

CITY OF FORT LAUDERDALE

# DEVELOPMENT REVIEW COMMITTEE



## CASE COMMENT REPORT

CASE NO. UDP-S24046



**CITY OF FORT LAUDERDALE**



### CASE INFORMATION

<b>CASE</b>	UDP-S24046
<b>PROJECT NAME</b>	Carter Plaza
<b>APPLICATION TYPE</b>	Site Plan Level II
<b>APPROVAL LEVEL</b>	DRC Approval
<b>REQUEST</b>	3,930 Square-Foot Office
<b>APPLICANT</b>	Jerry and Ella Carter
<b>AGENT</b>	Donald Senatore (Architect)
<b>PROPERTY ADDRESS</b>	2405 NW 19 <sup>th</sup> Street
<b>ABBREVIATED LEGAL DESCRIPTION</b>	North West Lauderdale 25-25 B Lot 50,51 Blk 2
<b>ZONING DISTRICT</b>	B-3 (County Zoning)
<b>LAND USE</b>	Commercial
<b>COMMISSION DISTRICT</b>	3 - Pamela Beasley-Pittman
<b>NEIGHBORHOOD ASSOCIATION</b>	Rock Island Community Dev.
<b>SUBMITTAL</b>	June 21, 2024
<b>COMPLETENESS ISSUED</b>	December 19, 2024
<b>EXPIRATION</b>	April 18, 2025 (120 Days)
<b>WAIVER</b>	Not Requested
<b>CASE PLANNER</b>	Nancy Garcia Urban Planner II

### RESUBMITTAL INFORMATION

- Applicant must provide written responses to all DRC comments contained herein.
- Written responses must specify revisions made to the plans and indicate the sheet.
- Resubmitted plan sets must be accompanied by responses to be accepted.
- Any additional documentation must be provided at time of resubmittal.
- Resubmittals must be conducted through the City's online citizen's portal LauderBuild.
- Questions can be directed to the Case Planner assigned to the case.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Specify uses and occupancy classification per Chapter 3 of the 2023 FBC.
2. Show allowable height, allowable number of stories, and allowable area compliance per Chapter 5 of the 2023 FBC.
3. Provide building construction type designation per Chapter 6 of the 2023 FBC.
4. Specify fire-resistance rating requirements based on building separation and construction type per Table 601 and 602 of the 2023 FBC.
5. Provide occupancy loads with compliant life safety egress design per Chapter 10 of the 2023 FBC.
6. Indicate code compliant sprinkler system per Section 903 of the 2023 FBC.
7. Provide accessible route connecting handicap parking spaces to accessible building entrances per FBC Accessibility volume.
8. Show that the openings in the exterior walls adjacent to the east property line meet the requirements of Table 705.8 of the 2023 FBC.
9. Reference the 2023 Florida Building Code 8th edition on plan for the proposed development.

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. FBC Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in

**Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;

- a. [https://library.municode.com/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://library.municode.com/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

**Please consider the following prior to submittal for Building Permit:**

1. On December 31st, 2023 the 8th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations:
  - b. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services>
  - c. [https://floridabuilding.org/bc/bc\\_default.aspx](https://floridabuilding.org/bc/bc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>

**General Guidelines Checklist is available upon request.**



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**CASE COMMENTS:**

Prior to Final DRC sign-off, please provide updated plans and written response to the following review comments:

