

**REGULAR MEETING
NORTHWEST-PROGRESSO-FLAGLER HEIGHTS REDEVELOPMENT
ADVISORY BOARD**

December 13, 2022 - 3:00 PM

City Hall – 8th Floor Conference Room

100 North Andrews Avenue

Fort Lauderdale, Fl. 33301

- | | | |
|-------|---|--------------------------|
| i. | Call to Order/Roll Call
Quorum | Rhoda Glasco F.
Chair |
| ii. | Approval of Minutes
□ 10.11.2022 Minutes | NPF CRA Board |
| iii. | Project Funding Update
CRA Business Manager | Vanessa Martin |
| iv. | Request for Additional Funding – Thrive Development
Group, LLC - \$1,000,000 Development Incentive Program
Thrive Progresso Project | CRA Staff |
| v. | Communication to CRA Board of Commissioners | NPF CRA Board |
| vi. | Old/New Business | |
| vii. | Public Comments | |
| viii. | Adjournment | |

THE NEXT REGULAR NPF-CRA MEETING WILL BE HELD, **Tuesday, January 10, 2023.**

Purpose: To review the Plan for the NPF-CRA and recommend any changes to the Plan. To make recommendations regarding the exercise of the City Commission's powers as a community redevelopment agency in order to implement the Plan and carry out and effectuate the purposes and provisions of Chapter 61-2165, Laws of Florida and Section 163.330 through 163.450, Florida Statutes in the NPF-CRA. To receive input from members of the public interested in redevelopment of the NPF-CRA and to report such information to the City Commission.

Note: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings and for such purpose he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Anyone needing auxiliary services to assist in participating at the meeting should contact the City Clerk at (954) 828-5002 two days prior to the meeting.

Note: *Advisory Board members are required to disclose any conflict of interest that may exist with any agenda item prior to the item being discussed.*

Note: *Advisory Board members should disclose any discussions or site visits to any project that come before the Advisory Board for a recommendation.*

Note: *Two or more Fort Lauderdale City Commissioners or Members of a City of Fort Lauderdale Advisory Board may be in attendance at this meeting.*



CITY OF FORT LAUDERDALE

DRAFT
REGULAR MEETING MINUTES
NORTHWEST-PROGRESSO-FLAGLER HEIGHTS
REDEVELOPMENT ADVISORY BOARD
CITY OF FORT LAUDERDALE
OCTOBER 11, 2022 – 3:00 P.M.
FORT LAUDERDALE, FLORIDA

<u>Board Members</u>	<u>Attendance</u>	Cumulative Attendance	
		<u>Present</u>	<u>Absent</u>
Rhoda Glasco Foderingham, Chair	P	3	1
Dylan Lagi, Vice Chair	P	4	0
Sonya Burrows	P	4	0
Kenneth Calhoun	P	4	0
Lisa Crawford	P	4	0
John Hooper	A	2	3
Michael Lewin	P	4	1
Steffen Lue	P	4	1
Lorraine Mizell	P	3	1
Christopher Murphy	P	4	0
Alfredo Olvera	P	2	2
John Quaily	P	4	0

Currently there are 12 appointed members on the Board, which means seven (7) would constitute a quorum.

Staff

- Clarence Woods, III, NPF CRA Manager
- Eleni Ward Jankovic, Project Coordinator
- Lizeth DeTorres, Sr. Administrative Assistant
- Bob Wojcik, Housing and Economic Development Manager
- Vanessa Martin, NPF CRA Business Manager
- Corey Ritchie, CRA Construction Manager
- Jamie Opperlee, Prototype Inc. Recording Secretary

Communication to the CRA Board of Commissioners

Motion made by Mr. Calhoun, seconded by Mr. Olvera, to request the Board of CRA Commissioners reconsider the Sistrunk View project and that the minutes from this CRANWP Board meeting accompany that request. In a roll call vote. Motion passed 11-0.

I. Call to Order/Roll Call

Chair Foderingham

Chair Foderingham called the meeting to order at 3:00 p.m. and roll was called.

II. Approval of Minutes

NPF CRA Board

- September 13, 2022 Minutes

Motion by Mr. Lewin, seconded by Mr. Murphy, to approve the minutes of September 13, 2022. In a voice vote, the motion passed unanimously.

III. Project Funding Update

Vanessa Martin

Ms. Martin provided an update in the Board's packet and related some highlights. They had encumbered the full \$12 million for West Village for fiscal year 2023. Regarding the in-progress report she said the YMCA was in year seven. They had encumbered \$8,9 million and disbursed \$6.2 million. Fiscal Year 2024 would be the final encumbrance for that project.

Mr. Woods discussed the funding request that had been denied by the CRA Board of Commissioners. He said the Commissioners had stated there was sufficient affordable housing in that neighborhood, so they needed to do something else. The RFP would go back out, with language edited to encourage more of a commercial component.

Chair Foderingham was concerned because the project had gone through the review process and was found to meet the requirements for affordable housing. She did not understand how this would not be a suitable location, given that it was on a corridor with transportation availability. At the State of the City, the Mayor had indicated affordable housing was a major concern, and Chair Foderingham did not see how the project did not address that concern. Chair Foderingham wished to send the Commissioners a communication asking them to reconsider their action regarding the RFP. Mr. Woods said the Commissioners had indicated they did not want to concentrate affordable housing in this one City district.

Mr. Woods pointed out that this project had been a first in that it would give money back to the CRA. He thought it was a wonderful project that met all the requirements of the redevelopment plan and their vision.

Chair Foderingham noted there had been a concern about lack of minority involvement in construction and this project was an opportunity to address that as well.

Ms. Burrows noted that most of these projects had some "affordable" housing, but it was not affordable to people living in the community. This project had a low-income component, and she wondered if that was what the Commissioners objected to.

Motion made by Mr. Calhoun, seconded by Mr. Olvera, to request the Board of CRA Commissioners reconsider the Sistrunk View project and that the minutes from this CRANWP Board meeting accompany that request. In a roll call vote. Motion passed 11-0.

Items IV and V were discussed together.

**IV. Request for Funding – 724 NW 6th Ave LLC for
724 NW 6th Avenue Fort Lauderdale, FL 33311**

CRA Staff

- **\$225,000 – Property and Business Improvement Program**
- **\$125,000 – Façade Program**

Mr. Wojcik said this was a request for \$225,000 from the Property Business Improvement Program and \$125,000 from the Façade Program to renovate the property, which was a warehouse structure adjacent to the Thrive Progresso project. Total renovation costs were \$389,000 and the \$350,000 from the CRA request was 90% of those costs. Mr. Wojcik said a waiver would be required to allow the developer to use his own contractor and receive the 90% contribution as opposed to 60%.

Mr. Wojcik informed the Board that they had already provided the Thrive project with \$2.5 million from the Development Incentive Program [DIP], as well as \$490,000 from the Streetscape Enhancement Program [SEP]. He noted these buildings were an expansion and had not been included in the original project. He explained there were no criteria to grant the waiver; this was at the Board's discretion.

Anthony Malinovski said they wanted to bring in higher-use tenants to the buildings. He thought this was the minimum renovation that needed to be done to bring redevelopment west. Mr. Wojcik said the developer could rent the property in its current condition but they wanted to become part of the Thrive Progresso experience.

Mr. Malinovski said they had already signed some tenants and the buildings would be ready to start build-outs in November. One tenant was a sports studio, leasing at \$17 per square foot, triple net; another was a leather goods vendor leasing at \$18 per square foot, triple net. They had 15 pending tenants, representing approximately 25% of the total square footage. Mr. Malinovski said the units were able to be subdivided, and most came with two electrical panels, two AC units and two bathrooms. The smallest unit was 700 square feet and the largest was 3,400 square feet. Triple net lease meant the tenant paid for property taxes, property insurance and common area maintenance.

Mr. Lewin noted they had already committed almost \$3 million to Thrive but acknowledged that construction costs had increased. Mr. Malinovski confirmed that when they came to the CRA, the estimated costs were \$5 million and now they were almost \$9 million. Mr. Lewin felt requesting 90% was a bit aggressive, since tenants were about to

move in and generating cash flow. He thought there may be a more reasonable balance between the CRA and the developer's investment.

Mr. Murphy noted the developer had already put up the funds for the building, not just the project costs, so the CRA's contribution was a smaller percentage when that was added in. This request was meant to change the building's use from automotive to something that could benefit the community.

Mr. Malinovski stated they wanted to encourage specific types of tenants, such as artists, food and beverage, high-end mini warehouses, retail, and sports studios.

Chair Foderingham shared Mr. Lewin's concerns that the CRA had already contributed almost \$3 million and the first project was not completed yet. Once the project was complete, the developer may be able to reevaluate.

Ms. Crawford understood the desire to expand and to change the uses in this space.

Mr. Lagi stated he would abstain from this item because he had a prior business relationship with the developer.

Mr. Lewin said he would vote no and suggested the developer return after Thrive was finished with a more balanced request.

Motion by Mr. Murphy, seconded by Ms. Crawford, to approve the funding request. In a roll call vote, the motion **failed** 3-7 with Mr. Calhoun, Mr. Lewin, Mr. Lue, Ms. Mizell, Mr. Olvera, Mr. Quailey and Chair Foderingham opposed Mr. Lagi abstaining.

**V. Request for Funding – 708 NW 6th Ave LLC for
708-718 NW 6th Avenue Fort Lauderdale, Fl. 33311**

CRA Staff

- **\$350,000 – Property and Business Improvement Program**
- **\$125,000 – Façade Program**

Mr. Wojcik said this was adjacent to the previous property. They were requesting a total of \$475,000 and the total cost was \$527,800, so the CRA contribution would be 90%. As for the previous project they would also seek a waiver to allow the developer to use his own contractor and receive the 90% contribution as opposed to 60%.

Motion by Mr. Murphy, seconded by Ms. Crawford, to approve the funding request. In a roll call vote, the motion **failed** 3-7 with Mr. Calhoun, Mr. Lewin, Mr. Lue, Ms. Mizell, Mr. Olvera, Mr. Quailey and Chair Foderingham opposed Mr. Lagi abstaining.

VI. Request to Increase Property and Business Improvement Program Funding to Cravenmadness LLC by \$347,219.89 for the Jamaican Jerk Shack Restaurant Build-out and Equipment Shoppes On Arts Avenue – 560 NW 7th Avenue CRA Staff

Mr. Wojcik said the project had been awarded \$225,000 in Property Business Improvement funding and \$20,000 in Façade program funding in 2019. Since then, there had been significant increases in construction costs, and the original estimated cost of \$306,000 was now approximately \$705,000. The developer had already invested \$82,815 for equipment, architectural fees and permits, and they were requesting funding to cover the budget shortfall of \$347,219.89. A waiver was also needed to exceed the \$225,000 maximum funding under the DPI program. This project was in the focus area and the developer had exceeded their minimum required development contribution by \$25,593. The developer had also set aside \$55,700 for operating expenses and to cover unforeseen costs. Mr. Wojcik noted this family-owned business had an excellent track record, with two other restaurants outside Florida and over 14 years' experience. They would employ 15-17 people from the community and the owners projected making a profit within the first year.

Christine Mills said she was raised in Broward County. She had her husband had been in the restaurant business for 15 years. They had been provided CRA financing in 2019 and they had persevered through the pandemic. They had invested approximately \$85,000 of their own money and believed this would be a benefit to the community.

Garfield Mills said they anticipated opening in April/May 2023. The seating capacity would be 55 indoors, plus outside dining. He said their permits had already been approved.

Motion by Ms. Crawford, seconded by Mr. Lue, to approve the funding request as presented by staff. In a roll call vote, the motion passed 11-0.

VII. Request for Funding – AK Building Services, Inc. CRA Staff
718-720 NW 7th Terrace Fort Lauderdale, Fl. 33311

- **\$55,625 – Property and Business Improvement Program**
- **\$77,238 – Façade Program**

Ms. Jankovic said AK Building Services had been in business providing cleaning services for over 25 years. They had purchased the property in 2021 for \$750,000 and had submitted a request then but the CRA could not help them at that time. Since then, they had begun construction on their own, and since they had chosen their own contractor, they were eligible for a maximum 60% of the remaining construction costs. The company

wished to combine their warehouse and corporate office, which were now in separate locations. Employees received benefits and training.

Shari Cedar, Vice President and owner, said they were very rooted in the community. They had 550 employees in the tri-county area, and training and mentorship was very important to them. They worked with the Pace School and Junior Achievement and supported employees like family.

Ms. Cedar said they had purchased this building to be under one roof. They had spent \$250,000 of their own money renovating the property. She said this location was ideal for them. They were requesting 60% of outstanding construction costs. Ms. Jankovic stated total project costs for the renovation were \$489,000 and the owners had made a tremendous investment in their project.

Ms. Cedar said starting salaries were now \$13.50 per hour. Karin Anderson, CFO, described their workforce pay structure.

Mr. Lewin asked about making hiring preferential to those living in the CRA. Ms. Cedar said they would be happy to do that, but they must also be mindful of transportation. Ms. Anderson said people wanted to work near where they lived.

Motion by Mr. Calhoun, seconded by Ms. Burrows, to approve the funding request as presented by staff. In a roll call vote, the motion passed 11-0.

VIII. Communication to CRA Board of Commissioners

CRA Staff

Discussed earlier.

IX. Old/New Business

Ms. Burrows wanted the Board to be more consistent in their reviews. She said sometimes they required nothing from developers and provided lots of funding and from others they required significant participation. This would avoid the appearance of cherry picking.

