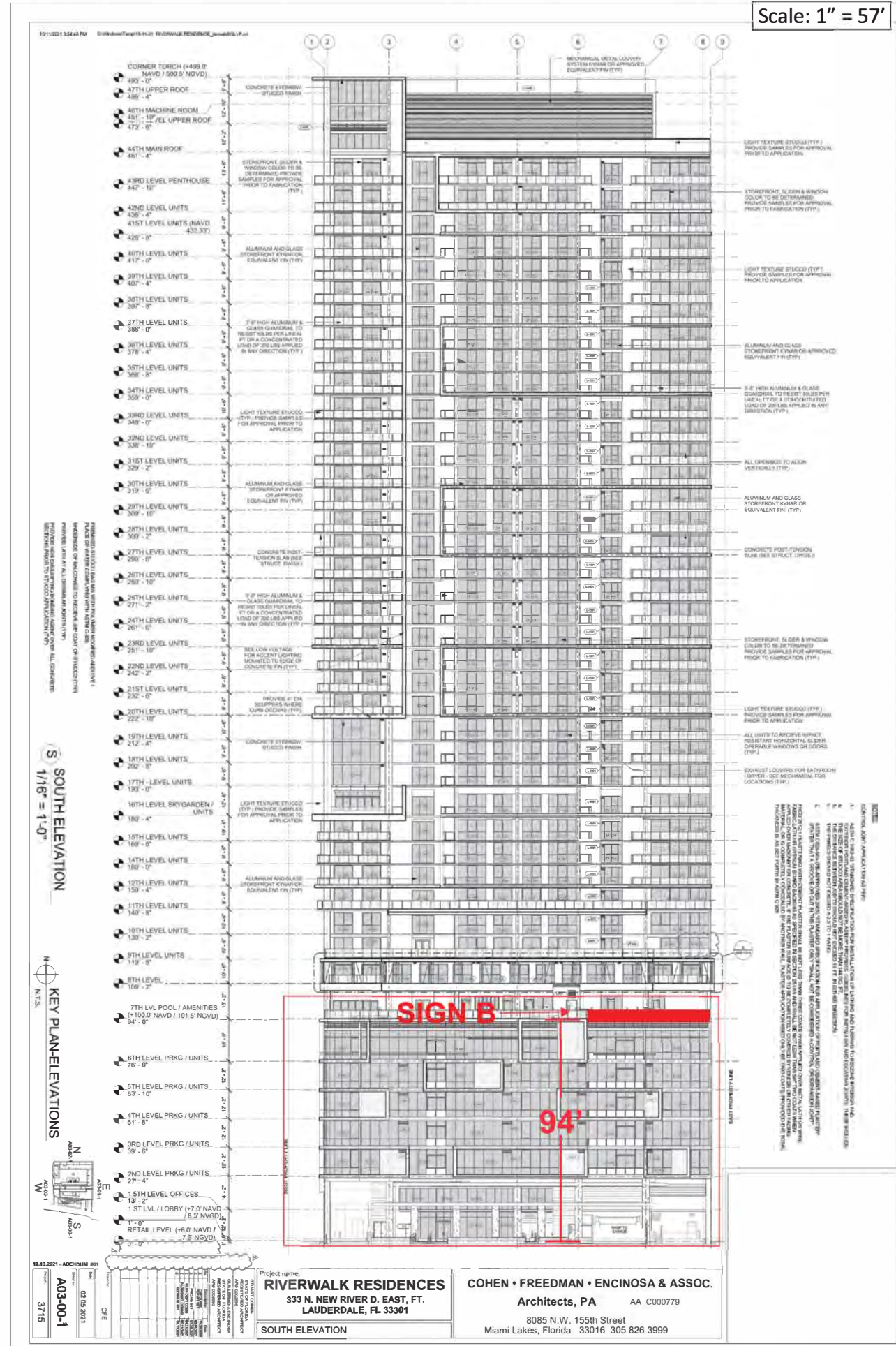
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DESCRIPTION

SIGN B  
SPECS

PAGE

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Panel Done by Others

**B) BALCONY LETTERING**  
**Location 2 - South Elevation**  
 454" x 30" - Single Sided - Qty: 1  
 5"D aluminum LED channel letters, painted metallic silver,  
 Face lighted at night, Silver during the day.  
 (install onto Woodgrain Cladding)

DRC for  
RAC  
Signs

DESIGN DATE

10-22-24

DESIGN/AM

CE/AA/AD/CH

PROPERTY NAME  
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RIVERWALK RESIDENCES  
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PROPERTY ID/FOLIO #