1. Provide 10' x 15' (min.) permanent water Easement for any 4 Inch or larger fire line located within the proposed development (for City Maintenance access); show / label delineation in the plans as appropriate.
2. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If the adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Submit water and wastewater capacity availability request form and documents/ plans through the city website. <https://www.fortlauderdale.gov/government/departments-a-h/development-services/building-services/engineering-permits/development-review-committee-service-demand-calculations-for-water-sewer-request-form>
3. Provide a current signed and sealed boundary and topographic survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. If any encumbrances are found in the property, provide a copy of the recorded documents accordingly (i.e. easements, dedications, agreements, vacations, etc.).
4. Provide disposition of existing utilities on-site and within the adjacent right of way that may be impacted by the proposed development. Label information on plans (i.e. utility to remain/ be relocated/ removed). Provide correspondence from utility owner (as applicable) and depict any additional requirements they may have on plan (i.e. easements). Utilities include but are not limited to above and underground water, sewer, drainage, electrical, communications, light/power poles, down guys, fire hydrants, manholes, etc.
5. Submit a formal Site Plan that features all critical dimensions for the proposed development, such as building setbacks, parking lot access, and typical roadway travel lane widths for NW 19<sup>th</sup> street.
6. Depict proposed stop sign on driveway connections to the right of way as applicable.
7. Broward county code (39-56)No sign structure of any type shall be located within twenty-five (25) feet of the intersection of any two public or private streets or within an area of property on both sides of an access way or driveway formed by the intersection of each side of the access way and the public right-of-way line with both sides of the triangle being fifteen (15) feet in length from the point



of intersection and the third side being a line connecting the ends of the other two sides. The sign face of a monument sign may extend into the sight triangle to the minimum setback.

8. Clearly depict trash enclosure on site plan.
  - a. Show truck turning movements in and out the proposed dumpster enclosure as applicable.
9. Sheet A-8 building elevation should match the site plan and show property line and public access sidewalks along NW 19<sup>th</sup> street.
10. Existing public sidewalks adjacent to the proposed development (to remain) must be inspected by the Engineer of Record to ensure existing sidewalks meet ADA standards and are in good condition. A signed and sealed assessment must be provided indicating sidewalks were inspected and any sidewalk replacement requirements. Plans shall reflect the extent of sidewalk replacement accordingly.
11. Provide additional drive aisle widths 24' (min) adjacent to 90-degree angle parking stalls on sheet A-2.
12. Provide individual domestic water and fire line connections. Please, separate them.
13. Provide 6-in. sewer cleanout at 2.5' from the right-of-way line as per City of Fort Lauderdale Engineering Detail Standard #213. Shall cleanout fall on a vehicular access area, a traffic rated (H-20) cover shall be provided as per detail # 215.
14. Verify Broward County requirements for any milling and asphalt pavement restoration in vicinity of proposed road cuts for utilities and/or curb cuts within their respective Right-of-Way jurisdictions.
15. Provide sufficient existing and proposed grades and information on conceptual Paving, Grading, and Drainage Plan and details to demonstrate how stormwater runoff will remain onsite ((include typical cross-sections along all property lines as appropriate.
16. Depict proposed building doors and provide sufficient grades/details on conceptual paving, grading and drainage plans to verify ADA accessibility design for the site, especially ground floor access to the new building, as well as crossing proposed driveways and connecting to existing sidewalks (at intersections and with adjacent property) as appropriate; coordinate proposed site grading and 1st Level Finished Floor Elevations to meet ADA accessibility requirements.
17. Please, remove any existing elevation shown on cross sections on civil sheet C-5. Provide the correct proposed berm elevation.
18. Show and label all existing and proposed utilities (utility type, material and size) on civil and landscaping plans for potential conflict. A min. 5 feet and 10 feet horizontal clearance horizontal separation is required between city utilities infrastructure and proposed small and large trees, respectively (including proposed water and sewer services to the development).
19. Proposed trees shall be installed a min. 4 feet behind proposed curbs when adjacent to travel lanes and a min. 6 feet away from adjacent travel lanes when no curb is present.
20. Provide Maintenance Agreement Area Exhibit, which provides a visual representation of the area within the adjacent public Right-of-Way (adjacent to the proposed development) to be maintained in perpetuity by the developer. Label whether the adjacent Right-of-Way is FDOT, BCHCED, or City jurisdiction, as well as label all proposed improvements, including asphalt and other specialty paving,



specialty sidewalks, landscaping, irrigation, lighting, curb and gutter etc. that will be maintained by the Applicant throughout the life of the improvements. Perpetual maintenance of newly constructed exfiltration trenches, inlets, etc. within adjacent City Right-of-Way will typically revert back to the City, upon successful inspection/acceptance by Public Works after 1-year warranty period.