X. Public Comments

None

XI. Adjournment

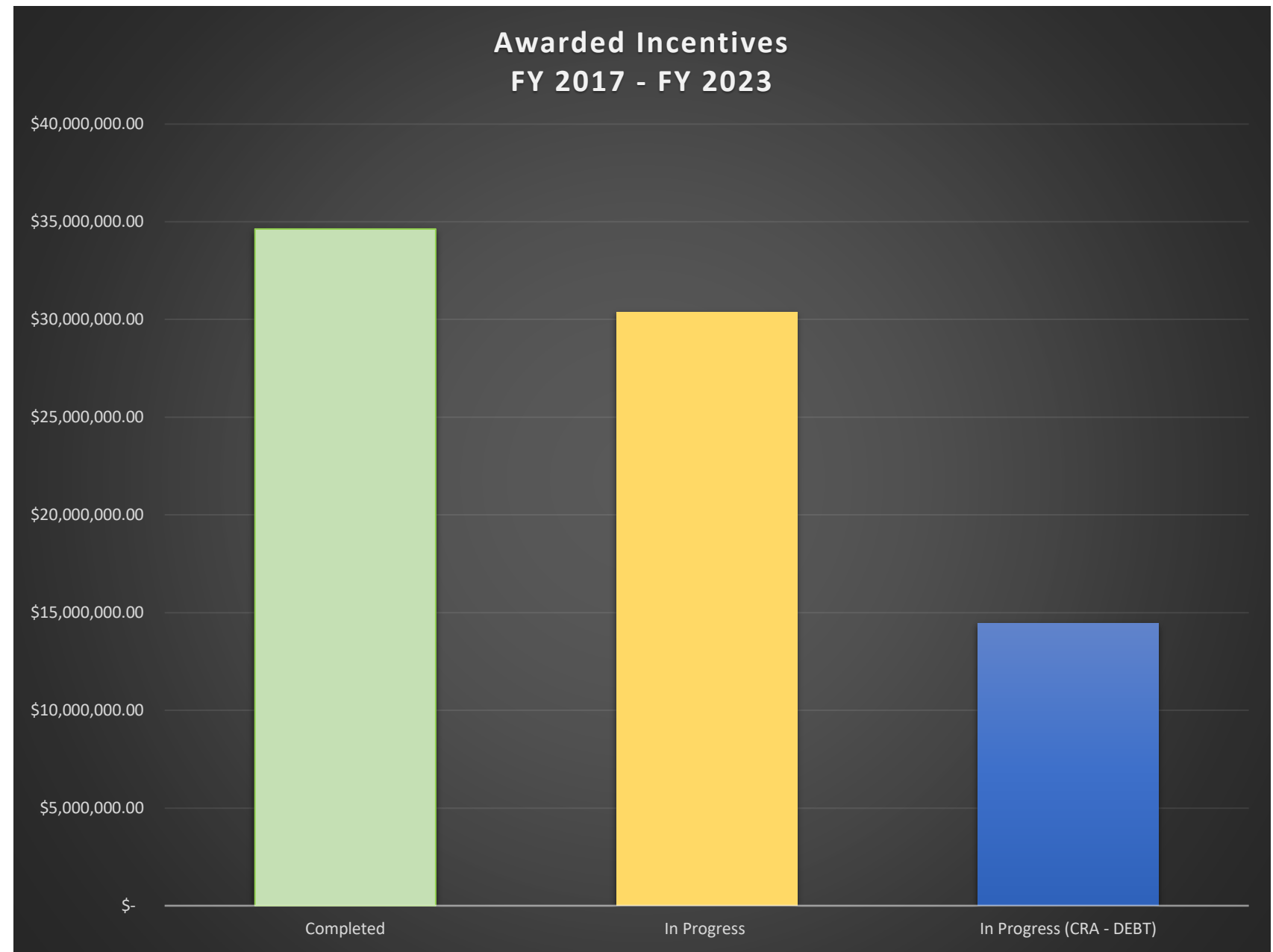
There being no further business to come before the Board at this time, the meeting was adjourned at 4:22 p.m.

The next regular NPF-CRA meeting will be held **Tuesday – November 8, 2022.**

Any written public comments made 48 hours prior to the meeting regarding items discussed during the proceedings have been attached hereto.

NORTHWEST PROGRESSO FLAGLER HEIGHTS INCENTIVE SUMMARY - FISCAL YEAR 2023 SUMMARY			
INCENTIVE STATUS	Awarded Incentives FY2017 - FY2023	SPEND as of 12.9.2022	Remaining Awarded Incentives
Completed	\$ 34,631,611.84	\$ (30,253,776.65)	\$ 4,377,835.19
In Progress	\$ 30,367,275.00	\$ (2,345,541.06)	\$ 28,021,733.94
In Progress (CRA - DEBT)	\$ 14,450,000.00	\$ -	\$ 14,450,000.00
INCENTIVE SUMMARY	\$ 79,448,886.84	\$ (32,599,317.71)	\$ 46,849,569.13

** CRA DEBT - \$20,000,000 Bank Loan



Multiple Awarded Incentives

Project Name	Location	CRA FUNDING	Developer
FPA II LLC	900/914/930 Sistrunk Blvd	\$ 748,500.00	Eyal Petetz
Provident LLC	909 Sistrunk	\$ 420,000.00	Eyal Petetz
Northwest 6th Inv. - Sistrunk Market	115 NW Sistrunk	\$ 1,400,000.00	Steven J. D'Apuzzo Sir
Northe 6th Inv. - Sistrunk Market	6160 NW 2nd Ave	\$ 350,000.00	Steven J. D'Apuzzo Sir
TOTAL		\$ 2,918,500.00	

Preliminary List of Potential Projects \$1,000,000 or Greater				
Project	Location	Estimated CRA Contribution	Estimated Proje	Developer
Fuse Group	824 Sustrunk	\$ 3,760,000.00	\$ 18,089,070.00	Eyal Petetz
Fuse Group	Sistrunk/NW 7th Ave	\$ 10,000,000.00	\$ 40,000,000.00	Eyal Petetz
Fuse Group	NW 7th Ave/NW 2nd St	\$ 4,000,000.00	\$ 16,000,000.00	Eyal Petetz
Cone Plaza	1000 Block Sistrunk	\$ 1,500,000.00	\$ 3,000,000.00	William Cone
Elks Club	NW 7th Ave/NW 2nd Street	\$ 1,500,000.00	\$ 3,000,000.00	Keven Eutsy
Performing Art Centre	1435 Sistrunk	\$ 3,000,000.00	\$ 6,000,000.00	Miguel Pilgram
Boys and Girls Club	832 NW 2nd Street	\$ 1,000,000.00	\$ 1,500,000.00	Boys and Girls Club
TOTAL		\$ 24,760,000.00	\$ 87,589,070.00	

* Assigned but not started projects were moved to the IN Progress report. Once the project has been approved/awarded, internal staff are in progress of ensuring funds are encumbered and vendor begins work.

NORTHWEST PROGRESSO FLAGLER HEIGHTS CRA - IN PROGRESS Incentive Projects as of 12/9/2022 (FY2017 - FY2023)							
Vendor	DATE Awarded	Commission Agenda Memo #/Agreement /Administrative Approval	Total Award	Total approved Encumbrance as of FY 23	Total Disbursement	Remaining Awarded Incentives	Comments
Robert Bethel American Legion Post 220	8/20/2019	19-0714	\$ 766,900	\$ 766,900	\$ (41,927)	\$ 724,974	Awarded contract to general contractor. Construction to begin in 30 days.
Rhythm 2.0	8/4/2019	Agreement/CAM 22-0038	\$ 350,000	\$ 350,000	\$ (24,558)	\$ 325,442	Started construction on 9.1.2022. Pending redesign from Architect for dumpster area, per building department comments.
V & R Enterprises	11/5/2019	19-1068	\$ 350,000	\$ 350,000	\$ (8,593)	\$ 341,408	Received two (2) bids. Will return to CRA board for additional funding.
Junny's Restaurant - Donna's Carr.	10/6/2020	20-0654	\$ 325,000	\$ 325,000	\$ (270,465)	\$ 54,535	Payments 1-4 disbursed - 95% completed. Pending electrical power to the building (FPL).
Broward College	12/2/2020	20-0856	\$ 1,000,000	\$ 750,000	\$ -	\$ 750,000	No Construction/ \$500k Scholarships & \$500K Equipment. \$250k allocated FY's 2021,2022,2023 and 2024.
1551 Sistrunk Blvd for B& D Trap	11/5/2020	20-0812	\$ 350,000	\$ 350,000	\$ -	\$ 350,000	Drawings approved. Ground breaking ceremony 10/25/2022.
Thrive Development Group	7/9/2019	19-0625	\$ 2,990,375	\$ 2,990,375	\$ (2,000,000)	\$ 990,375	Reimbursement Payment 1, 2 &3. Payment #4 under review - \$400,000
Dales Wheels & Tires	4/19/2022	22-0309	\$ 727,000	\$ 727,000	\$ -	\$ 727,000	Agreement signed and mortgage recorded. Pending documents from closing agent.
Optimal Pharmacy	8/16/2022	22-0732	\$ 293,000	\$ 293,000	\$ -	\$ 293,000	Pending Purchase Order
Foods Catering	8/16/2022	22-0733	\$ 1,125,000	\$ 1,125,000	\$ -	\$ 1,125,000	Pending development agreement
Broward Partnership for the Homeless	9/6/2022	22-0803	\$ 285,000	\$ 285,000	\$ -	\$ 285,000	Pending agreement
Cravemadness - Jamaican Jerk Res.	1/8/2019	19-0038	\$ 245,000	\$ 245,000	\$ -	\$ 245,000	Construction scheduled to begin in January 2023.
Molly MaGuire/Irish Hospitality	9/3/2019	19-0840	\$ 500,000	\$ 500,000	\$ -	\$ 500,000	Pending lease agreement with Jones as of October 2022.
Avenue D'Arts - Comfort Suites	5/21/2019	19-0408	\$ 3,000,000	\$ 3,000,000	\$ -	\$ 3,000,000	Closed on acquisition of the CRA lot, pending signed development agreement.
Mount Hermon Housing	9/1/2020	20-0645	\$ 640,000	\$ 640,000	\$ -	\$ 640,000	Finalized Parking Issue, will start construction by first quarter of 2023.
West Village - The Adderley	1/21/2020	20-0011	\$ 12,000,000	\$ 12,000,000	\$ -	\$ 12,000,000	Site cleared. Ground breaking ceremony held November 2, 2022.
Omegas Broward	12/15/2020	20-0939	\$ 350,000	\$ 350,000	\$ -	\$ 350,000	Drawings complete, received 2 BIDS, will request additional funding. Price increase to \$765,000.
Wright Dynasty LLC	11/17/2020/ 12/6/2022	20-0849 & 22-1011	\$ 3,500,000	\$ 3,500,000	\$ -	\$ 3,500,000	Award Increased from \$3M to \$3.5M.
GreenMills Holding	8/17/2021	21-0723	\$ 640,000	\$ 320,000	\$ -	\$ 320,000	Design Phase. Vendor applying for tax credits/pending application approval.
FatVillage, LLC for the Gallery	11/1/2022	22-0898	\$ 1,500,000	\$ 1,500,000	\$ -	\$ 1,500,000	Pending closing date first quarter of 2023.
Scattered Site Infill Housing	6/15/2021	21-0531	\$ -	\$ -	\$ -	\$ -	RFP BID# 12385-105 - Fort Lauderdale CDC/Ges Mac Development/Lemon City Development/Oasis of Hope & WWA Development LLC.
TOTAL INCENTIVE PROJECTS IN PROGRESS (TIF) as of 12.9.2022			\$ 30,937,275	\$ 30,367,275	\$ (2,345,541)	\$ 28,021,734	

* PBIP - Property & Business Improvement

NORTHWEST PROGRESSO FLAGLER HEIGHTS CRA - IN PROGRESS CRA DEBT - Incentive Projects as of 12/9/2022 (FY2017 - FY2023)							
Vendor	DATE Awarded	Commission Agenda Memo #/Agreement /Administrative Approval	Total Award	Total approved Encumbrance as of FY 23	Total Disbursement	Remaining Awarded Incentives	Comments
909 Sistrunk Blvd - Mixed use Commercial Dev.	11/16/2021	21-0319	\$ 4,000,000	\$ 4,000,000	\$ -	\$ 4,000,000	CRA submitted agreement to developer, pending review with developer's attorney.
The Aldridge and The Laramore - Mixed use	11/16/2021	21-0321	\$ 8,000,000	\$ 8,000,000	\$ -	\$ 8,000,000	Development agreement is complete and approved by Invest FLL.
Victory Entertainment Complex	11/16/2021	21-0320	\$ 2,450,000	\$ 2,450,000	\$ -	\$ 2,450,000	Working on Agreement.
TOTAL INCENTIVE PROJECTS IN PROGRESS (DEBT) as of 12.9.2022			\$ 14,450,000	\$ 14,450,000	\$ -	\$ 14,450,000	

by the CRA, then the CRA would receive incremental revenue on around January 1, 2022.
 Based on the 2016 projections of assessed value for the Project, the pay out for year 1 is \$361,450, for year 2 is \$372,294, for year 3 is \$383,463 and for year 4 is \$394,966 for an estimated total of \$1,512,173. However, the total payments shall not exceed \$1,711,020. No payment would be made in year 5 since the life of NW CRA will have expired.