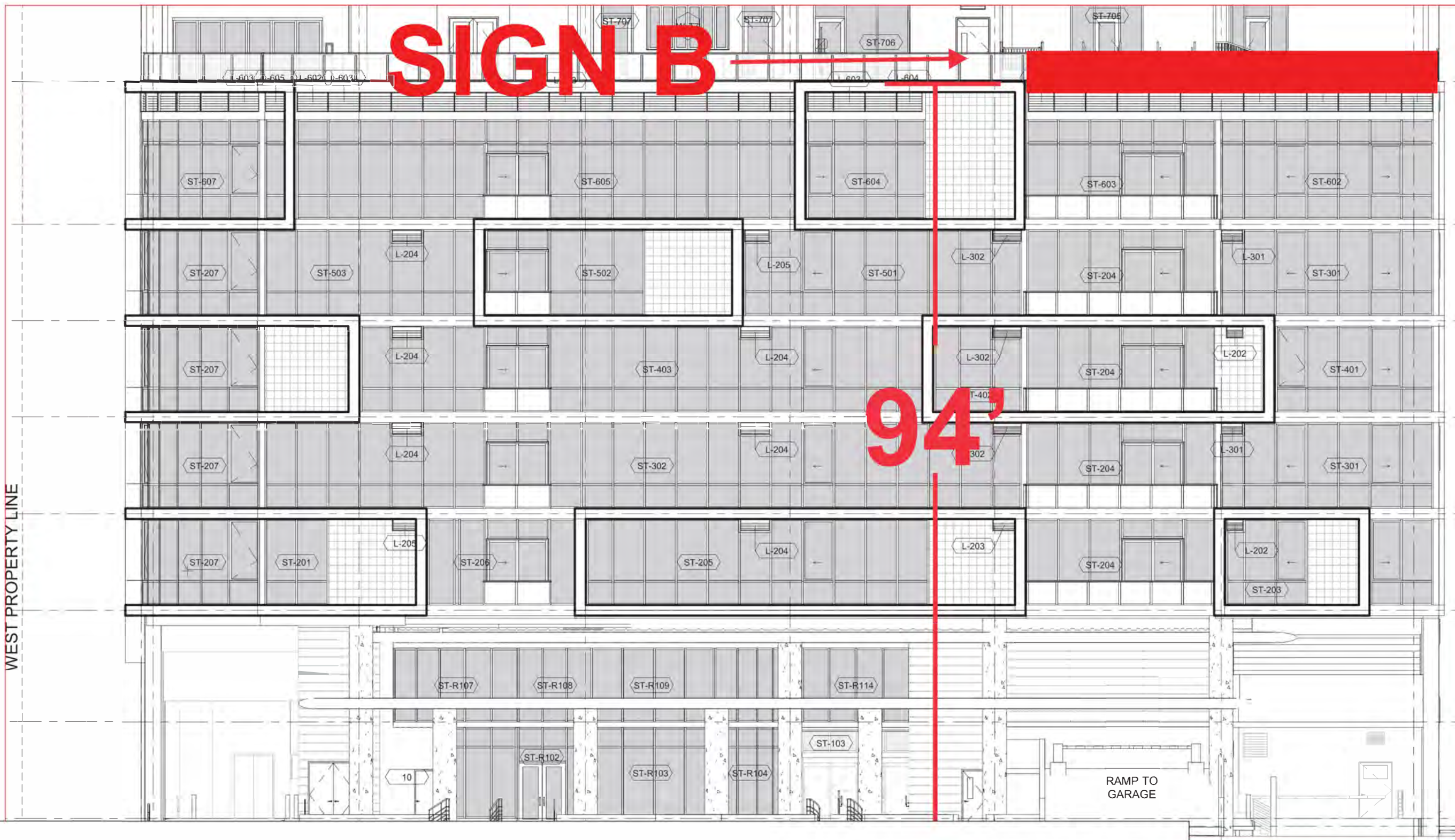
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DESCRIPTION

SIGN B  
ELEVATION

PAGE

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WEST PROPERTY LINE

**SIGN B**

**94'**

RAMP TO GARAGE



**B) BALCONY LETTERING**  
 Location 2 - South Elevation  
 454" x 30" - Single Sided - Qty: 1  
 5"D aluminum LED channel letters, painted metallic silver,  
 Face lighted at night, Silver during the day.  
 (install onto Woodgrain Cladding)

DRC for  
RAC  
Signs

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME & ADDRESS**

RIVERWALK RESIDENCES  
 333 N NEW RIVER DR EAST  
 FORT LAUDERDALE, FL  
 33301

**PROPERTY ID/FOLIO #**

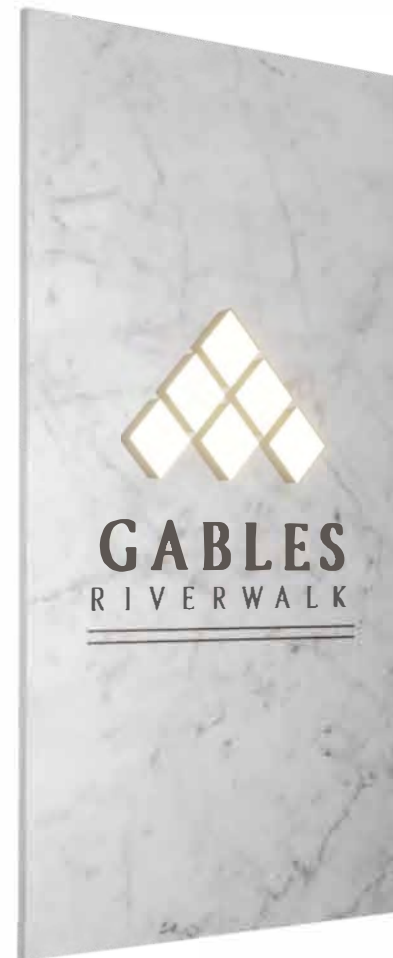
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**DESCRIPTION**