21. Within adjacent City Right-of-Way, staging/storage will not be allowed, construction fence shall not encroach within intersection corner sight triangles, construction fence gates shall not swing into the public Right-of-Way
22. Proposed public and private improvements shall consider the construction limitation per Code of Ordinance Section 25-7 on all streets, alleys and sidewalks which are under the jurisdiction of the city, as these may be closed for construction for a period not to exceed seventy-two (72) hours.

For Engineering General Advisory DRC Information, please visit our website at <https://www.fortlauderdale.gov/home/showdocument?id=30249>

Additional comments may be forthcoming at the DRC meeting and once additional/ revised information is provided on plans.



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**CASE COMMENTS:**

Please provide a response to the following:

1. 2024 FEMA FIRM-Structure is not located in a Special Flood Hazard Area. Provide elevation of structure in NAVD.

**GENERAL COMMENTS**

The following comments are for informational purposes.

1. Additional comments may follow pending submission of the complete plan set.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Being that there are overhead FPL utilities along NW19th Street, please switch out the Live Oaks for a compatible species of tree. Section 47-39.A.13.C.1.g.
2. Trees and landscape materials abutting the ROW extending from the driveway; for the first ten feet from the driveway there is to be only ground covers. Tree(s) and shrubs are not to be within this first ten feet. Please provide a measurement to the west and east on the plan showing this first ten feet from the driveway. Section 47-39.A.13.G.2.a.
3. Being that a visual screening of the VUA and ROW is required. That there is conflict with the first ten feet from the driveway of only having ground covers and the down sloop and depth of the retention area. Please investigate and provide the VUA buffer planting on the high side of the retention area adjacent to the parking stalls. Section 47-39.A.13.F.5.a.&b.
4. Clusia plants need room to grow and those proposed along the public realm of the sidewalk would be, as to the Department's experience, problematic as to maintaining at 30" height and off the sidewalk. The Department would suggest for along the sidewalk smaller maintainable plant materials. A suggestion from the Department would be within the ten feet area of ground cover such as Perennial Peanut if not turf grasses. The other areas beyond the ten feet area such as Lantana shrubs or other such material that would bring attention to the site. Section 47-39.A.13.C.1.g.
5. Please show location of any proposed light poles on Landscape plan. Shade trees require a minimum off-set of 15 feet, palms and small maturing trees 7.5 feet from light fixtures of 10 feet height or taller. Section 47-39.A.13.C.1.g.
6. Please show the dumpster location on the Landscape plans with its required landscape materials. Section 47-39.A.13.I.1.c.
7. Please show on Landscape plans any proposed freestanding signage and its landscape materials. Section 47-39.A.13.I.1.d.
8. Have Arborist provide equivalent value and replacement value for those being removed. Please demonstrate how mitigation will be provided. These plans submitted 6/21/2024 mitigation under previous tree preservation ordinance.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following:

1. A separate sub-permit application for Tree Removal, Relocation, and General Landscaping for site is required at time of master permit submittal. These are Landscape and Tree permit application documents different than the Broward County standard applications. Please do not apply for these at time of DRC submittal.



2. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.
3. Proposed landscaping work in the City's right of way requires engineering permit and approval. This approval requires documents to be submitted for Engineering review. Note that Landscape will not approve permit review without these Engineering documents being submitted.
4. Provide separate Plumbing sub permit application for irrigation. Irrigation plans are required at time of Building permit submittal. Plans are to be in compliance with ULDR 47-21.6, A.11 and 47-21.10. Note that planting areas are to be irrigated on a separate zone than the turf areas so that once the plants are established, that particular zone can be shut off based on the season. The overall goal is to decrease water use through irrigation. Plant material must be grouped together based on watering needs (hydrozone) and turf areas must be limited and/or consolidated to less than 50% of the landscaped area. Illustrate hydrozones on planting plan and include calculations in table.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Glass doors and windows should be equipped with burglary deterrent features such as track blocks, door pins, or similar devices.
2. All glazing should be impact resistant.
3. The building should be pre-wired for an alarm system.
4. Lighting and landscaping should follow CPTED guidelines.
5. A Video Surveillance System (VSS) should be employed throughout the property with focus on entry/exit points, bay doors, loading zones, parking lot, hallways, offices, and common areas. It should be capable of retrieving an identifiable image of a person.
6. Light reflecting paint should be used in the parking lot to increase visibility and safety.
7. All restricted areas and employee only areas should be access controlled and labelled as such.
8. Office and restroom doors should be lockable from the inside to provide safe shelter in the case of an active threat such as an active killer event.