NORTHWEST PROGRESSO FLAGLER HEIGHTS CRA - COMPLETED Incentive Projects as of 12/9/2022 (FY 2017 - FY2023)					
Vendor	Index Title	Total Encumbrance as of FY 23	Total Disbursement	Remaining Awarded Incentives	Comments
Invasive Species Brewing LLC	PBIP & Comm. Façade Improvement Programs	110,353	(100,875)	9,478	PO Closed
Brody Family Investments	Comm. Façade Improvement	350,000	(288,633)	61,367	PO Closed
728 NW 7th Terrace	Comm. Façade Improvement	7,500	(7,500)	-	
723 NE 2nd Ave	Comm. Façade Improvement	15,000	(15,000)	-	
731 NE 2nd Ave	Comm. Façade Improvement	15,000	(15,000)	-	
737 NE 2nd Ave	Comm. Façade Improvement	15,000	(15,000)	-	
Rechter Holdings (913 NE 4 Ave)	PBIP & Comm. Façade & Streetscape Programs	206,267	(206,267)	-	
Moody's Insurance	PBIP & Comm. Façade & Streetscape Programs	77,500	(77,500)	-	
CHDS, LLC (1740 NW 3rd Ct)	Comm. Façade	11,300	(11,300)	-	
Italian Artisans Inc	PBIP	25,000	(25,000)	-	
Fairfield Flagler LP	Streetscape Enhancement Program	329,503	(329,503)	-	
ID Flagler Village (TRIANGLE)	Streetscape Enhancement Program	251,078	(251,078)	-	
Urban North LLC	Streetscape Enhancement Program	50,000	(50,000)	-	
LPF Realty FL LLC	Development Incentive	1,500,000	(1,500,000)	-	
613 NW 3rd Ave LLC	Development Incentive	7,000,000	(7,000,000)	-	
<i>*Florida East Coast Industries, LLC</i>		<i>183,820</i>	<i>-</i>	<i>183,820</i>	<i>Management working with vendor</i>
Wine Watch LLC	Development Incentive	50,000	(50,000)	-	Adjusted CAM
<i>**All Aboard Florida Operations LLC</i>		<i>281,274</i>	<i>-</i>	<i>281,274</i>	<i>Management working with vendor</i>
Land Acquisition 2 Properties	Property Tax Reimbursement Program	190,000	(190,000)	-	
Land Acquisition 55 Properties	Property Tax Reimbursement Program	612,291	(612,291)	-	
Land Acquisition	Property Tax Reimbursement Program	60,000	(60,000)	-	
Circle House Coffee	PBIP & Comm. Façade	187,772	(187,772)	-	
JRs Automotive & Performance	Comm. Façade Improvement	44,493	(44,493)	-	
IHL Properties	Comm. Façade Improvement	50,000	(50,000)	-	
Rechter Progresso 837 LLC	PBIP	50,000	(50,000)	-	
Rechter Progresso 835 LLC	PBIP	50,000	(50,000)	-	
Dales Properties and Tires	Comm. Façade & PBIB	350,000	(352,672)	(2,672)	PO Closed
1134 LLC (Smitty's Wings)	PBIP & Comm. Façade	450,000	(445,873)	4,127	PO Closed
McClinton Holdings	PBIP	100,000	(100,000)	-	
North West 6th Investments LLC (SISTRUNK MARKET)	Development Incentive	1,400,000	(400,000)	1,000,000	First Amendment - Sec. 2. Paragraph 6.02; Contingencies 1-3. Payment 1 made by wire transfer. Payment 2 requested on 6.15.2021
East Fort Lauderdale Rentals (Startups)		350,000	(350,000)	-	
Orchestrated Brewers, LLC	PBIP & Comm. Façade	79,778	(79,778)	-	
Batch Cookies, LLC	PBIP	21,000	(21,000)	-	
*Sweeting Estates - Painting & Landscaping FY20	Residential Façade & Landscaping	-	(216,326)	(216,326)	\$7500 per homeowner

*Sweeting Estates - Painting & Landscaping FY21	Residential Façade & Landscaping	-	(155,130)	(155,130)	\$7500 per homeowner
Home Beautiful/Durrs Community - Painting & Landscaping FY21	Residential Façade & Landscaping	-	(120,366)	(120,366)	\$5,000 per homeowner
Home Beautiful/Durrs Community - Painting & Landscaping FY22	Residential Façade & Landscaping	-	(105,046)	(105,046)	\$5,000 per homeowner
Home Beautiful/Durrs Community - Painting & Landscaping FY23	Residential Façade & Landscaping	-	(5,938)	(5,938)	\$5,000 per homeowner
*Emergency Business Assistance FY20	Emergency Business Assistance	-	(145,000)	(145,000)	\$10,000 per small business
*Emergency Business Assistance FY21	Emergency Business Assistance	-	(300,000)	(300,000)	\$10,000 per small business
Rebuilding Together Broward - FY21	Residential Rehab Forgivable Loans	255,000	(255,000)	-	Final 4th quarter payment disbursed on 2/17/2021
FPA II LLC (The Pharmacy Project)	Comm. Façade Improvement	748,500	(748,500)	-	Wire sent 4.9.2021
Shipmonk - BEDA BOX	PBIP	\$ 221,917	-	221,917	Work completed. Pending proof of job creation prior to making payment
Numerous Applicants - Purchase Assistance Program	Purchase Assistance Program - not to exceed \$495,000	\$ 315,000	\$ (270,000)	45,000	3 Applicants approved in FY2020; 3 additional approved in FY21 at \$45,000 per applicant. CAM 16-0556 and CAM 18-0192. PO Closed.
BH3 DJ Flagler	Comm. Façade Improvement & PBIP	\$ 350,000	(350,000)	-	Work completed, in FY21. Final payment made late due to request to modify restrictive covenants.
River Gardens Townhomes	Development Incentive	\$ 1,500,000	\$ (1,500,000)	-	Funds disbursed to Escrow Agent- Final transaction (interest balance returned to CRA on 3.2.2022)
Jack and Jill	Development Incentive	\$ 2,000,000	\$ (1,500,000)	500,000	Received Certificate of Occupancy in August. Issued 8.3.2022 - See agreement per future encumbrances (FY2023 \$500K final encumbrance)
Boodhwattie Persaud (BLACKSTAR)	PBIP	\$ 122,500	\$ (119,984)	2,516	An additional \$22,500 was awarded in FY21 to finalize project. Final payment made on 3.14.2022. 100% Complete
Blue Tree Café	PBIP	\$ 295,695	\$ (286,990)	8,705	Hard costs documentation submitted. Project 100% Completed, pending final payment.
YMCA Demolition	Development Incentive	\$ 600,000	\$ (645,557)	(45,557)	Received \$40K to assist with costs.
Knallhart - Abby	Comm. Façade & PBIP	\$ 275,000	\$ (275,000)	-	Certificate of occupancy received and final payment disbursed - FY 2022
Continuation & Expansion - Rebuilding Broward FY22	Residential Rehab Forgivable Loans	\$ 300,000	\$ (300,000)	-	Final Payment Disbursed in Fiscal Year 2022.
Flagler Village Hotel (315 Flagler Village)	Streetscape Enhancement Program	\$ 329,933	\$ (329,933)	-	The Dual Branded Hotel is complete. Payment disbursed on 4.26.2022
Provident Fort Lauderdale LLC	Comm. Façade Improvement	\$ 420,000	\$ (420,000)	-	Updated amended amount per signed agreement. Payment disbursed via WT 10/26/2022.
Flagler Village Land Trust (Quantum)	Streetscape Enhancement Program	\$ 500,000	\$ -	500,000	Structurally complete. Pending final payment from Developer.
Patio Bar & Pizza LLC	Incentive Program	\$ 225,000	\$ (224,994)	6	Final Payment Disbursed on 6.30.2022. PO Closed
Hoover Products Inc.	Development Incentive	\$ 1,100,000	\$ (1,060,860)	39,140	97% complete
401 NE 8th Street	PBIP, Comm. Façade & Streetscape Enhancement Programs	\$ 163,460	\$ (75,806)	87,654	Final payment disbursed. PO Closed.
Young Men's Christian Association of S Fla (YMCA)	Development Incentive	\$ 10,000,000	\$ (7,500,000)	2,500,000	Project Complete. Payment #1 paid \$6,250,000 (June 2022) and Payment #2 paid \$1,250,000(November 2022)

801 NW 1st Street	Comm. Façade & PBIP	\$ 85,678	\$ (56,811)	28,867	Project Complete. PO Closed
Sistrunk Station/Market - NW 6th	Comm. Façade & PBIP	\$ 350,000	\$ (350,000)	-	100% completed. Final invoice submitted for payment in December 2022.
TOTAL INCENTIVE PROJECTS COMPLETED as of 12/9/2022		\$ 34,631,612	\$ (30,253,777)	\$ 4,377,835	

*Projects completed in FY2021

*Projects completed in FY2022

* Projects completed in FY 2023

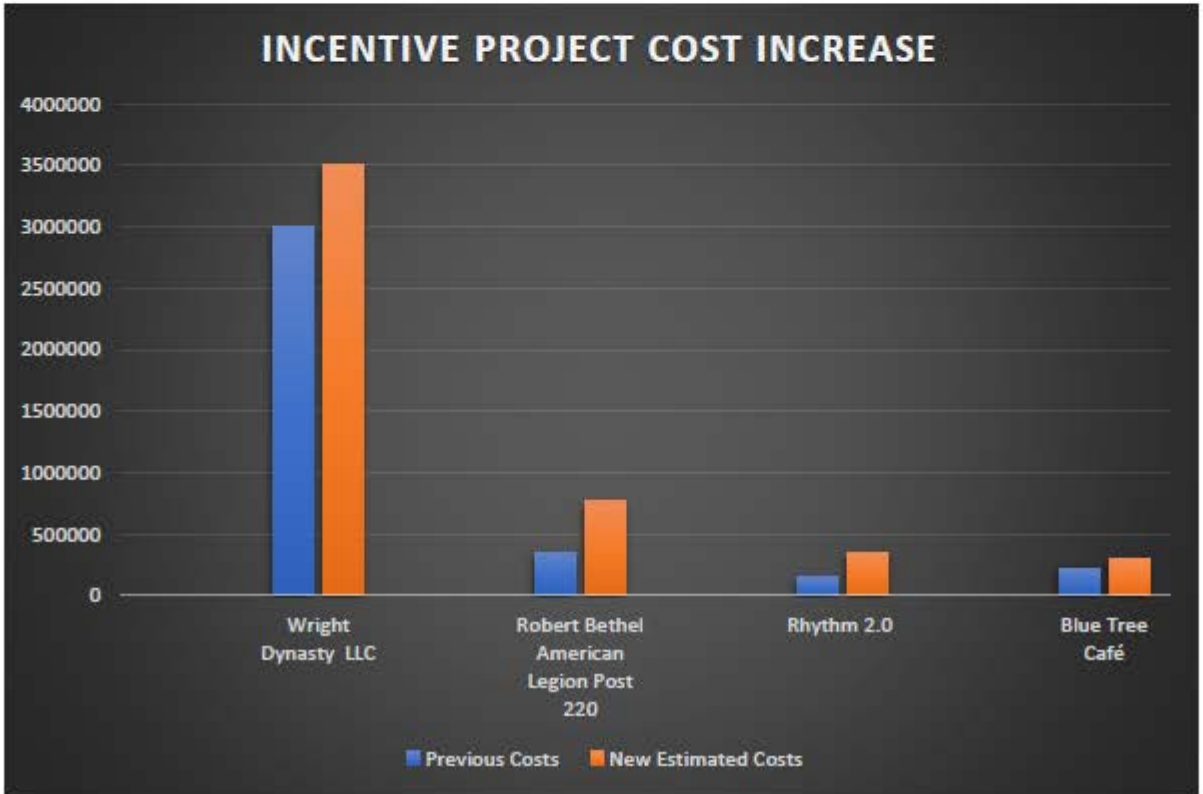
Completed log updates provide an internal fiscal account of NPF CRA awarded/encumbered funds and total disbursement spend to date. Some incentive projects pending completion remain on the "in progress" log and may not be reflected on the completed log until justification and sign offs are received.

Approved Incentive COST Increase as of 12.9.2022

Vendor	Previous Costs	New Estimated Costs	Increase/Decrease	Cost Increase
Wright Dynasty LLC	\$ 3,000,000.00	\$ 3,500,000.00	\$ 500,000.00	16.7%
Robert Bethel American Legion Post 220	\$ 350,000.00	\$ 766,900.00	\$ 416,900.00	119.1%
Rhythm 2.0	\$ 150,000.00	\$ 350,000.00	\$ 200,000.00	133.3%
Blue Tree Café	\$ 225,000.00	\$ 295,695.00	\$ 70,695.00	31.4%
TOTAL INCREASE			\$ 1,187,595.00	

AVG % Increase

75%



MEMORANDUM

DATE: December 13, 2022

TO: NPF CRA Advisory Board Members

FROM: Clarence E. Woods III, NPF CRA Manager

BY Bob Wojcik, Housing and Economic Development Manager

SUBJECT Request for Additional Funding – Thrive Development Group, LLC
\$1,000,000 – Development Incentive Program
Thrive Progresso Project

REQUEST

This is a request to increase Development Incentive Program (DIP) funding to the Thrive Progresso Project in the amount of \$1,000,000. Attached as **Exhibit 1** is a letter request from Jonathan Fish, Manager of Thrive Development Group, LLC., explaining the need and justification for the additional funding.

BACKGROUND

On July 9, 2019, the CRA Board approved a \$2,500,000 DIP and a \$340,375.87 CRA Streetscape Enhancement Program forgivable loan to the Developer to renovate over 60,000 square feet of deteriorated buildings on approximately 3.5 acres of land to create a new, exciting and innovative business complex “Thrive Progresso”. Purchased by the Developer between 2016 and 2018 at a cost of over \$5.9 million, the properties were previously occupied by auto repair garages, paint and body shops, rag shops and other uses that had a negative impact on the area and contributed significantly to the slum and blighting conditions in this area. The properties are in the Industrial/Light Industrial portion of the Progresso area fronting both sides of NW 5th Avenue between NW 7th Street and NW 8th Street (**Exhibit 2**) at:

ADDRESS	PROPERTY ID
701-745 NW 5 Avenue	4942-34-06-9460
710-726 NW 5 Avenue	4942-34-07-0100
744-748 NW Avenue	4942-34-07-0200
413 NW 7 Street	4942-34-07-0120
405 NW 7 Street	4942-34-07-0110

To offset some of the increased expenses to upgrade over 1000 linear feet of public right-of-way adjacent to the project along NW 5th Avenue, NW 7th Street and NW 8th Street, streetscape funding was increased by \$150,000 by the CRA Board on February 15, 2022.

This massive project, when completed, will have a transformative impact on the CRA area and enrich the business and cultural fabric of this community. Current progress photos of the project are attached as **Exhibit 3**.

The Thrive Progresso Project has been described as the new Wynwood in Fort Lauderdale, turning undesirable uses and urban blight into new office, flex, retail, hospitality and other uses that will have a long term positive affect on the area, increase property values, offer new business opportunities and improve safety. In addition, 25% of the leasable area is being offered at a below market base rent of \$18.00 per square foot to remain more affordable to small businesses as a community benefit of the project.

When CRA funding was originally approved for this project, the developer estimated the renovation cost at \$4.5 million, which equates to approximately \$75/square foot of building. Since then, the actual renovation cost has been approximately \$8.5 million and with over \$1.2 million in additional change orders and design changes to rectify unanticipated issues, unforeseen conditions and additional work required by building officials, the final renovation cost is now projected at \$9.5 million (\$158/square foot of building area including streetscape). Among the many recent additional expenses the developer has had to face, is the requirement for flood barriers, retaining wall reinforcements, additional railings and metal deck replacement. A breakdown of increased project cost and documentation is attached as **Exhibit 4**.