SIGN B  
 ENLARGED ELEVATION

**PAGE**

11



71.25" x 46" = 22.75 SQFT



Low profile channel letters

100.25" x 14" = 9.75 SQFT



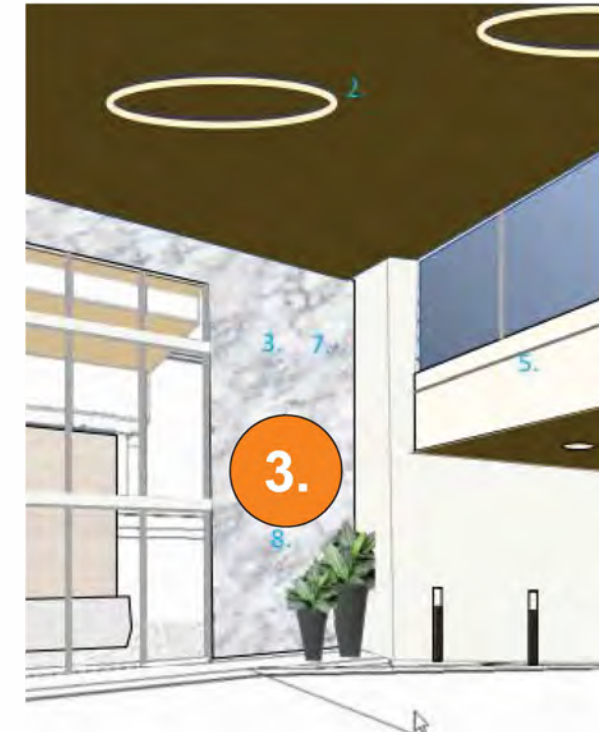
0.5" PVC letters



0.25" PVC letters

80.25" x 6" = 3.35 SQFT

porcelain tile over CMU



**C) Exterior Lobby Sign**  
**Location 3 - Northwest View**  
 46" high "Bomber", 4" depth  
 Bomber to be Aluminum constructed  
 Internally Lighted LED, painted metallic silver,  
 Face lighted at night, Silver during the day.  
 (Flush mount onto exterior lobby wall)

20 amp circuit at 120V  
 Weight = Approx. 85lbs

DRC for  
RAC  
Signs

DESIGN DATE

10-22-24

DESIGN/AM

CE/AA/AD/CH

PROPERTY NAME  
& ADDRESS

RIVERWALK RESIDENCES  
 333 N NEW RIVER DR EAST  
 FORT LAUDERDALE, FL  
 33301

PROPERTY ID/FOLIO #

504210040180

DESCRIPTION

SIGN C.1  
 SPECS

PAGE

12



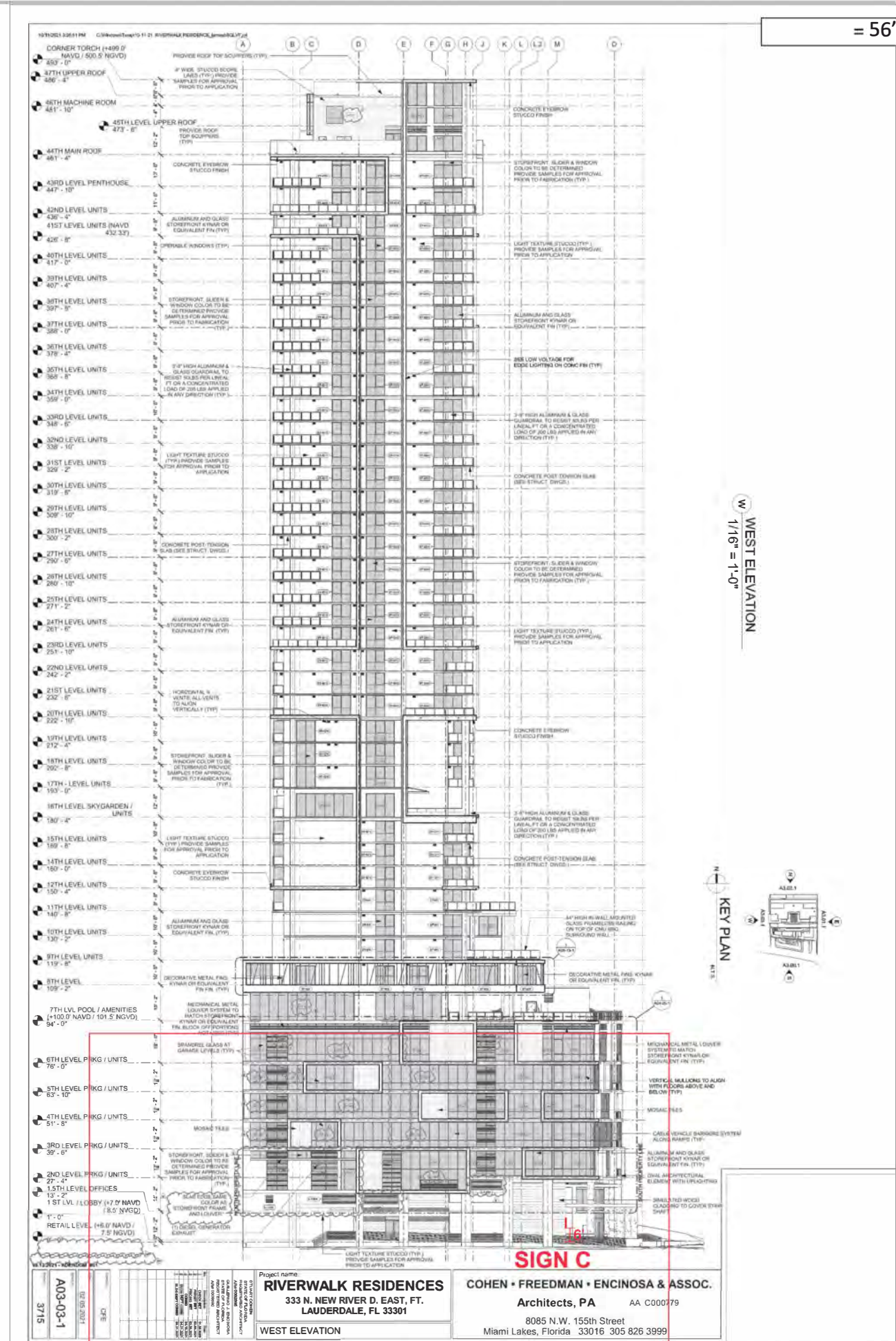
**C) Exterior Lobby Sign**

**Location 3 - Northwest View**

**46" high "Bomber", 4" depth**

**Bomber to be Aluminum constructed**

**Internally Lighted LED, painted metallic silver,  
Face lighted at night, Silver during the day.  
(Flush mount onto exterior lobby wall)**