**GENERAL COMMENTS**

It is highly recommended that the managing company make arrangement for private security during construction.

Please submit responses in writing prior to DRC sign off.



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**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your business creates, and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City.
4. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name (Commercial).
5. Service Days shall be: No restriction for Commercial collection. Service may not occur earlier than 7:00 am or later than 10:00 pm within 250 feet of residential.
6. Solid Waste Collection shall be on private property container shall not be placed, stored, or block the public street to perform service (large multifamily and commercial parcels).
7. Provide on the site plan a garbage truck turning radius for City review. Indicate how truck will circulate within property.
8. Solid Waste transport to trash rooms or to primary waste container shall be performed inside building using interior service corridor (Retail, Office, Condo, Hotel).
9. Containers: must comply with 47-19.4
10. Dumpster enclosure: concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strengthen apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
11. Trash Room services will be handled by private collector, or Trash Room services will be done by on site personnel, or Trash Room services will be done by custodial staff.
12. Submit a Solid Waste Management Plan on your letterhead containing the name of project, address, DRC case number, number of units if applicable, and indicate whether it is Pre or Final DRC.
  - *This letter is to be approved and signed off by the Sustainability Division and should be attached to your drawings. Please email an electronic copy to [Gwoolweaver@fortlauderdale.gov](mailto:Gwoolweaver@fortlauderdale.gov). The letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and containers requirements to meet proposed capacity.*
  - *Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.*

**GENERAL COMMENTS**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC:

Please provide specific details of solid waste and recycling collection per building



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**CASE COMMENTS:**

1. No comments.



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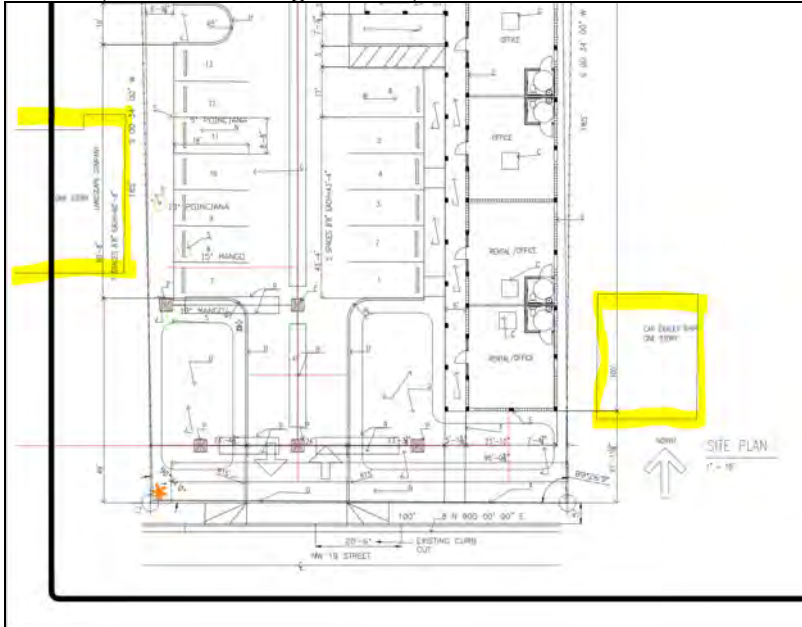
**CASE COMMENTS:**