The Project was originally projected by the Developer to provide an annual Return on Investment (ROI) of 9.71% with CRA funding. Because of significant increased cost, under the current level of CRA funding, the project will only provide an annual Return on Investment of 4.93%. However, increasing CRA DIP funding by an additional \$1 million, will improve the Developer's annual Return on Investment to 5.35%. An Economic Analysis of the project with and without additional CRA funding is attached as **Exhibit 5**.

A comparison of previous CRA awards of DIP funded projects is provided below, with CRA funding ranging from 12% to 84% of the total estimated capital investment and averaging approximately 35%. The total capital investment for the Thrive Progresso Project is \$15.4 million and the total CRA funding to the Thrive Progresso Project will equal 25.9% of the total capital investment.

Project	Estimated Capital Investment (ECI)	CRA Award	CRA Award Percentage of ECI
Food and Friends	\$1.3 Million	\$1.1 Million	84%
Dales Wheels and Tires	\$0.97 Million	\$.7 Million	74%
Hoover Awning	\$1.5 Million	\$1.1 Million	73%
YMCA	\$15 million	\$10 Million	67%
Victory Complex	\$4 Million	\$2.4 Million	60%
Aldridge and Larimore	\$18.57 Million	\$8.0 Million	43%

Jack and Jill School	\$7.1 Million	\$2.5 Million	35%
Wright Dynasty	\$12.8 Million	\$3.5 Million	27%
909 NW 6 St	\$16.6 Million	\$4 Million	24%
Sistrunk Market	\$5.9 Million	\$1.4 Million	23%
Sistrunk Townhomes	\$6.9 Million	\$1.5 Million	22%
Six 13 Apartments	\$33.5 Million	\$7.0 Million	21%
Comfort Suites	\$17.4 Million	\$3.0 Million	17%
Triangle Services	\$7.8 Million	\$1.5 Million	19%
The Adderley	\$103.7 Million	\$12.0 Million	12%

CRA funding will take the form of a forgivable loan secured by a mortgage on the properties, subordinate to first mortgage acquisition debt by Ocean Bank.

The Mission Statement of Thrive Progresso is to “reposition an under-utilized industrial area into a vibrant urban business district that will serve the local community and bring new energy to the surrounding residential neighborhood.” The developer is making a substantial investment to lift this blighted area to higher ground and create an innovative, vibrant and unique project like no other for business, culture, and entertainment. The transformation that is taking place is remarkable and the project is attracting a wide variety of users from restaurants and breweries to artist and craftsmen seeking workspace and galleries. When completed, Thrive Progresso will become a destination not only in the CRA, but in the region and will include a large outdoor space for socializing, art, entertainment and special events. Estimated to house between forty to sixty new tenants, a wide variety of job opportunities will be created as a result of the project. It will have a significant impact on the local economy and become an outstanding example of public/private partnership. Renovation of the buildings are approximately 85% complete and the streetscape improvements are approximately 75% complete. Tenants are projected to start moving into the project by the beginning of February 2023. The buildings on the east side of NW 5th Avenue should be receiving their Certificate of Occupancy by mid-March 2023 and the remaining buildings by May, 2023. Staff fully supports the project and request that you approve the additional funding.

CONSISTENCY WITH THE NPF CRA COMMUNITY REDEVELOPMENT PLAN

The NPF CRA Community Redevelopment Plan is designed, in part to stimulate private development of areas planned for commercial development. The project is consistent with the NPF CRA Community Redevelopment Plan which provides for direct physical improvements to enhance the overall environment, improve the quality of life and attract sound business and commercial development that provide employment and job opportunities.

Per the CRA plan, the CRA will establish incentive programs to address redevelopment obstacles. The CRA Plan, identifies strategic objectives, goals and measurements that include targeting and attracting businesses, retail uses and industries to establish a presence in the redevelopment area. In addition, it calls for investing in development

projects that create job opportunities for area residents, promote public private partnerships and investment in the redevelopment area.

The Thrive Progresso Project is also consistent with the recommendations of the Urban Land Institute TAP (Technical Assistance Panel) 2014 recommendations for the CRA area, recognizing that industrial buildings create a unique environment, offer redevelopment potential and present a strong opportunity to attract business and users such as entertainment, retail and gallery uses.

RECOMMENDATION

It is recommended the CRA Advisory Board approve a Motion recommending that the CRA Board approve an increase in Development Incentive Program funding in the amount of \$1,000,000 to Thrive Development Group, LLC for the Thrive Progresso Project.

Attachments

- Exhibit 1: Letter from Thrive Development Group, LLC
- Exhibit 2: Location Map
- Exhibit 3: Recent Progress Photos of the Project
- Exhibit 4: Breakdown of Increase Project Cost and Documentation
- Exhibit 5: Economic Analysis

EXHIBIT 1

[T H R I V E]

NARRATIVE

THRIVE Progresso project has started back in 2018. The original projected cost was \$4.5M. We came to the CRA in 2019 and received an approval for CRA funds: \$2.5M for the buildings improvement and approximately \$400K for the streetscape improvement. Since then, we have been working nonstop. We went through rezoning, got DRC site plan approval after which we started working on construction documents. In 2020, we submitted the construction documents to the different contractors for bidding.

The actual cost came back at approximately \$8.5M including hard and soft costs. Nevertheless, we decided to move forward with the project, since we believe in the success of it and its important contribution to the City of Fort Lauderdale.

Since then, we've had a few change orders which increased the price substantially, some of which are: a foundation for a retaining wall going along both sides of 5th Avenue; and the city notifying us that we would have to put flood barriers on the property (those alone are approximately \$500,000). We were also required to change some of the decking which we found to be rotten, and we were not aware of it.

Now that it's time for us to finish the project, there are certain things that we did not sign contracts for, such as murals and outside design of the property. When we started bidding out these items, the prices have gone up tremendously. In some cases, even more than double. Therefore, we are coming to the CRA for an additional funds of \$1M. We would like to be able to finish this project in a way that it is viable financially and looks good, and has a nice and beautiful feeling for you and everyone in our community.

Thank you very much for your help and support.

Jonathan Fish

[T H R I V E]

CURRENT COMPLETION and CO PROJECTION

Buildings improvements - 85% completed

Sitework - 75% completed

Based on current project schedule, we anticipate to get Coed:

- on EAST side by mid of March 2023
- on WEST side by mid of May 2023.

EXHIBIT 2



Thrive Progresso

EXHIBIT 3

















































EXHIBIT 4

NO.	SUB	MEMO	BUDGET	ACTUAL	BALANCE	DATE
CHANGE ORDERS			492,496	1,413,133	920,637	
1	POLISHED CONCRETE	Color stain (Staining the unit concrete floors)	85,404	99,638	14,234	OCT 2022
2	SITUAR	Additional Railings per City Request on the west	36,246	63,942	27,696	NOV 2022
3	TILE	Roof top deck tile	-	30,000	30,000	AUG 2022
4	PEC	Retaining wall reinforcements and foundation per Engineer's Request	53,000	125,886	72,886	JULY 2022
5	PEC	CU Structural Soil per City Request	-	28,622	28,622	JUNE 2022
6	PEC	Additional ADA Ramps per City Request on the west	-	12,749	12,749	SEP 2022
7	Landscape change	Increase landscape at Green area with Additional Palms	134,372	144,372	10,000	OCT 2022
8	Archi	Murals (major price increase since originally budgeted)	133,500	308,500	175,000	NOV 2022
9	Archi	Signage (major price increase since originally budgeted)	36,901	91,901	55,000	NOV 2022
10	Archi	Exterior Hardscape Furniture	13,073	108,073	95,000	NOV 2022
11	Archi	Exterior Designer	-	39,450	39,450	NOV 2022
12	Flood Barriers	FloodBarriers add on per County	-	360,000	360,000	SEP 2022
06 - DESIGN CHANGES			-	323,899	323,899	
13	Multiple	Security Cameras	-	81,906	81,906	MAR 2022
14	AA Glass	Storefront add ons not on original buyout because of uncertainty	-	16,401	16,401	JULY 2022
15	Multiple	Plumbing change orders	-	4,845	4,845	JUNE 2022
16	Powerline	Primary design changes per FPL request	-	9,506	9,506	JUNE 2022
17	Capitol Steel	Metal Deck replacement as per Engineer	-	23,000	23,000	JUNE 2022
18	Multiple	Steel joist design adjustment change order	-	17,000	17,000	OCT 2022
19	Lasso	Additional AC closets on C	-	10,000	10,000	OCT 2022
20	EV Group	Control Joist added by AOR on Façade	-	12,000	12,000	SEP 2022
21	K/H	Finilizing music square	-	4,500	4,500	OCT 2022
22	Multiple	Re-Configure building B concrete areas as per Architect (Issue with Railing	-	16,030	16,030	NOV 2022
23	Powerline	Façade Lighting Coordination	-	128,711	128,711	JUNE 2022
TOTAL			492,496	1,737,032	1,244,536	

INVOICE #2883

Date: October 16th 2022
Client: Florida Home Renovation Group LLC
Attn: Israel
Location: 710 NW Fifth Ave.
Fort Lauderdale, FL 33311

CHANGE ORDER SEALER TO BE TINTED TRANSLUCENT WITH PIGMENT, CLEAR &
SOLVENT ALL IN A CUSTOM SOLVENT BASE FORMULA TO BLEND THE CEMENT COLOR
(56,936 SQ. FT.)

CHANGE ORDER:

Install industrial grade solvent base tinted (custom formula) sealer 1st coat by roller (light roller marks will show), 2nd coat clear for a high gloss finish.

BUILDINGS	SF	PRICE (\$.25 per SF)
ALL	56,936	\$14,234

TOTAL PRICE: \$14,234

TOTAL DUE \$14,234

*All checks to be made payable to Diamond Bright Floors LLC.
*All materials and labor included.

Alfonso Ayala
Diamond Bright Floors LLC
Direct (305) 900-7618
1777 Michigan Av. Suite 207
Miami Beach FL, 33139
epoxydesignermiami@gmail.com
www.diamondbrightfloors.com
IG: @epoxydesignermiami
FB epoxydesigner

SITUAR GROUP LLC

6851 NW 37CT
Miami, FL 33147
786-368-6467
info@situargroup.com
www.situargroup.com



Estimate

ADDRESS
Florida Home Renovation Group
744 NW 5 AV. FT. Lauderdale FL 33311

ESTIMATE 106502 Change Order 1
DATE 11/21/2022
EXPIRATION DATE 12/05/2022

PROJECT NAME
Thrive Development

PROJECT ADDRESS
701-745 NW 5Th, Ave.

ACTIVITY	DESCRIPTION	QTY	U/M	PRICE	TOTAL
	CHANGE ORDER 01:				
AGR02. ALUM. GUARDRAIL	Increase 281'LF Alum. Ramp Guardrail w/ Sq. Post 2", Top, Med. and Bottom Rail Rect. Tube 1"x2" at Buildings B,C,E,F. Note: Contract: 863' LF Update: 1144' LF	1	EA	26,895.00	26,895.00
ENG01. ENGINEERING	Shop Drawing for Guardrail.	1	EA	800.00	800.00
TOTAL					\$27,695.00

Accepted By

Accepted Date

3 TILE**Roof top deck tile**

The water proofing material has a low wear and tear on a roof top restaurant, and we were advised by a water proofing company to tile the terrace ontop of water proofing material. Material and Installation estimated at 12\$ PSF X 2500 sf = \$30,000

**CONTRACTOR INFORMATION**

FLORIDA HOME RENOVATION GROUP LLC

JOB INFORMATION

THRIVE PROGRESSO

CHANGE ORDER # 003
(WEST) CURB WALL VS RETAINING WALL W-FOOTER

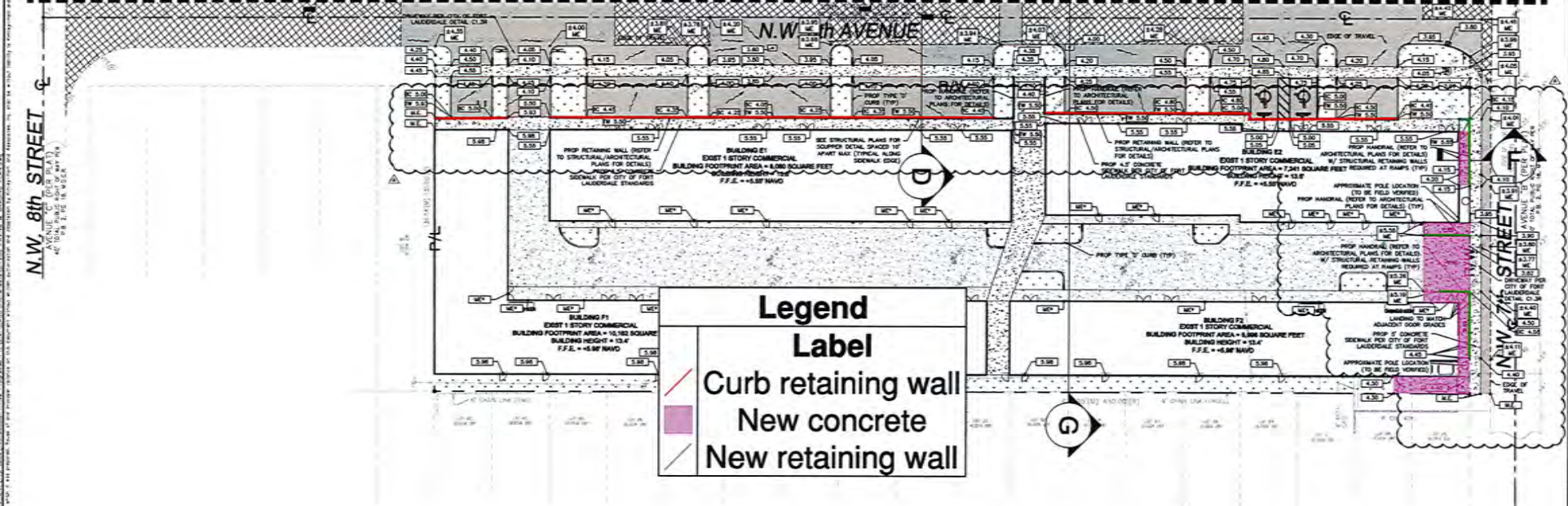
QTY	U/M	DESCRIPTION	COST	TOTAL
		WEST (CREDIT) CURB WALL		
380	LF	CURB RETAINING WALL	\$ (60.50)	\$ (22,990.00)
		EAST (CREDIT) CURB WALL		
380	LF	CURB RETAINING WALL	\$ (60.50)	\$ (22,990.00)
		WEST (MODIFICATION) RETAINING WALL W- FOOTER		
380	LF	RETAINING WALL W- FOOTER	\$ 115.00	\$ 43,700.00
		EAST (MODIFICATION) RETAINING WALL W- FOOTER		
380	LF	RETAINING WALL W- FOOTER	\$ 115.00	\$ 43,700.00
		WEST (ADD) RETAINING WALL W- FOOTER		
96	LF	RETAINING WALL W- FOOTER	\$ 115.00	\$ 11,040.00
		EAST (ADD) RETAINING WALL W- FOOTER		
120	LF	RETAINING WALL W- FOOTER	\$ 115.00	\$ 13,800.00