**DRC for  
RAC  
Signs**

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME  
& ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

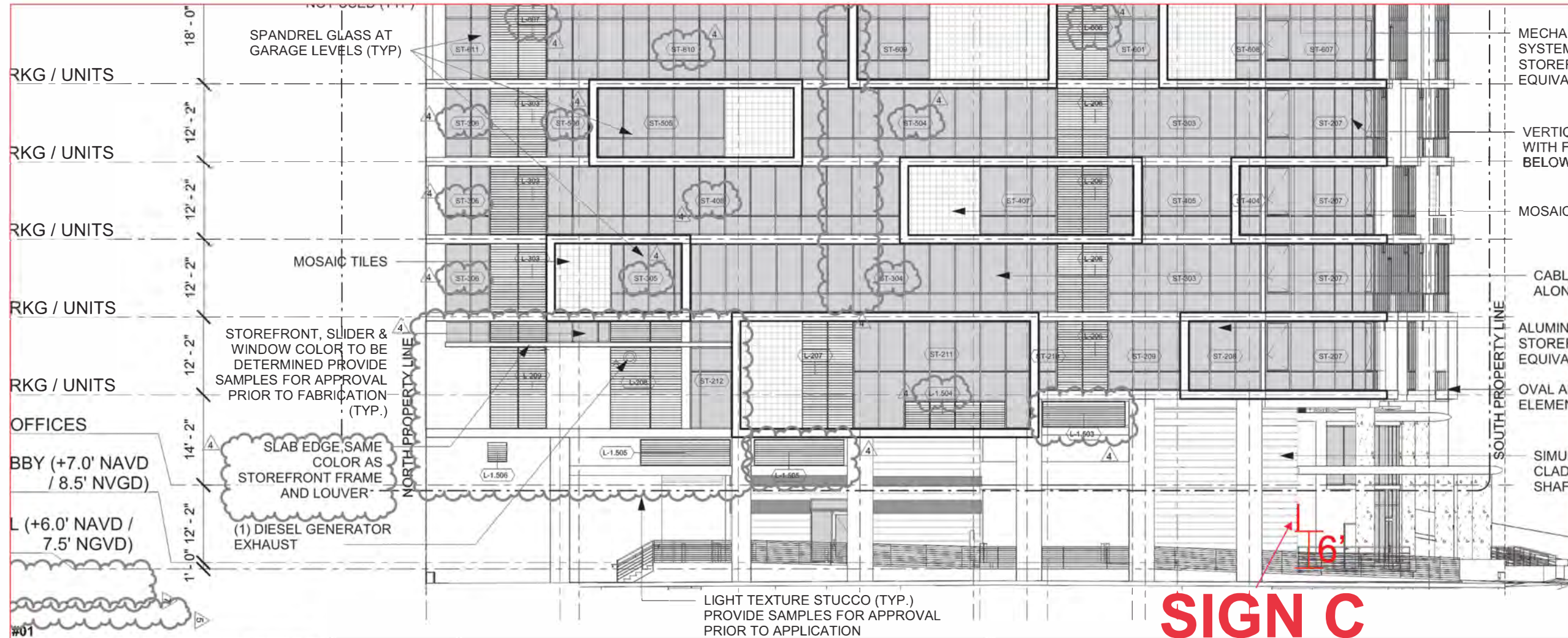
504210040180

**DESCRIPTION**

SIGN C  
ELEVATION

**PAGE**

13



DRC for  
RAC Signs

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME & ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**


504210040180

**DESCRIPTION**

SIGN C.1  
ENLARGED ELEVATION

**PAGE**

14



**GABLES**  
RIVERWALK

C) Exterior Lobby Sign  
Location 3 - Northwest View  
46" high "Bomber", 4" depth  
Bomber to be Aluminum constructed  
Internally Lighted LED, painted metallic silver,  
Face lighted at night, Silver during the day.  
(Flush mount onto exterior lobby wall)

No.	Description	Date
1	CHECK SET	11.20.2020
2	PERMIT SET	02.05.2021
3	PRICING SET	02.26.2021
4	CORRD	04.16.2021
5	BLDG DEPT COMM	04.21.2021

STUART COHEN  
STATE OF FLORIDA  
REGISTERED ARCHITECT  
AR# 00028985

GUILLELMO J. ENCINOSA  
STATE OF FLORIDA  
REGISTERED ARCHITECT  
AR# 00096980

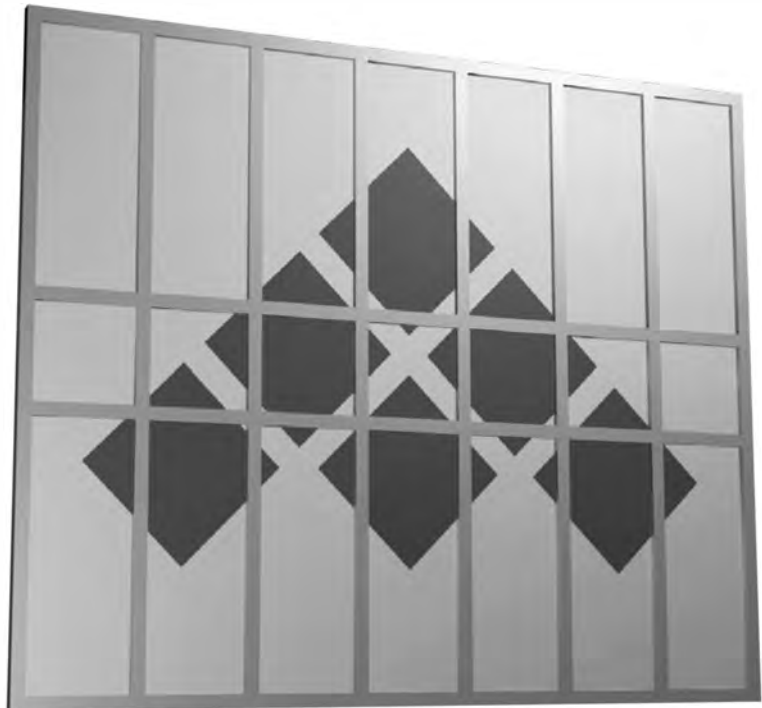
Project name:  
**RIVERWALK RESIDENCES**  
333 N. NEW RIVER D. EAST, FT.  
LAUDERDALE, FL 33301