Please provide a response to the following:

1. Pursuant to State Statute 166.033(1) the application must be deemed approved, approved with conditions, or denied within 120 days of completeness determination, on or before April 18, 2025 unless a mutually agreed upon time extension is established between the City and the applicant. Please provide a statement requesting and agreeing to a waiver of these timeframes, or request a specified amount of additional time to address the comments and provide sufficient time for review and approval. Failure to meet the applicable timeframe or request an extension may result in the application being denied by the City and the applicant may be required to refile a new application and fees to proceed.
2. The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized associations is provided on the City's website: <https://www.fortlauderdale.gov/government/departments-a-h/city-manager-s-office/office-of-neighbor-support/neighborhood-associations> and a map of neighborhood associations may be found at: <http://gis.fortlauderdale.gov/propertyreporter>). Please provide acknowledgement and/or documentation of any public outreach.
3. The site is designated Low Medium Residential on the City's Future Land Use Map. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
4. The proposed project must be consistent with the latest recorded plat restrictions. Provide a Plat Determination Letter from Broward County Planning Council verifying whether the property needs to be platted or re-platted by following the [Platting Determination Submittal Requirements](#) or contact the Broward County Planning Council, at (954) 357-6695. If a plat note or non-vehicular access line (NVAL) amendment is needed, a separate application is required, which is reviewed administratively and can be found here: [Administrative Review Application](#)
5. Indicate the project's compliance with, ULDR, Section 47-25.3 Neighborhood Compatibility Requirements, by providing a point-by-point response to criteria, focusing on how the proposed project successfully transitions from the adjacent residential areas, paying particular concern to the building height, scale, and massing, open space and landscape areas.
6. Provide the following changes on the Architectural Plans:
  - a. Based on the Sheet Index, the following sheets are missing from the plan set: A-6, A-7B, A-7C, A-10, LS-1, M-1, M-2, M-3, E-1, E-2, E-3, E-4, E-5. Revise plan set accordingly.
  - b. The arrow symbols used for the site plan notes on Sheet A-2 are obstructing the site plan information. The symbol should be changed so that it does not overlap or interfere with the drawings or site plan information.
  - c. A heavier line weight should be used to identify the property boundaries.



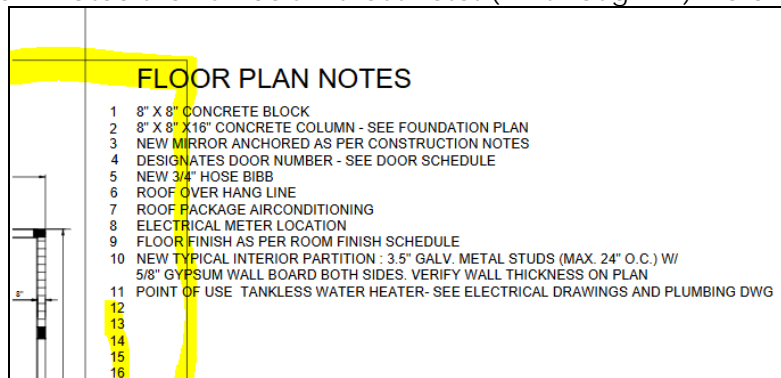
- d. Indicate all adjacent property boundaries, building footprints, indicating their uses and heights, and dimension approximate setbacks. Sheet A-2 appears to show the adjacent uses, however the drawings should be shifted or centered on the page so that the buildings are not cut-off (reference image below).