SUB TOTAL	\$	66,260.00
10% OVERHEAD & PROFIT	\$	6,626.00
TOTAL COST FOR THIS CHANGE ORDER	\$	72,886.00

2900 NW 33RD AVENUE - MIAMI, FL. 33142
OFFICE 305-633-9994 - FAX 305-633-9623

SEE SHEET C-201 - PAVING & GRADING PLAN - EAST FOR CONTINUATION

BCTD NO. T-201104062



Legend

/	Curb retaining wall
■	New concrete
/	New retaining wall

ALL NOTES

1. ALL DRIVEWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 6% IN THE DIRECTION OF TRAVEL.
2. ALL DRIVEWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MINIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
3. CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
4. RUNNING SLOPE OF RAMP AND CURB RAMP CANNOT EXCEED 8.33% IF VERTICAL RISE IS LESS THAN 6 INCHES; HANDRAILS ARE NOT REQUIRED.
5. RUNNING SLOPE FOR SIDE FLARES ON CURB RAMP MUST BE LESS THAN 1:12.
6. SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2% MEASURED IN ANY DIRECTION.
7. SLOPES OF CLEAR FLOOR SPACES AT ENTRANCES AND CONTROLS MUST NOT EXCEED 2% MEASURED IN ANY DIRECTION. THE 20" x 48" HIGH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
8. GAPS OR CHANGES ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 3/8" HIGH, PERPENDICULAR TO THE PROGRESSIVE FLOW OF PEDESTRIAN TRAFFIC.

GENERAL NOTES

1. PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE LANDSCAPE AREAS.
2. ALL ELEVATIONS LISTED ON PLANS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
3. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH PFL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
6. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE POWER LINES.
7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
9. CONTRACTOR TO ADJUST ANY MANHOLE RINGS AND VALVE LIDS TO MATCH PROPOSED GRADES.
10. IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO BE DAMAGED OR REMOVED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THESE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
11. ALL DRIVEWAYS HANDRAILS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC SIGNALING FRAME AND TOP OF HANDRAILS IN UNPAVED AREAS SHALL BE 4" ABOVE SURROUNDING GRADE.
12. ALL MANHOLE SLOPES ARE ABSOLUTE AND SUPERSEDE CONTRACTOR TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF SUBMITTING SLOPES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUM SLOPES ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
13. LEVEL CHANGES BETWEEN DRAINAGE SURFACE MATERIALS MUST NOT EXCEED 3" HIGH HIGH. IF A LEVEL CHANGE DOES EXCEED 3" HIGH HIGH IT MUST BE BECDED WITH A SLOPE THAT DOES NOT EXCEED 3% FOR A LEVEL CHANGE UP TO 3" HIGH HIGH. IF THE CHANGE IS MORE THAN 3" HIGH THE CHANGE MUST BE SLOPED AND NOT TO EXCEED A SLOPE OF 3% (3%).
14. ALL OUT AND FALL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.

LEGEND

— C —	CENTER LINE OF ROADWAY
— PAV — PAV —	PROPERTY LINE AND/OR RIGHT-OF-WAY
---	SHADOW MATCH EXIST
[Symbol]	PROP PAVL DPTH PAVMENT
[Symbol]	PROP CONCRETE SIDEWALK
[Symbol]	EXIST CONCRETE SIDEWALK
[Symbol]	PROP LANDSCAPE (REFER TO LANDSCAPE PLANS FOR DETAILS)
[Symbol]	PROP LIMITS OF 1" WALL AND SURFACE
[Symbol]	PROP DETECTABLE WARNING
[Symbol]	PROP GRADES
[Symbol]	MATCH EXIST GRADES
[Symbol]	CONTRACTOR SHALL MATCH EXISTING FIVE (5) FEET OF EXISTING PAVEMENT OR EXISTING PAVEMENT UNLESS OTHERWISE NOTED TO THE OVER 1/4" ABOVE IS HIGHER TO 1/4" EXISTING CONTRACTOR SHALL FINISH FOOTING DRAINAGE IS PROVIDED AWAY FROM THE DOOR.
[Symbol]	BOTTOM OF CURB CHANNEL
[Symbol]	TOP OF WALL CHANNEL



No.	REVISIONS	DATE	BY

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 200 PETERS ROAD, SUITE 200A PLANTATION, FL 33324
 PHONE 954-320-9700 FAX 954-320-9247
 WWW.KIMLEY-HORN.COM CA 00000696

THRIVE PROGRESSO
 PREPARED FOR
THRIVE DEVELOPMENT GROUP, LLC

PROJECT: 143188000
 DATE: 09/07/2022
 SCALE: AS SHOWN
 DESIGNED BY: GS
 DRAWN BY: MS
 CHECKED BY: GS

CITY OF FORT LAUDERDALE FLORIDA DATE: 9/17/2022

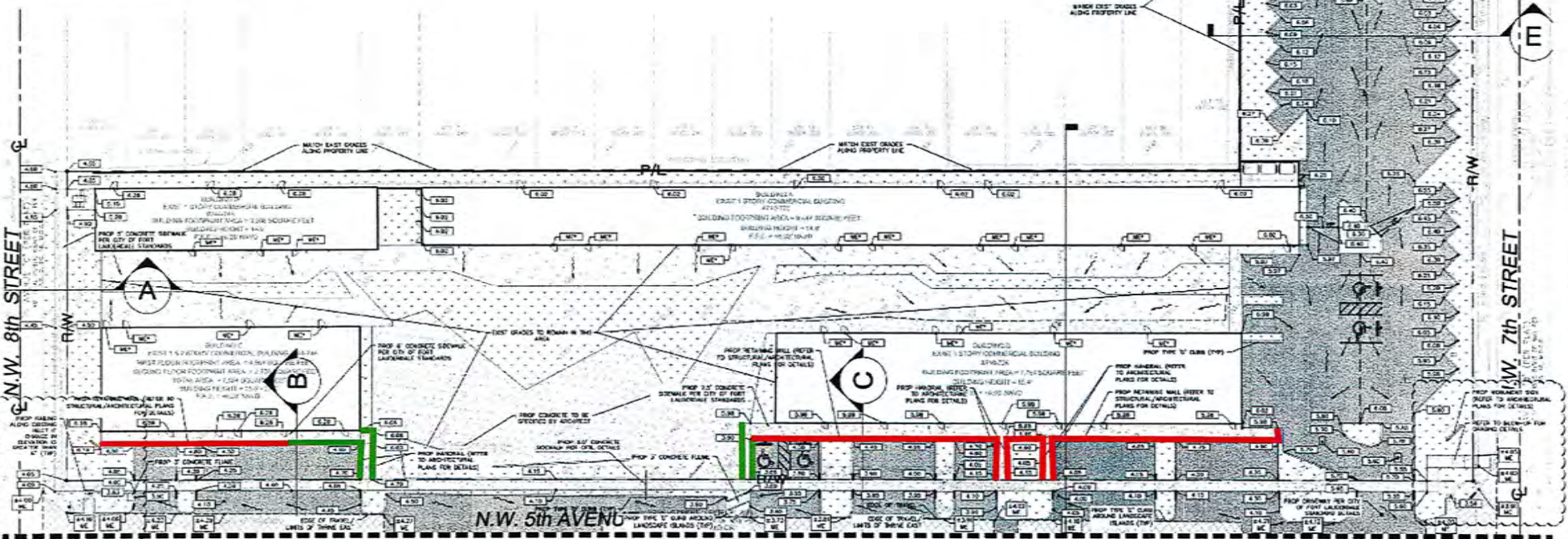
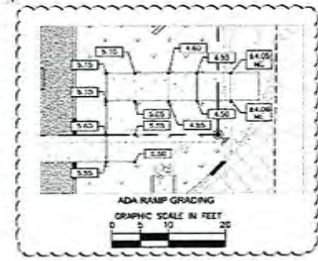
PAVING & GRADING PLAN - WEST

C-202

SHEET 5 OF 26



N.W. 4th AVENUE



- NOTES:**
1. ALL MATERIALS SHALL HAVE A 5% SLOPE TOWARD THE INTERSECTION TO THE "DOWN" SIDE OF "DOWN" AND 2% TO 1% IN THE DIRECTION OF TRAVEL.
 2. ALL ROADWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MINIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 10 FEET, UNLESS OTHERWISE SPECIFIED TO THE FACE OF THE DOOR.
 3. CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
 4. SLOPING SIDES OF RAMPS AND CURB RAMPES CANNOT EXCEED 3:12 IF VERTICAL RISE IS LESS THAN 3 FEET. RAMPWAYS ARE NOT REQUIRED.
 5. SLOPING SIDES FOR SIDE WALKS OF CURB RAMPWAYS MUST BE 3:12 WITH THE WALK.
 6. SLOPE AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 1:20 UNLESS OTHERWISE SPECIFIED.
 7. SLOPE OF CLEAN FLOOR SPACES AT ENTRANCES AND EXITS MUST NOT EXCEED 1:48 UNLESS OTHERWISE SPECIFIED. THE SLOPE AREA OF CLEAN FLOOR SPACES MUST BE FLUSH WITH THE CURB.
 8. SLOPE OF CURBS SHALL BE 4:1 UNLESS OTHERWISE SPECIFIED.
 9. SLOPE OF DRIVEWAYS SHALL BE 2:1 UNLESS OTHERWISE SPECIFIED.

- GENERAL NOTES:**
1. PLEASE REFER TO LANDSCAPE GRADING WITH THE HATCHED
 2. ALL UTILITIES LISTED ON AMERICAN UTILITIES MAPS
 3. CONTRACTOR TO VERIFY ALL UTILITIES AND DEPT. OF PUBLIC WORKS
 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPT. OF PUBLIC WORKS
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES
 6. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BEFORE

Legend

Label

Curb retaining wall

New retaining wall

PAVING & GRADING PLAN - WEST FOR CONTINUATION

LEGEND

- PROF GRADES
- PROF EXIST GRADES
- PROF FINISH GRADES
- PROF CONCRETE DECKS
- PROF LANDSCAPE (REFER TO LANDSCAPE PLAN FOR DETAILS)
- PROF FULL DEPTH PAVEMENT
- PROF CONCRETE DECKS
- PROF LANDSCAPE (REFER TO LANDSCAPE PLAN FOR DETAILS)

NO.	DATE	DESCRIPTION	BY	CHKD.
1	06/15/2021	ISSUED	JK	JK
2				
3				
4				
5				

Kimley»Horn

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2801 PETERS ROAD, SUITE 2000, PLANTATION, FL 33324
PHONE: 954-355-7100 FAX: 954-776-2247
WWW.KIMLEY-HORN.COM CA 00000036

THRIVE PROGRESSO
PREPARED FOR
THRIVE DEVELOPMENT GROUP, LLC

CITY OF FORT LAUDERDALE
FLORIDA

PAVING & GRADING PLAN - EAST

Sunshine811.com

SHEET NUMBER
C-201

**CONTRACTOR INFORMATION**

FLORIDA HOME RENOVATION GROUP LLC

JOB INFORMATION

THRIVE PROGRESSO

CHANGE ORDER # 002R2

TOP SOIL EXCAVATION AND HAUL OFF INCLUDES MATERIAL

QTY	U/M	DESCRIPTION	COST		TOTAL
EXCAVATION FOR STRUCTURAL SOIL PLACEMENT & HAUL OFF (WEST SIDE ONLY)					
8	TL	HAUL OFF EXCAVATED MATERIAL	\$	350.00	\$ 2,800.00
144	CY	STRUCTURAL SOIL (MATERIAL)	\$	105.00	\$ 15,120.00
24	HR	OPERATOR LOADER PER HOUR	\$	50.00	\$ 1,200.00
24	HR	OPERATOR EXCAVATOR PER HOUR	\$	50.00	\$ 1,200.00
24	HR	LABOR CREW (2) PER HOUR	\$	95.00	\$ 2,280.00
12	HR	FOREMAN PER HOUR (1/2 TIME ONLY)	\$	65.00	\$ 780.00
24	HR	CAT LOADER 930 PER HOUR	\$	55.00	\$ 1,320.00
24	HR	CAT EXCAVATOR 308 PER HOUR	\$	55.00	\$ 1,320.00