WEST ELEVATION

**COHEN • FREEDMAN • ENCINOSA &**  
**Architects, PA** AA C0007  
8085 N.W. 155th Street  
Miami Lakes, Florida 33016 305 826 3999

Building Skyline

184" x 279" = 356.5SQFT



**D) GLASS VINYL**  
Location 5 - South Elevation  
184" high "Bomber"  
Tinted Vinyl on glass  
(install onto inside of glass)

Day



Night



DRC for  
RAC  
Signs

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME & ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

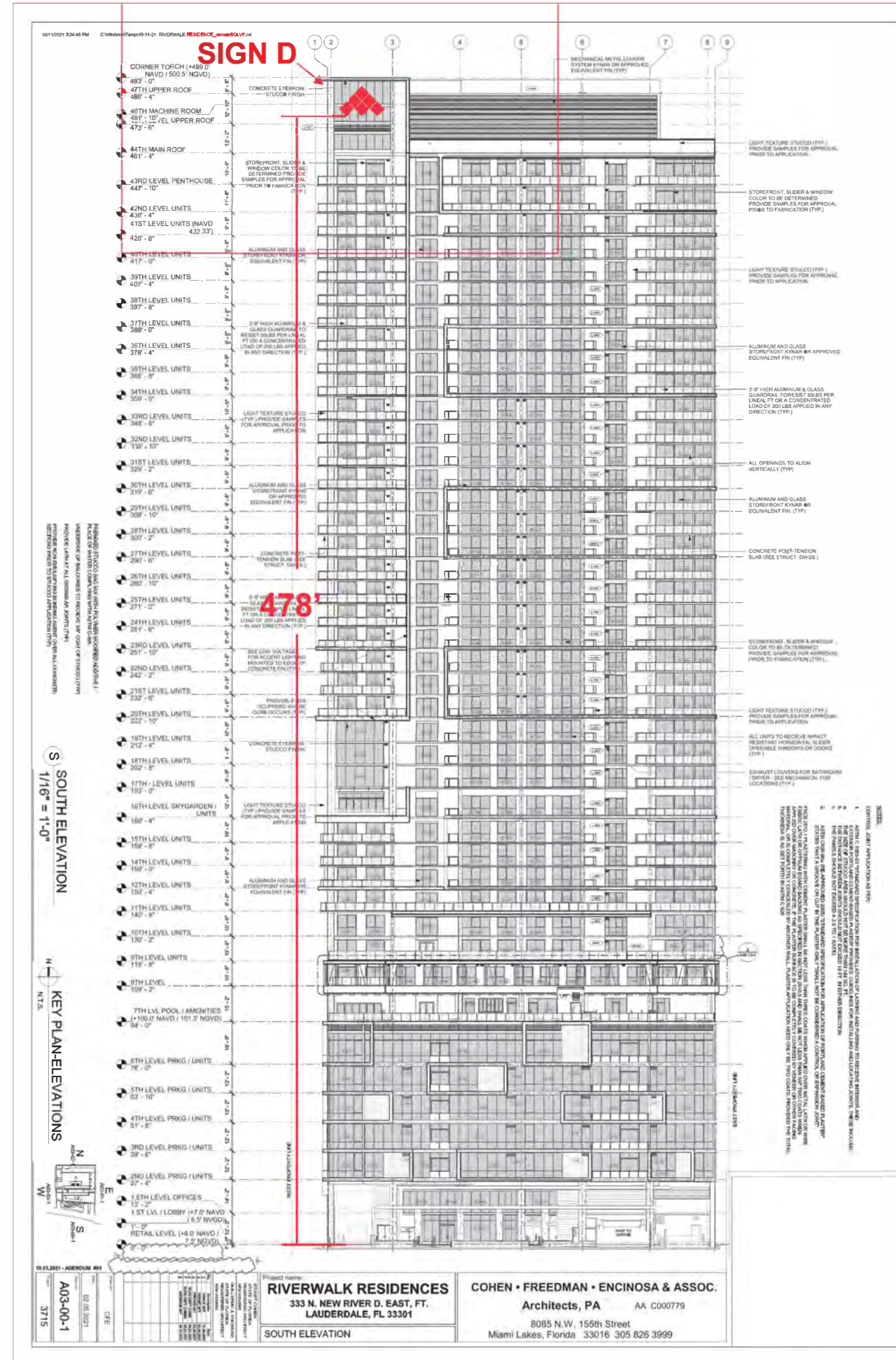
504210040180

**DESCRIPTION**

SIGN D  
SPECS

**PAGE**

15



**D) GLASS VINYL**  
Location 5 - South Elevation  
184" high "Bomber"  
Tinted Vinyl on glass  
(install onto inside of glass)



**DRC for  
RAC  
Signs**

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME  
& ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

504210040180

**DESCRIPTION**

SIGN D  
ELEVATION

**PAGE**

16



DRC for  
RAC  
Signs

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME & ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