- e. Pursuant to Broward County Code Section 39-294, the minimum setback for any building or structure which is contiguous to a residentially zoned property shall be 25 feet from the property line. The church property located north of the subject site is residentially-zoned (RD-10 County) and shall meet the 25 foot setback requirement.
- f. Pursuant to Broward County Code Section 39-294, no building or structure shall be constructed or maintained within 15 feet of the intersection of any driveway and street. Label dimensions accordingly.
- g. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate plans where users' accessibility is accommodated for all container areas.
- h. Pursuant to Broward County Code Section 39-294, dumpsters located on any property in a commercial zoning district shall comply with the following:
- 1) Dumpsters shall be kept within opaque or translucent enclosures and shall be located at least five feet inside any property line; however, no dumpster or dumpster enclosure shall be located in a required setback or buffer area, unless a street or dedicated alley separates the commercial plot from any adjacent residential property.
  - 2) Dumpsters shall be maintained free of jagged or sharp edges or inside parts which could prevent the free discharge of their contents.
  - 3) Dumpsters shall be emptied by a licensed collector at intervals which will preclude overflow. Dumpsters and the area around the dumpster and dumpster enclosure shall not be used for disposal of furniture and major appliances and shall be maintained by the property owner free of overflowing refuse at all times.
  - 4) All dumpster pads shall be at least two feet larger than the dumpster on all sides. Wheel stops or posts shall be permanently affixed to the pad at least one foot inside the perimeter of the pad to prevent the dumpster from striking the enclosure during collection.



- 5) Dumpsters and dumpster enclosures shall be located in a position accessible for collection by the equipment of the collector.
  - 6) The dumpster enclosure shall be constructed so as to accommodate recycling bins, if the recycling bins are over forty (40) gallons.
  - 7) The gates of the enclosure shall be constructed of a frame with opaque or translucent walls affixed thereto, and both frame and walls shall be of a material of sufficient strength to withstand normal use. Gates shall be attached to metal posts at least three (3) inches in diameter with at least two (2) hinges. Each gate shall have a wheel at the bottom to prevent sagging and shall have drop pins or rods to hold the gates in place in both open and closed positions.
  - 8) The base of the enclosure must be poured concrete, in accordance with the requirements of the South Florida Building Code. The base shall extend three (3) feet beyond the front opening of the enclosure as an apron, and all concrete must be level with adjacent asphalt.
- i. Sheet A-5 and A-6 should show the floor plan as a singular building instead of split into two views.
  - j. Revise the floor plan notes on Sheet A-5 so that the drawing does not overlap the text. Also eliminated the numbers without notes (12 through 27). Reference image below):



- k. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground, provide documentation from Florida Power & Light Company indicating such.
  - l. Provide a site lighting plan with photometrics values extending and shown to the property lines. Provide details for site poles.
7. Provide the following changes on elevations:
- a. Provide renderings from street perspectives.
  - b. Provide each building façade in color.
  - c. Provide building material details including images of the product material by manufacturer. Materials should be numbered and identified on each façade.
  - d. Large blank walls should be avoided. The proposed stucco on the eastern and northern wall are insufficient. Consider architectural features such as color and material banding to complement the adjacent residentially zoned properties and enhance the overall appearance of the walls. Architectural treatments should continue around the corner onto the adjoining wall.