SUB TOTAL (1) \$ 26,020.00
 10% OVERHEAD & PROFIT \$ 2,602.00
 SUBTOTAL (2) \$ 28,622.00

TOTAL COST FOR THIS CHANGE ORDER \$ 28,622.00

2900 NW 33RD AVENUE - MIAMI, FL. 33142
 OFFICE 305-633-9994 - FAX 305-633-9623

**CONTRACTOR INFORMATION**

FLORIDA HOME RENOVATION GROUP LLC

JOB INFORMATION

THRIVE PROGRESSO

CHANGE ORDER # 004

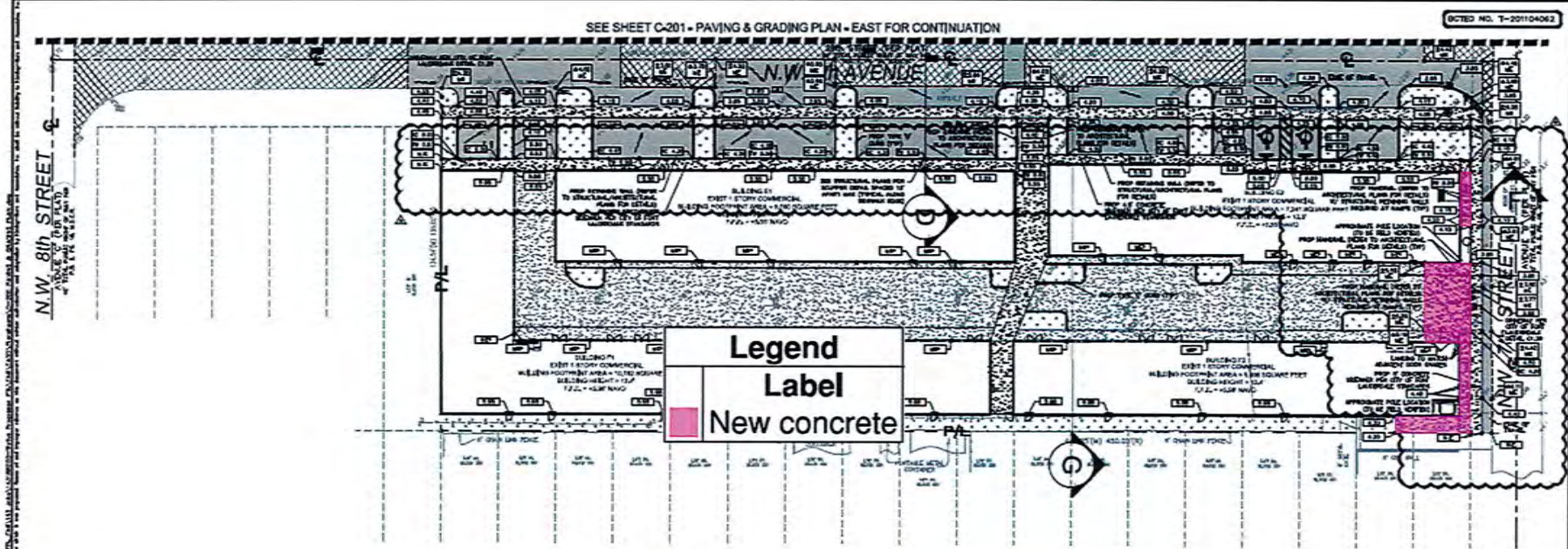
QTY	U/M	DESCRIPTION	COST	TOTAL
		ADDED CONCRETE WEST BUILDING		
1220	SF	4" CONCRETE SIDEWALK	\$ 9.50	\$ 11,590.00

SUB TOTAL \$ 11,590.00
 10% OVERHEAD & PROFIT \$ 1,159.00
TOTAL COST FOR THIS CHANGE ORDER \$ 12,749.00

2900 NW 33RD AVENUE - MIAMI, FL. 33142
OFFICE 305-633-9994 - FAX 305-633-9623

SEE SHEET C-201 - PAVING & GRADING PLAN - EAST FOR CONTINUATION

DATED NO. 7-201104062



Legend
Label
 New concrete

NOTES

1. ALL DRIVEWAYS SHALL HAVE A SLOPE OF 2% MINIMUM TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
2. ALL DRIVEWAYS SHALL BE CONCRETE OR SHALL HAVE A MINIMUM SLOPE OF 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
3. SLOPE WITHIN OF ACCESSIBLE WALKWAYS SHALL BE A MINIMUM OF 1%.
4. SLOPING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER ON THE SURFACE.
5. SLOPING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER ON THE SURFACE.
6. SLOPING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER ON THE SURFACE.
7. SLOPE OF CURB SHALL BE 4% TO THE STREET OR TO THE SIDEWALK.
8. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.

GENERAL NOTES

1. PAVING SHALL BE UNDERSOFT AND ANTI-FREEZE PLAN FOR GRADES WITHIN THE DRIVEWAY AREA.
2. ALL DRIVEWAYS SHALL BE CONCRETE OR SHALL HAVE A MINIMUM SLOPE OF 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
3. SLOPE WITHIN OF ACCESSIBLE WALKWAYS SHALL BE A MINIMUM OF 1%.
4. SLOPING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER ON THE SURFACE.
5. SLOPING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER ON THE SURFACE.
6. SLOPING SHALL BE DONE IN SUCH A MANNER AS TO PREVENT THE ACCUMULATION OF WATER ON THE SURFACE.
7. SLOPE OF CURB SHALL BE 4% TO THE STREET OR TO THE SIDEWALK.
8. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
9. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
10. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
11. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
12. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
13. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.
14. SLOPE OF DRIVEWAYS SHALL BE 2% TO THE CURB OR TO THE STREET OR TO THE SIDEWALK.

LEGEND

- 0.5% SLOPE
- 1% SLOPE
- 2% SLOPE
- 4% SLOPE
- 6% SLOPE
- 8% SLOPE
- 10% SLOPE
- 12% SLOPE
- 15% SLOPE
- 18% SLOPE
- 20% SLOPE
- 25% SLOPE
- 30% SLOPE
- 35% SLOPE
- 40% SLOPE
- 45% SLOPE
- 50% SLOPE
- 55% SLOPE
- 60% SLOPE
- 65% SLOPE
- 70% SLOPE
- 75% SLOPE
- 80% SLOPE
- 85% SLOPE
- 90% SLOPE
- 95% SLOPE
- 100% SLOPE



NO.	REVISIONS	DATE	BY

Kimley»Horn
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 601 ALBERTA ROAD, SUITE 200, JENNIFER, FL 32224
 PHONE: 904-222-0500 FAX: 904-222-0247
 WWW.KIMLEY-HORN.COM E-MAIL: JKH@KHA.COM

PROJECT NO.	143180000
DATE	09/07/2012
SCALE	AS SHOWN
DRAWN BY	CS
CHECKED BY	CS

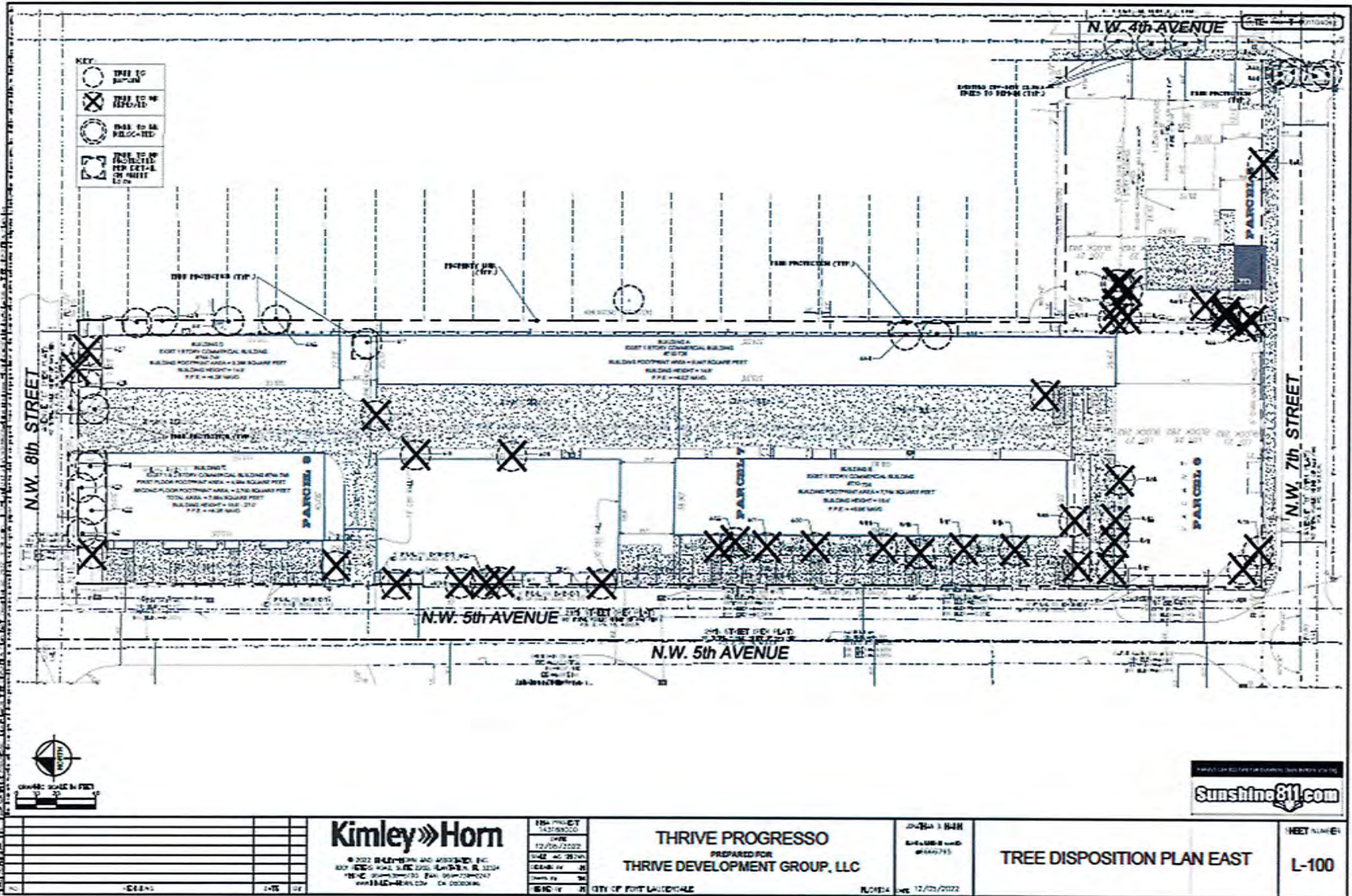
THRIVE PROGRESSO
 PREPARED FOR
 THRIVE DEVELOPMENT GROUP, LLC
 CITY OF FORT LAUDERDALE
 FLORIDA 09/17/2012

PAVING & GRADING PLAN - WEST
 SHEET C-202



7	Landscape change	Increase landscape at Green area with Additional Palms
---	------------------	--

Referencing change with Kimley & Horn, Item #21. The cost for the actual proper trees in Green space. See attached updated plan.



KEY

	TREE TO BE PRESERVED
	TREE TO BE REMOVED
	TREE TO BE PRESERVED - SEE DETAIL OF SHEET L-101
	TREE TO BE REMOVED - SEE DETAIL OF SHEET L-101

N.W. 8th STREET

N.W. 4th AVENUE

N.W. 7th STREET

N.W. 5th AVENUE

N.W. 5th AVENUE



Kimley-Horn
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 817 WEST HARRIS STREET, SUITE 200, LAWRENCE, KS 66044
 PHONE: 785.840.2000 FAX: 785.840.2002
 WWW.KIMLEY-HORN.COM KS 00000000

PROJECT	12/20/2022
DATE	12/20/2022
DRAWN BY	JK
CHECKED BY	JK
DATE	12/20/2022
SCALE	AS SHOWN
BY	JK
DATE	12/20/2022

THRIVE PROGRESSO
 PREPARED FOR
THRIVE DEVELOPMENT GROUP, LLC
 CITY OF FORT LAUDERDALE

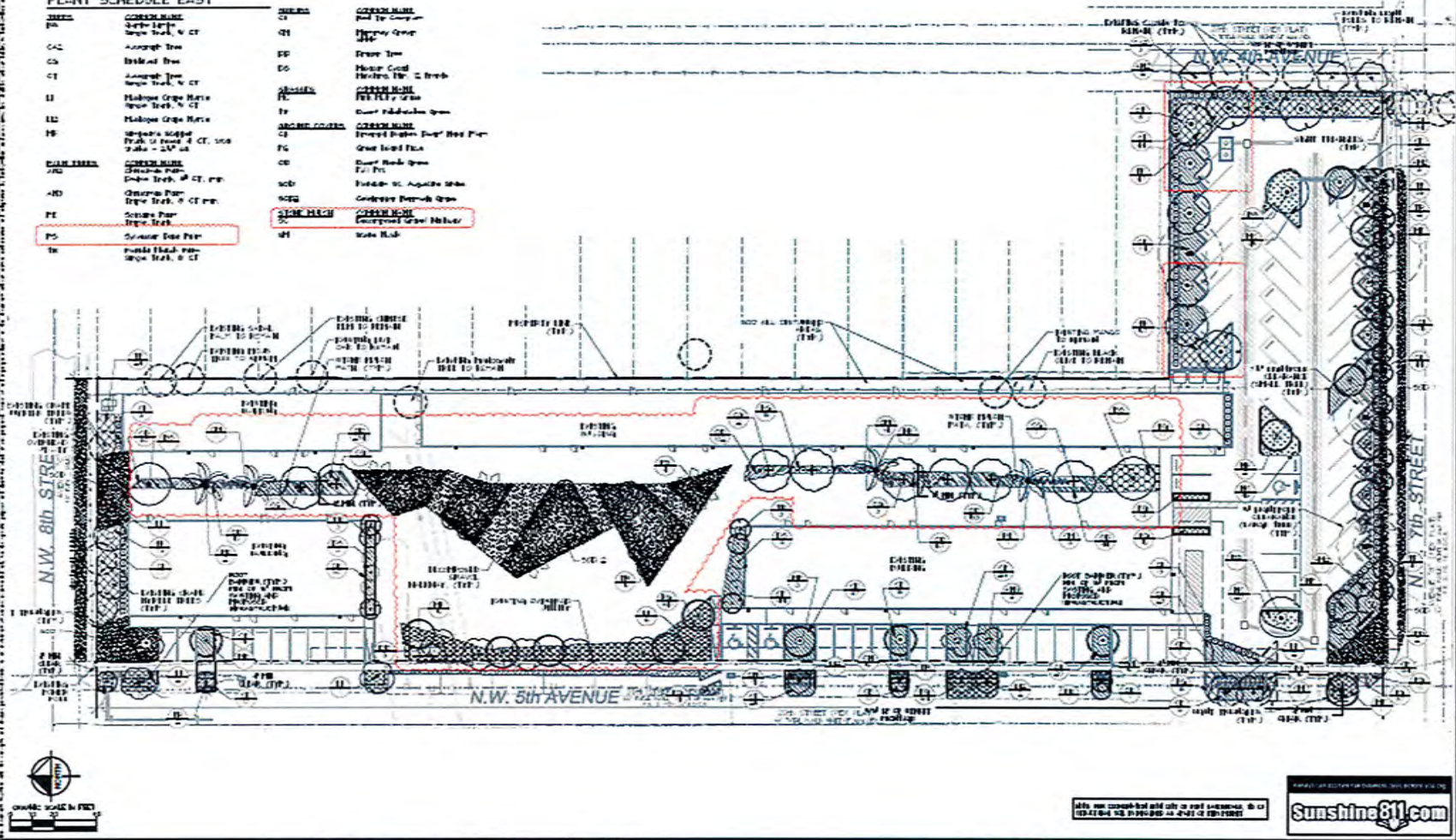
PROJECT NO. 22-0001
 SHEET NO. L-100
 DATE 12/20/2022