504210040180

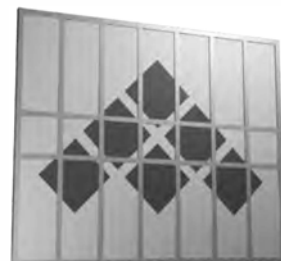
**DESCRIPTION**

SIGN D  
ENLARGED  
ELEVATION

**PAGE**

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**D) GLASS VINYL**  
Location 5 - South Elevation  
184" high "Bomber"  
Tinted Vinyl on glass  
(install onto inside of glass)



■ Metallic Silver



Sign lettering



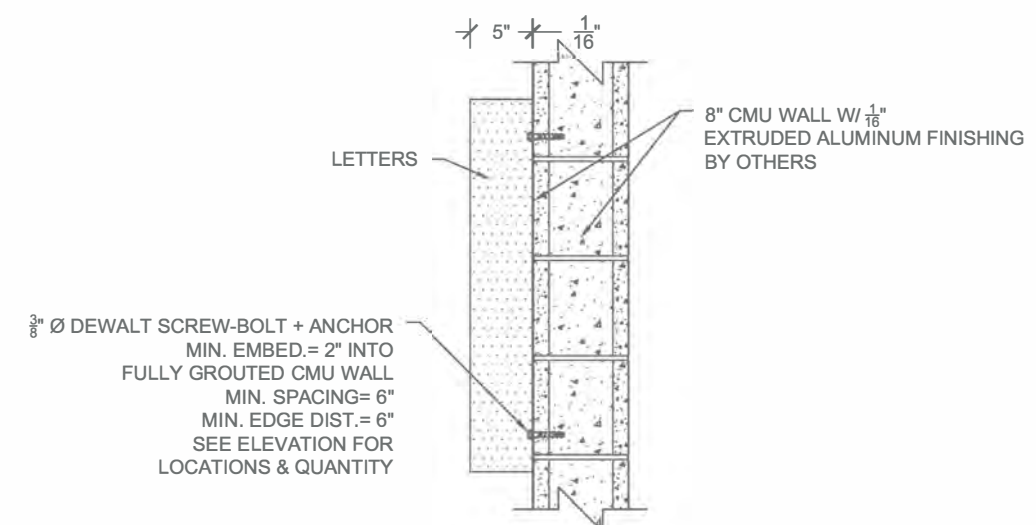
1/16" Extruded Alum. Trim Panel



Night View



Side View



**E) POOL BALCONY LETTERING**

Location 3 - West Elevation

456" x 30" - Single Sided - Qty: 1

5"D aluminum LED channel letters, painted metallic silver, Face lighted at night, Silver during the day. (install onto Woodgrain Cladding)