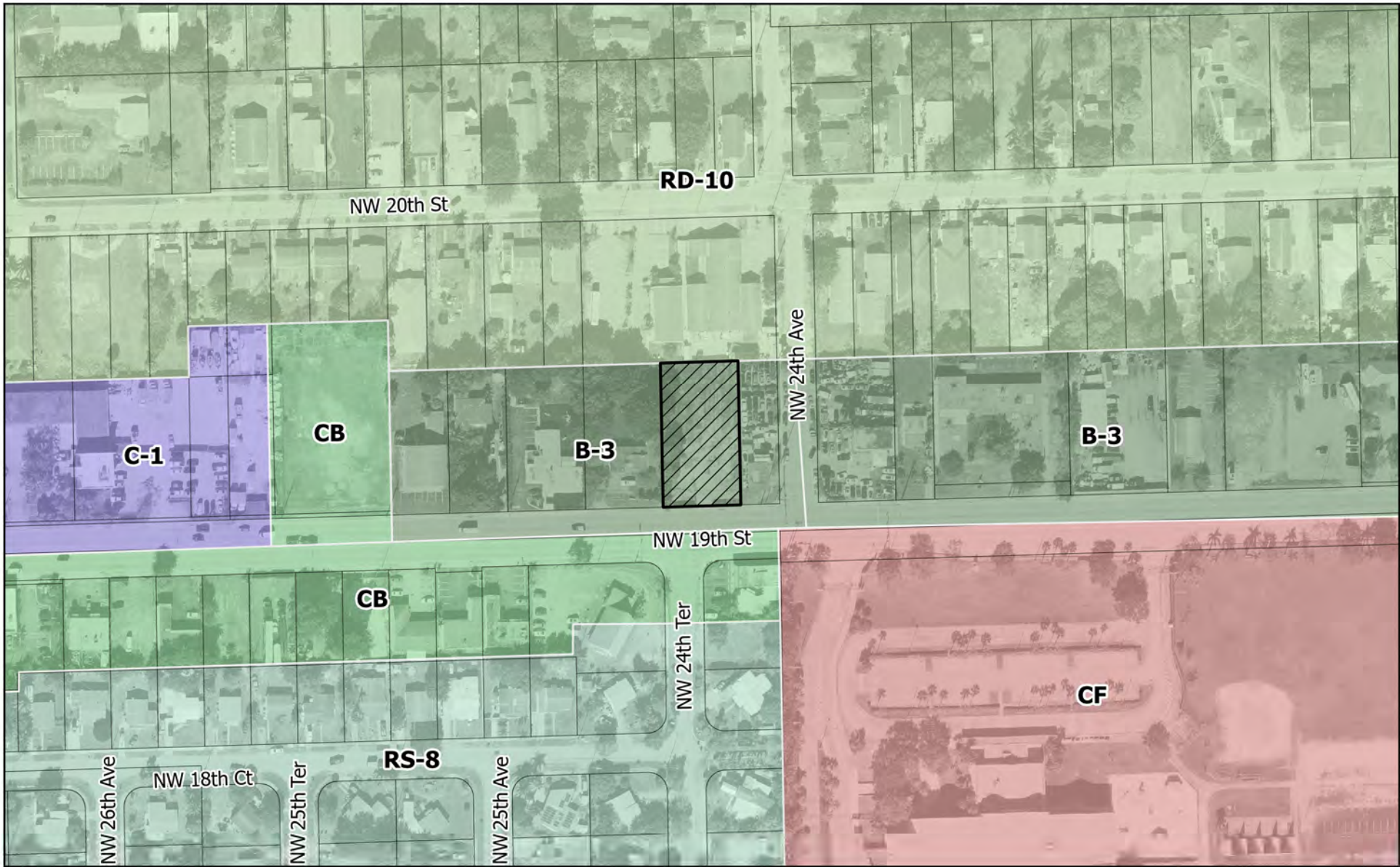


8. Pursuant to ULDR Section 47-25.3.A.3.b.iii, Neighborhood Compatibility Requirements; all rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structures. Provide the following:
  - 1) Roof plan indicating the location of all mechanical equipment with spot elevations of the parapet wall and roof as well as mechanical equipment to verify adequate screening;
  - 2) Identify the location of equipment on building elevations by outlining the equipment with dash lines; and
  - 3) Provide screening product material including images or pictures of actual application of such.
9. Provide a preliminary construction staging plan which includes anticipated hours of operation on site, debris mitigation plan, and map indicating where crane operations and employee and/or equipment parking and storage will be placed. A revocable license application and a traffic circulation plan may be required if the sidewalk or right-of-way requires to be closed at any time, which should be filed under separate application and coordinated through the City's Maintenance of Traffic (MOT) process.

#### **General Comments**

The following comments are for informational purposes.

1. Additional comments may be forthcoming at the Development Review Committee meeting.
2. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to submitting your plans for Final DRC sign-off, please schedule an appointment with the case planner Nancy Garcia (Email: Ngarcia@fortlauderdale.gov, Phone: 954.828.8958) to review project revisions.



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**Legend**

-  Fort Lauderdale Municipal Boundary Line
-  Subject Site