TREE DISPOSITION PLAN EAST

SHEET NUMBER
L-100

PLANT SCHEDULE EAST

PA	Large Palm	CT	Red Tip Canna
CA2	Large Tree, w. cr	CT	Red Tip Canna
CA	Large Tree	EP	Fraser Fir
CI	Large Tree	EO	Major Cud
II	Malibu Grape Vine	EP	Major Cud
III	Malibu Grape Vine	EP	Major Cud
IV	Malibu Grape Vine	EP	Major Cud
VB	Malibu Grape Vine	EP	Major Cud
VC	Malibu Grape Vine	EP	Major Cud
VD	Malibu Grape Vine	EP	Major Cud
VE	Malibu Grape Vine	EP	Major Cud
VF	Malibu Grape Vine	EP	Major Cud
VG	Malibu Grape Vine	EP	Major Cud
VH	Malibu Grape Vine	EP	Major Cud
VI	Malibu Grape Vine	EP	Major Cud
VII	Malibu Grape Vine	EP	Major Cud
VIII	Malibu Grape Vine	EP	Major Cud
IX	Malibu Grape Vine	EP	Major Cud
X	Malibu Grape Vine	EP	Major Cud
XI	Malibu Grape Vine	EP	Major Cud
XII	Malibu Grape Vine	EP	Major Cud
XIII	Malibu Grape Vine	EP	Major Cud
XIV	Malibu Grape Vine	EP	Major Cud
XV	Malibu Grape Vine	EP	Major Cud
XVI	Malibu Grape Vine	EP	Major Cud
XVII	Malibu Grape Vine	EP	Major Cud
XVIII	Malibu Grape Vine	EP	Major Cud
XIX	Malibu Grape Vine	EP	Major Cud
XX	Malibu Grape Vine	EP	Major Cud
XXI	Malibu Grape Vine	EP	Major Cud
XXII	Malibu Grape Vine	EP	Major Cud
XXIII	Malibu Grape Vine	EP	Major Cud
XXIV	Malibu Grape Vine	EP	Major Cud
XXV	Malibu Grape Vine	EP	Major Cud
XXVI	Malibu Grape Vine	EP	Major Cud
XXVII	Malibu Grape Vine	EP	Major Cud
XXVIII	Malibu Grape Vine	EP	Major Cud
XXIX	Malibu Grape Vine	EP	Major Cud
XXX	Malibu Grape Vine	EP	Major Cud



NO.	DATE	BY

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 800 WEST PALM BLVD., SUITE 200, WEST PALM BEACH, FL 33411
 TEL: 561-832-1000 FAX: 561-832-1001
 WWW.KIMLEY-HORN.COM CA 00000000

THRIVE PROGRESSO
 PREPARED FOR
THRIVE DEVELOPMENT GROUP, LLC
 12/20/2022
 DATE: 04-27-2022
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 CITY OF FORT LAUDERDALE, FLORIDA 04/27/2022

LANDSCAPE PLAN EAST
 SHEET NUMBER: **L-200**



ALL ARE CONSIDERED NOT TO BE A PART OF THIS PLAN UNLESS SPECIFICALLY IDENTIFIED AS SUCH.

November 7th, 2022

Mr. Jonathan & Avi Fish
 Thrive Development Group, LLC
 746 NW 5 Avenue
 Fort Lauderdale, FL 33311

Re: Thrive Progresso – Community Center

Dear Jonathan, Avi:

Archi Construction Corp (ARCHI) is pleased to present this Agreement to provide professional services to plan and design the outdoor space for **Thrive Progresso**, consisting of approximately 29,000 SF located at 746 NW 5 Avenue, Fort Lauderdale, 33311. ARCHI will perform services in the following manner:

Article I - Basic Services

Assumptions:

- ARCHI will develop the Design Concept for the outdoor areas of the Thrive Progresso complex, including the aesthetic thread organizing the different outdoor amenity spaces and the artwork to give the complex a distinctive character and identity.
- ARCHI will provide a layout for the seating, walking areas, and full FF&E specifications.
- ARCHI does not include any interior work in its scope of services.
- ARCHI will manage artwork submission to the City of Fort Lauderdale for approval.
- Construction Documents, permitting, and Shopping drawings will be the responsibility of the General Contractor and Sign Vendor.
- ARCHI assumes it will work with Thrive Development Group (CLIENT) selected Sign vendor to fabricate and install all flat signs.
- The CLIENT will deliver the AutoCAD file with the existing conditions.
- For the basis of this proposal, we have anticipated the following budget estimates –
 - Graphics: Artwork Wall Murals: \$175,000 – Flat Signs: \$55,000 (Elevation systems for the execution of artistic murals not included in this estimate)
 - Outdoor Fixtures, Furniture, Equipment (FF&E): \$95,000; approx. (including installation and setup)

Exclusions:

- ARCHI has not included Structural, Acoustical, Lighting, Landscaping Consultants, or City Permitting fees in this scope of work. All consultants and/or trades not included in the scope of work described will be contracted through the General Contractor (GC) and/or owner's representative. Archi Construction will furnish a fee proposal upon request if any additional services are considered required.

Phase 1- Programming

ARCHI will conduct a kickoff meeting to identify project parameters, including schedule, budget, and key stakeholders, with input from the project lead and organizational vision/ goals.

This kickoff aims to define the project objective, identify the project context, catalog inspiration, highlight opportunities, and build consensus amongst the entire project team.

Archi will present to the Client a pre-selection of muralists with background and economic proposals to perform the artistic work in the spaces specified in the Documentation received.

Archi will work on developing the conceptual design with the selected muralist.

We have assumed two (2) meetings during this phase.

Phase 2 – Schematic Design

This critical phase will define the overall design for the Project, provide a baseline for design development and serve as a beginning template for the final Documentation. We expect to end this phase with a clear design direction that includes- the proposed layout and all amenity spaces defined, scaled, and placed in the appropriate location. The artwork concept is also to be determined.

- A. ARCHI will conduct a detailed review of the Project site plans, Project criteria, Project program, and preliminary drawings and specifications for familiarity and feedback.
- B. ARCHI will attend all meetings with the Landscape Consultant and Contractors; we assume one coordination meeting in person and one meeting to present the final deliverable.
- C. ARCHI will work within the CLIENT's overall Project schedule to prepare a Design Schedule for Project critical dates, including CLIENT's review dates, drawing duration, and completion dates for work. This schedule shall be adjusted as required as the Project proceeds and shall include allowances for periods of time necessary for the CLIENT review and approval of submissions.
- D. ARCHI will create preliminary floor plans with an overall design concept and proposed furniture layouts.
- E. ARCHI will prepare and present a Schematic Design presentation to the CLIENT, which will consist of the proposed design concept, artwork theme, and furniture and fixtures layouts, informal selections of colors to show the atmosphere for all areas.
- F. ARCHI will submit and obtain approval from the CLIENT of Schematic Design plans indicating proposed furniture and equipment layouts, colors and samples of proposed materials, catalogs or photographs of furniture, etc., including alternate selections.
- G. ARCHI will issue Schematic Deliverables related to furniture and graphics to prepare a schematic cost estimate.
- H. We have assumed one (1) revision to the design during this phase.
- I. Schematic Design Phase Deliverables:
 - Final space plan/schematic design for outdoor amenity spaces.
 - Images of Graphic Concept
 - Estimated budget

Phase 3- Design Development

Based upon the CLIENT's approval of the Schematic Design, ARCHI will provide detailed Design Development documents to establish the exact character of the Project.

- A. ARCHI will prepare the final Design Development for all areas of the outdoor space Design based on the approved Schematic Design and incorporating all instructions or requirements of the CLIENT arising from the Schematic Design presentation.
- B. ARCHI will develop design concept sketches – (these sketches may be produced by hand or with the use of computer rendering tools as ARCHI deems appropriate, to convey the design intent)

- C. ARCHI will develop pricing documents utilizing the details, sketches, and above-listed plans.
- D. We have assumed one (1) revision to the design during this phase
- E. Design Development Phase Deliverables
 - Outdoor Furniture floor plans, fixture plans with tags for amenity spaces
 - Floor Plans with dimensions and tags
 - Exterior elevations with Graphics
 - FFE Estimated budget
 - Graphics estimated budget

Phase 4 – FF&E Specifications

Following the CLIENT's approval of the Design Development Documents, ARCHI will coordinate with the GC, who will be responsible for completing the Construction Documents as needed. ARCHI will produce the FFE Specifications to obtain bids and construction permits and construct the Project.

- A. ARCHI will prepare and present final plans, as needed, accurately identifying the location and placement of all fixtures and furniture corresponding to the FF&E specifications.
- B. ARCHI will assist in responding to Contractors, Suppliers, Vendors, or FF&E Installers Clarification Requests relating to the design work during the bidding and procurement Phase.
- F. Specifications Phase Deliverables
 - Final tagged furniture plans
 - Final FFE specifications
 - Final FFE budget

Phase 5 – FF&E Administration Services

During construction, ARCHI will provide the following services in coordination with the GC:

- A. ARCHI will review and approve graphics and floor finishes samples, including all materials and colors.
- B. ARCHI will review the final placement of all items and shall inspect for damage, quality, assembly, and function on completion of installation by others.
- C. ARCHI will advise the CLIENT in writing its recommendation on using alternate selections during procurement.
- D. ARCHI will inspect the completed installation and issue a punch list of deficiencies.
- G. FFE Administration Phase Deliverables
 - Response to RFI's
 - Shop drawing, sample reviews
 - FF&E Punch List

Add-Alternate A – Purchasing

Items purchased by Archi or Client included on the approved Project will be billed to Client at net cost plus 13%. Client will be billed directly and be responsible for freight, shipping, warehousing, delivery, sales tax, and other expenses.

Artwork murals purchase will be billed directly to the Client. Archi will provide management and supervision service at net cost plus 9%.

Article II – Compensation

A. Basic Services

Archi Construction will perform the services described under Phases 1-5 for the fixed fee shown below, invoiced monthly as a percentage of services completed.

The fees may vary somewhat per phase but will not exceed the total shown below.

Estimated Schedule:

Times will vary depending on approvals.

Programming	3 Weeks
Schematic Drawings	4 Weeks
Design Development	3 Weeks
FFE Specifications	2 Weeks
FF&E Administration	TBD

Compensation

Phase	Description	Fee
1	Programming	\$ 3,000
2	Schematic Design	\$ 7,290
3	Design Development	\$ 14,580
4	FFE Specifications	\$ 7,290
5	FFE Administration	\$ 7,290
TOTAL	Design Fee	\$ 39,450

Add-Alternate Services

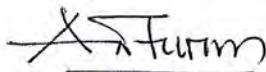
Phase	Description	Fee
Add-Alt A	Purchasing	13 %
	Artwork Murals	9 %

Fees for professional services and reimbursable expenses shall be invoiced upon completion of the phases. Upon a signed agreement to proceed with services, ARCHI will invoice an initial 10% retainer payment to be paid at the start of the Project and credited against the final invoice. All invoices are payable net 30 days from the date of invoice.

We are prepared to begin work and will adapt this proposal into an agreement upon your authorization to proceed. Don't hesitate to contact us if we can answer any questions.

On behalf of ARCHI CONSTRUCTION, we thank you for the opportunity to submit this proposal. We look forward to hearing from you.

Sincerely,



Adriana Sturm, AIA International Associate
 Managing Director
 Date: 11-07-22

Jonathan Fish – Avi Fish
 By Thrive Development Group, LLC
 Date:



Project Name: Thrive Progresso
 Project Address: 701 NW 5th Ave. Fort Lauderdale, FL 33311
 Date: 8/10/2021 Freight Terms: FOB Factory, 33458

National Flood Barrier, LLC • 27 Lake Of Isles Rd Preston, CT 06365 • 860.222.3055 • www.NationalFloodProtection.us

Flood Barrier Materials Proposal

Opening/Description/Rough Opening Dimensions/Type
<p>Flood Log Proposal</p> <p>Opening A-1 THROUGH A-7 (7 OPENINGS) R.O. 3.33'X1.0'_WW_4.83 SQ FT REMOVABLE W / PRIMED STEEL WALL EMBED PLATES CONDITION: STUCCO OVER CONCRETE FILLED CMU 1' Flood Log 1' Wall-Alum w/ Removable Gasket 1' Flood Log-Wall Addition 16"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT</p> <p>Opening A-8 THROUGH A-24 (17 OPENINGS) R.O. 10.0'X1.0'_WW_11.5 SQ FT REMOVABLE W / PRIMED STEEL WALL EMBED PLATES CONDITION: STUCCO OVER CONCRETE FILLED CMU 1' Flood Log 1' Wall-Alum w/ Removable Gasket 1' Flood Log-Wall Addition 16"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT</p> <p>Opening E2-1 THROUGH E2-10 (10 OPENINGS) R.O. 10.0'X1.5'_WW_17.25 SQ FT REMOVABLE W / PRIMED STEEL WALL EMBED PLATES CONDITION: STUCCO OVER CONCRETE FILLED CMU 1.5' Flood Log 1.5' Wall-Alum w/ Removable Gasket 1.5' Flood Log- Wall Addition 22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT</p> <p>Opening E2-11 THROUGH E2-16 (6 OPENINGS) R.O. 3.33'X1.5'_WW_7.25 SQ FT REMOVABLE W / PRIMED STEEL WALL EMBED PLATES CONDITION: STUCCO OVER CONCRETE FILLED CMU 1.5' Flood Log 1.5' Wall-Alum w/ Removable Gasket 1.5' Flood Log- Wall Addition 22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT</p> <p>Opening E1-1 THROUGH E1-12 (12 OPENINGS) R.O. 10.0'X1.5'_WW_17.25 SQ FT REMOVABLE W / PRIMED STEEL WALL EMBED PLATES CONDITION: STUCCO OVER CONCRETE FILLED CMU 1.5' Flood Log 1.5' Wall-Alum w/ Removable Gasket 1.5' Flood Log- Wall Addition 22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT</p>