DRC for RAC Signs

DESIGN DATE

10-22-24

DESIGN/AM

CE/AA/AD/CH

PROPERTY NAME & ADDRESS

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

PROPERTY ID/FOLIO #

504210040180

DESCRIPTION

SIGN E SPECS

PAGE

18

■ Metallic Silver



**GABLES RIVERWALK**

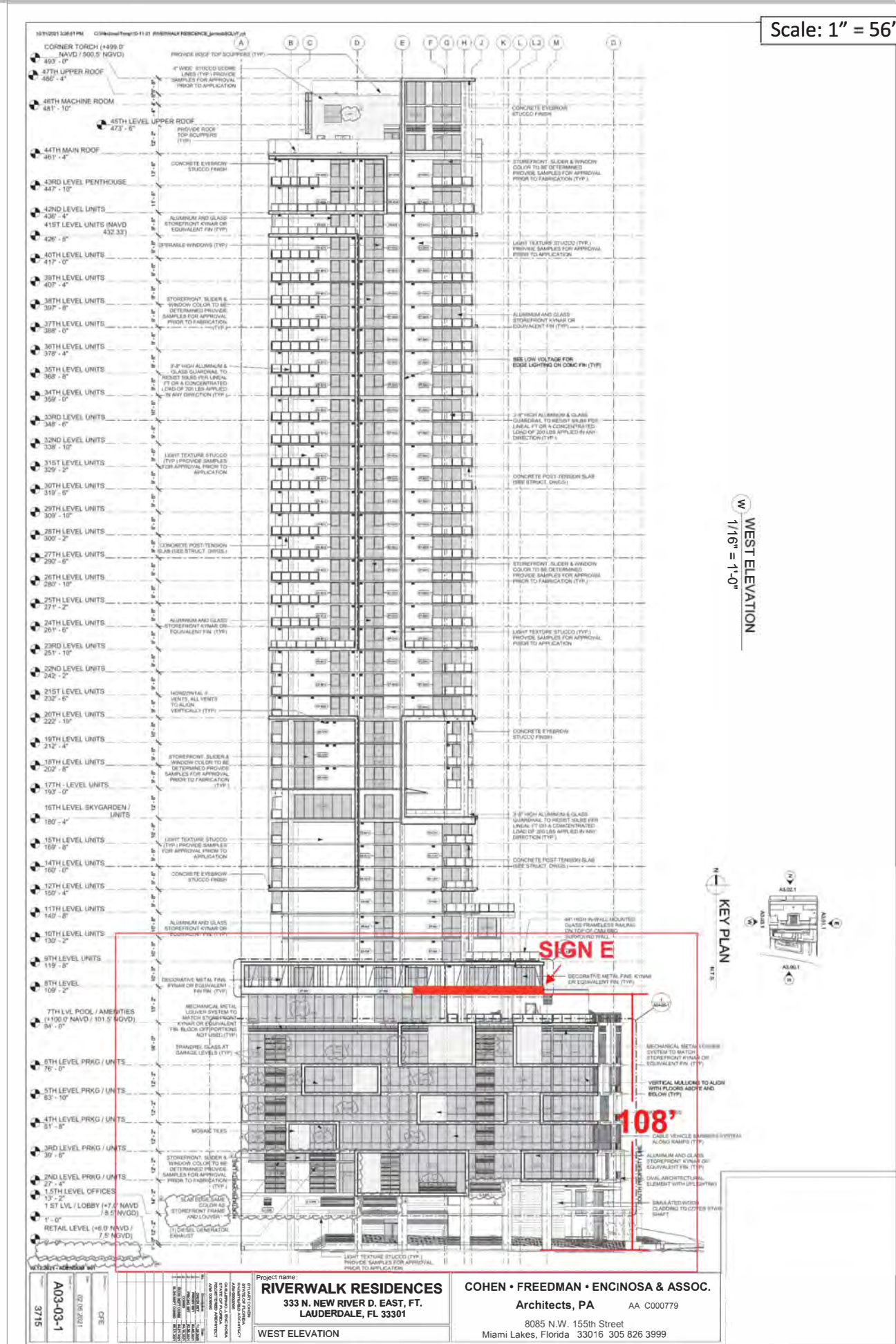
**E) POOL BALCONY LETTERING**

Location 3 - West Elevation

456" x 30" - Single Sided - Qty: 1

5"D aluminum LED channel letters, painted metallic silver,  
Face lighted at night, Silver during the day.  
(install onto Woodgrain Cladding)

**ILLUMINATED SIGN E - ELEVATION**



**DRC for RAC Signs**

**DESIGN DATE**

10-22-24

**DESIGN/AM**

CE/AA/AD/CH

**PROPERTY NAME & ADDRESS**

RIVERWALK RESIDENCES  
333 N NEW RIVER DR EAST  
FORT LAUDERDALE, FL  
33301

**PROPERTY ID/FOLIO #**

504210040180

**DESCRIPTION**

SIGN E  
ELEVATION

**PAGE**

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**Gables Riverwalk Signs  
333 N New River Drive E  
DRC Narrative**

CG Riverwalk, LP (the “Applicant”) proposes to install five signs on the newly developed Gables Riverwalk building located at 333 N New River Drive E (the “Property”), in the City of Fort Lauderdale (“City”). Gables Riverwalk has a trafficway on two sides – N New River Drive and SE 3rd Ave. The Property is located in the RAC-CC zoning district.

**ULDR Sections:**

Signs in the Regional Activity Centers are regulated by Unified Land Development Regulations (“ULDR”) 47-22.4.C.13.

The Property is located on two streets and therefore is permitted three signs. The Applicant is requesting two additional signs – one being a lobby sign and one being a logo supergraphic at the top of the structure. The Applicant is proposing five unique and high-quality signs.

**Sec. 47-22.4. - Maximum number of signs at one location and special requirements in zoning districts.**

Number of Streets or Vehicle Travelways	Maximum Number of Signs
Two (2) streets and no vehicle travelways	Three (3) signs, no more than one (1) being a freestanding sign

**Sec. 47-22.4.C. – Special regulations.**

.....

*C. Special regulations. The following special regulations shall apply in the zoning districts indicated and shall prevail over any conflicting regulations contained in the ULDR:*

*13. In the Central Beach Districts, as described in Section 47-12, and in the Regional Activity Center (RAC) Districts, as described in Section 47-13, all signs shall comply with the following:*

- d. Flat signs shall be permitted and shall be limited as follows:
  - iv. A flat sign is a painted sign or any sign erected flat against the face of, or not more than eighteen (18) inches from the face of the outside wall of any building and not extending more than eighteen (18) inches above the wall upon which it is placed and supported throughout its length by such wall. No protruding portion of such sign shall be nearer than nine (9) feet to a walk or any area where there is pedestrian traffic; nor shall it extend beyond the wall in a horizontal direction; provided, however, that a sign placed on a mansard fascia shall be permitted to be erected vertically if the bottom section of this sign does not extend more than eighteen (18) inches from the mansard fascia.

**Analysis of proposed signs:**

**Please see submitted sign plans for reference to the below analysis.**

Three Signs Permitted	Size of Signs Permitted	Proposed Adjustment
1. Sign A (1 of 3)	120 SF	130.5 SF (Proposed)
2. Sign B (2 of 3)	200 SF	94.6 SF (Complies)
3. Sign C (Proposed additional sign)	120 SF	35.85 SF (Complies)
4. Sign D (Proposed additional sign)	300 SF	356.5 SF (Proposed)
5. Sign E (3 of 3)	200 SF	95 SF (Complies)

**Sign A:** Sign A is a hybrid of a flat sign in the form of an “overcanopy” sign. Sign A does not extend greater than 18 inches above the roof of the building. Pursuant to Sec.: 47-22.4.C.13.d.i flat signs in the RAC if located within sixty (60) feet of ground level, such sign shall be no larger than ten percent (10) of the wall area upon which it is to be erected or one hundred twenty (120) square feet, whichever is less – the Applicant is proposing a sign area of 130.5 SF. Ten percent of the frontage of the building is greater than 120 SF and since the structure itself is a high-rise building and the canopy is set back from the right of way, a 130.5 SF sign is appropriate for visibility. The construction of Sign A will provide the illusion of a free-floating sign above the entrance architectural feature – no cross bars or supports will be visible.

**Sign B:** Sign B is a flat sign located on the southern elevation at the podium “balcony” level – which is 94 feet above grade. If such a sign is to be located between sixty-one (61) feet and one hundred (100) feet above ground level, then such a sign shall be no larger than ten percent (10) of the wall area upon which it is to be erected or two hundred (200) square feet, whichever is less. Sign B is proposed to be 94.6 SF. Therefore, proposed Sign B is less than the area permitted by Sec.: 47-22.4.C.13.d.ii.

Sign C: Sign C is a flat sign located relatively interior to the entrance lobby to the building. Primarily for visibility from drop off traffic and will be minimally visible from the ROW. Sign C is 35.85 SF and is located at grade. Sign C complies with the maximum area of 120 SF for a flat sign at this height.

Sign D: Sign D is a logo supergraphic located at the top of the building at 475 feet. While Sign D is not completely a flat sign, if a flat sign is to be located over one hundred (100) feet above ground level, then such a sign shall be no larger than ten percent (10) of the wall area upon which it is to be erected or three hundred (300) square feet, whichever is less. Sign D is the interior frosting of glass enclosure building top consisting of the Gables logo element. Due to its location at 475 feet in the air the size of the Sign D proposed at 356.5 SF is a de minimus deviation from the maximum area requirement for a flat sign.

Sign E: Sign E is a flat sign located on the southern elevation at the podium “pool balcony” level – which is 108 feet above grade. If such a sign is to be located between sixty-one (61) feet and one hundred (100) feet above ground level, then such a sign shall be no larger than ten percent (10) of the wall area upon which it is to be erected or two hundred (200) square feet, whichever is less. Sign E is proposed to be 95 SF. Therefore, proposed Sign E is less than the area permitted by Sec.: 47-22.4.C.13.d.ii.

**Sec. 47-22.4.C.13.I. Site Plan Level II review.**

- I. When any sign is proposed to be constructed or erected which does not comply in all respects with the requirements for signs in the Central Beach Districts and in the Regional Activity Center (RAC) Districts, then such signs shall only be permitted when reviewed as a Site Plan Level II permit subject to a fifteen (15) day period for Commission Request for Review (CRR).*

Pursuant to Section 47-22.4.C.13.I, the Applicant seeks approval of the proposed signs. As can be seen in the renderings, sign specifications; and placement diagrams, the proposed signs are not only welcoming and attractive, but appropriately designed for this high-rise residential tower to provide appropriate building identification and location information.

As such, the Applicant respectfully requests approval of the proposed signage on this new construction building.

A handwritten signature in black ink, appearing to read 'J. Crush', is written over a light blue rectangular background.

Jason S Crush, Esq.  
For the Firm



GABLES.  
RESIDENTIAL

December 11th, 2024

David Soloman  
City Clerk  
1 East Broward Blvd.  
Suite 444  
Fort Lauderdale, Florida 33301

Re. Property located at 333 North New River Drive East. in Fort Lauderdale, FL  
(the "Property")

Dear Mr. Soloman:

Crush Law, P.A., specifically Courtney Crush and Jason Crush are authorized to represent CG Riverwalk LP, regarding development rights for the Property.

Sincerely,

Jorgen Punda  
CG Riverwalk LP

STATE OF VA  
COUNTY OF Fairfax

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 13th day of December, 2024, by Sarah Elizabeth Quirk

(NOTARY SEAL)-  
Sarah Elizabeth Quirk  
(Name of Notary Typed, Printed, or Stamped)  
Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced





GABLES.  
RESIDENTIAL

December 11th, 2024

David Soloman  
City Clerk  
1 East Broward Blvd.  
Suite 444  
Fort Lauderdale, Florida 33301

Re. Property located at 333 North New River Drive East. in Fort Lauderdale, FL  
(the "Property")

Dear Mr. Soloman:

Crush Law, P.A., specifically Courtney Crush and Jason Crush are authorized to represent CG Riverwalk LP, regarding development rights for the Property.

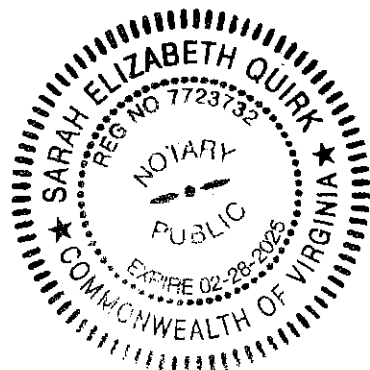
Sincerely,

  
\_\_\_\_\_  
Jorgen Punda  
CG Riverwalk LP

STATE OF VA  
COUNTY OF Fairfax

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 13th day of December, 2024, by Jorgen Punda

(NOTARY SEAL)  
Sarah Elizabeth Quirk  
\_\_\_\_\_  
(Name of Notary Typed, Printed, or Stamped)  
Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced





**CITY OF FORT LAUDERDALE  
DEVELOPMENT SERVICES DEPARTMENT**

**ADDRESS VERIFICATION CONFIRMATION**

Verification Request #: BLD-ADDVER-24120014

Completion Date: 12/13/2024

Purpose of Address Request: To verify an existing address and any formerly assigned addresses

**PROPERTY INFORMATION**

The property information is listed below. If the property has more than one address, please note that more than one folio number will be listed

Folio Number: 504210040180  
Address: 333 N NEW RIVER DR E, FORT LAUDER  
Legal Description: WHEELERS SUB BLK B FT LAUDERDALE 3-59 D LOT 25 LESS W 15 FOR ST,26,

---

Requestor Name: Jason Crush  
Requestor Email: jcrush@crushlaw.com  
Requestor Phone: 9546840050

Verified / Assigned Address: 333 N NEW RIVER DR E, FORT LAUDER

Former / Known As Address: 333 N NEW RIVER DR E, FORT LAUDER

Authorized City Representative: JAZMINE EVEILLARD

Notes (If Applicable): The following address are under folio 504210040180:  
333 N NEW RIVER DR E, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #1000, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #1200, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #1500, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #2000, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #2100, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #2200, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #2500, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #2806, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #3000, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #3100, FORT LAUDERDALE, FL 33301  
333 N NEW RIVER DR E #4000, FORT LAUDERDALE, FL 33301