Opening E1-13 THROUGH E1-17 (5 OPENINGS)

R.O._3.333'X1.5'_W/W_7.25 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1.5' Flood Log
1.5' Wall-Alum w/ Removable Gasket
1.5' Flood Log- Wall Addition
22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening D-1, D-2, D-3 (3 OPENINGS)

R.O._3.33'X1.0'_W/W_4.83 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1' Flood Log
1' Wall-Alum w/ Removable Gasket
1' Flood Log-Wall Addition
16"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening D-4 THROUGH D-9 (6 OPENINGS)

R.O._10.0'X1.0'_W/W_11.5 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1' Flood Log
1' Wall-Alum w/ Removable Gasket
1' Flood Log-Wall Addition
16"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening B-1 THROUGH B-9 (9 OPENINGS)

R.O._3.333'X1.5'_W/W_7.25 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1.5' Flood Log
1.5' Wall-Alum w/ Removable Gasket
1.5' Flood Log- Wall Addition
22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening B-10 THROUGH B-17, F1-1, F1-2, F1-3 (11 OPENINGS)

R.O._10.0'X1.5'_W/W_17.25 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1.5' Flood Log
1.5' Wall-Alum w/ Removable Gasket
1.5' Flood Log- Wall Addition
22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening F1-4, F1-5, F1-6, F1-7 (4 OPENINGS)

R.O._10.0'X1.5'_JOSW/JOSW_17.25 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1.5' Flood Log
1.5'-Jamb-OFFSET WALL_SUPPORT_Removable
1.5' Flood Log-OS Wall Addition
22"X4"X.25" PRIMED STEEL EMBED PLATE FOR JOSW SUPPORT

Opening F1-8 THROUGH F1-20 (13 OPENINGS)

R.O._10.0'X1.5'_W/W_17.25 SQ FT REMOVABLE
W / PRIMED STEEL WALL EMBED PLATES
CONDITION: STUCCO OVER CONCRETE FILLED CMU
1.5' Flood Log
1.5' Wall-Alum w/ Removable Gasket
1.5' Flood Log- Wall Addition
22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening F1-21 THROUGH F 1-27 (7 OPENINGS)

R.O._3.333'X1.5'_W/W_7.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5' Wall-Alum w/ Removable Gasket

1.5' Flood Log- Wall Addition

22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening C-1, C-2, C-3 (3 OPENINGS)

R.O._3.33'X1.0'_W/W_4.83 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1' Flood Log

1' Wall-Alum w/ Removable Gasket

1' Flood Log-Wall Addition

16"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening C-4 THROUGH C-7 (4 OPENINGS)

R.O._10.0'X1.0'_W/W_11.5 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1' Flood Log

1' Wall-Alum w/ Removable Gasket

1' Flood Log-Wall Addition

16"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening F2-1

R.O._10.0'X1.5'_W/W_17.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5' Wall-Alum w/ Removable Gasket

1.5' Flood Log- Wall Addition

22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening F2-2, F2-3, F2-4 (3 OPENINGS)

R.O._10.0'X1.5'_JOSW/JOSW_17.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5'-Jamb-OFFSET WALL_SUPPORT_Removable

1.5' Flood Log-OS Wall Addition

22"X4"X.25" PRIMED STEEL EMBED PLATE FOR JOSW SUPPORT

Opening F2-5, F2-6, F2-7 (3 OPENINGS)

R.O._10.0'X1.5'_W/W_17.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5' Wall-Alum w/ Removable Gasket

1.5' Flood Log- Wall Addition

22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening F2-8, F2-9 (2 OPENINGS)

R.O._10.0'X1.5'_JOSW/JOSW_17.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5'-Jamb-OFFSET WALL_SUPPORT_Removable

1.5' Flood Log-OS Wall Addition

22"X4"X.25" PRIMED STEEL EMBED PLATE FOR JOSW SUPPORT

Opening F2-10 THROUGH F2-13 (4 OPENINGS)

R.O._10.0'X1.5'_WW_17.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5' Wall-Alum w/ Removable Gasket

1.5' Flood Log- Wall Addition

22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

Opening F2-14 THROUGH F2-19 (6 OPENINGS)

R.O._3.333'X1.5'_WW_7.25 SQ FT REMOVABLE

W / PRIMED STEEL WALL EMBED PLATES

CONDITION: STUCCO OVER CONCRETE FILLED CMU

1.5' Flood Log

1.5' Wall-Alum w/ Removable Gasket

1.5' Flood Log- Wall Addition

22"X8"X.25" PRIMED STEEL EMBED PLATE FOR W SUPPORT

EXPIRATION: Quote is valid for thirty (30) days with fabrication release within sixty (60) days from the proposal date above.

CLARIFICATIONS:

**Sill and wall conditions must be flat, level and paper smooth for gaskets to seal properly.*

**Flood Doors must be secured to solid masonry (CMU or concrete) that is a minimum 8" thick.*

**Architecture Metals specification used at time of this proposal. Anything additional to AM spec may incur additional costs.*

**By accepting this proposal, the undersigned agrees and fully understands that all surfaces that the flood barrier is attached and/or anchored to has been designed and approved by a structural engineer to sustain the same hydrostatic, hydrodynamic and impact pressures/loads that correspond to the maximum water elevation above the finished floor at top of panel, based on current standards and codes of the IBC, ASCE and FEMA. This is the responsibility of the client/owner and not NPB or NFP.*

*Estimated Standard Freight and Handling (NO lift gate or special shipping options included). Actual freight will be calculated at time of shipping.

Materials Base Price (Furnish Only) :	\$	340,235.59
Estimated Freight :	\$	2,821.07
Sales Tax :		Not Included
Total :	\$	343,056.66

Optional Services

Flood Log or Panel Systems - Engineer stamped calculations (electronic copy only) :	<i>Request A Quote</i>
Pedestrian Door or Hinged Gate - Engineer stamped calculations (electronic copy only) :	<i>Request A Quote</i>
NFP Professional Flood Barrier Installation by Flood Panel Certified Technicians :	<i>Request A Quote</i>
Annual Inspection and Maintenance Plan (per year) :	<i>Request A Quote</i>
NFP Site Consultation (day rate) :	<i>Request A Quote</i>

Material Proposal Includes:

Standard shop drawings, Flood Mitigation system as described above, closeout documents.

*Excludes:

Installation, fasteners and sealants, verification of field measurements and conditions, field testing, field painting, permits, special inspections building design engineering, mid span footing design and engineering, expediting, on-site consultation, existing condition alterations, deployment plan and training.

OPTIONAL SERVICES:

Professional Installation

Professional installation completed by National Flood Protection, LLC (our sister company) includes:

All necessary fasteners/sealants/epoxy, labor (non -Union, non prevailing wage)

Supervision, daily clean up (dumpsters by others)

Deployment Plan and Training:

1. On-site step-by-step training on installation of each barrier
2. Written step-by-step procedure
3. Supervision labor and travel related expenses

*Excludes:

Flood barrier system, field testing, building design/engineering, sump pumps, permits, special inspections, expediting, onsite consultation, existing condition alterations, dumpsters, storage of flood barrier system during/after installation.

Annual Inspection and Maintenance Plan

1. Inspect each component of the Flood Barriers to ensure that all gaskets are still in place relative to the initial installation and have not been compromised. Any gaskets and/or components identified as being defective are to be replaced at the owner's expense.
2. Inspect the Flood Barriers to ensure that all components are still in place relative to the initial installation.
3. Supervision of client's personnel on the re-deployment of openings to ensure existing conditions have not changed in a manner that would compromise the function ability of the Flood Barrier system.
4. Re-train client's existing personnel and/or new employees who were not present at the training following the initial installation.

Annual Inspection and Maintenance Proposal includes:

Supervision labor and travel related expenses.

*Excludes:

Material and labor costs for replacement of any component found to be defective and/or missing. Additional labor that might be necessary for deployment. Flood barrier moving equipment.

Documents: NFP's Annual Maintenance Plan-Service Agreement

On Site Consultation

NFP Site Consultation (day rate) representative is sent to the site including but not limited to the following services:

1. Verification of field measurements and/or building existing conditions
2. Supervision of installation by Others
3. Inspection and training after installation completed by Others (includes written deployment plan)

TERMS:

UNLESS OTHERWISE EXPRESSLY AGREED IN WRITING, THE TERMS AND CONDITIONS OF THIS PROPOSAL FROM NATIONAL FLOOD BARRIER, LLC ("NFB") TO THE UNDERSIGNED CLIENT SHALL APPLY, AND THE UNDERSIGNED CLIENT BY SIGNING AND RETURNING THIS PROPOSAL TO NFB, HEREBY INTENDS TO AND HEREBY AGREES TO BE LEGALLY BOUND BY THIS PROPOSAL, INCLUDING AND WITHOUT LIMITATION THE FOLLOWING TERMS & CONDITIONS:

Order Terms:

All domestic orders are by Purchase Order only. All international orders are by Purchase Order only and are to be paid 100% by wire transfer with order. All international orders are FOB shipping forwarder in the state of Florida, USA

Billing Terms/Deposits (all deposits are non refundable):

For material orders only (Purchase Order required):

- *All orders under \$5,000.00 require 100% payment with PO
- *All orders under \$10,000.00 require 50% payment with PO and balance due prior to shipping
- *All orders over \$10,000.00 require 25% deposit with PO, 25% with submission drawings, 25% with approved submission drawings and balance due prior to shipping.

Payment Terms:

Checks made payable to:
National Flood Barrier, LLC
27 Lake Of Isles Rd
Preston, CT 06365

Shop Drawings:

Submittal drawings will be made within three (3) weeks following fully executed PO and required deposit (see billing terms)

IMPORTANT: by default, all shop drawings will show concrete for wall and sill conditions. How our flood barriers attach to the structure differs depending on the materials / assemblies. If you wish for the manufacture to properly show the correct wall / sill conditions on the first set of shop drawings please provide us with the wall & sill details. The following will be accepted only:

Architectural Plans

- o Preferably CADD file
- o Scalable PDF
- o Specify exactly which detail goes to which opening

Handwritten Plans

- o Must be legible, describe materials and show all dimensions

Please note: If NFB does not receive the above we will assume the wall conditions are strictly concrete. Additional charges will occur if wall conditions are not provided for the first set of shop drawings and are required to be on shops thereafter.

Production Lead Time:

Current production lead time is estimated at 12-14 weeks following receipt of approved shop drawings, verified dimensions and required deposit payment. Production lead time is highly seasonal and will vary over the course of the year. NFB suggests that the delivery date be announced by the customer as soon as it is known to ensure we can accommodate. NFB is not responsible for any delays caused by scope changes or submittal review. Lead times quoted do not include any time for re-quotes, submittal review and/or submittal revisions. Signed and sealed calculations lead time is approximately 4-5 weeks, in addition to the 12-14 week lead time for the production of the barriers.

CONDITIONS:

1. TERMS TO GOVERN: Only terms and conditions stated herein, and the terms and conditions in the applicable Installation Services Agreement, shall be in binding upon National Flood Barrier, LLC (NFB), and no modification amendment or change, whether in Client's purchase order or otherwise shall obligate NFB unless authorized in writing by NFB. Capitalized terms used but not defined herein have the respective meanings assigned to them in the applicable Installation Services Agreement entered into between Client and NFB.
2. PRICES: Unless otherwise specifically provided in NFB's quotation, prices are valid for thirty (30) days with fabrication release within sixty (60) days from the proposal date. Thereafter, prices are subject to change due to either inflation, tariff, or surcharge on material. Freight is predicated on a single shipment; partial shipments made at the request of the Buyer may result in additional cost to the Buyer.
3. TAXES: The prices and terms quoted do not include any gross receipts, sales, tariff payments borne by any manufacture, or use tax, either federal, state or local payable on the transaction under any applicable statute. All transactions are to be wholesale and not subject to the aforementioned charges. Any and all applicable taxes shall be paid by the undersigned client.
4. PAYMENT: Should the undersigned client default in the timely payment to NFB, NFB is entitled to any and all remedies provided under contract or by law. If the undersigned client fails to pay any amounts when due, the client shall pay NFB interest thereon at a periodic rate of one and one-half percent (1.5%) per month (or the maximum allowable interest rate, if a lesser amount), together with all fees, costs, and expenses (including without limitation, reasonable attorney's fees and disbursements and court costs) incurred by NFB in collecting such overdue amounts or otherwise enforcing NFB's rights hereunder.
5. CANCELLATION: In the event that all or a portion of this order is cancelled by the undersigned client without default on the part of NFB or without NFB's written consent, the client shall be liable to NFB for cancellation charges including, but not limited to, NFB's incurred costs and such profits as would have been realized by NFB from the transaction had the client not breached.

6. PERFORMANCE: is also contingent upon strikes, accidents, fires, the inability to procure materials from the usual sources of supply, the requirements of the United States Government (through the use of priorities or preference or any other manner) that NFB divert either the material or the finished product to the direct or indirect benefit of the Government, or upon any like or unlike cause beyond the control of NFB. NFB shall not be responsible for delays resulting from causes of any kind beyond NFB's control, including but not limited to: delays caused by the Buyer, general contractor, architect and/or engineers; armed conflict or economic dislocation resulting therefrom; embargoes, tariffs and other international disputes (i.e. "trade wars", whether or not officially declared); shortages of labor or raw materials, production facilities or transportation; labor difficulties; civil disorders of any kind; action of civil or military authorities; vendor priorities and allocation; fires, floods, accidents and acts of God. Upon disapproval of the Credit Department or upon the occurrence of any such event as aforesaid, NFB may delay performance or, at its option, renegotiate prices and terms and conditions of sale with Buyer. If NFB elects to renegotiate and NFB and the Buyer are unable to agree on revised prices or terms, the order shall be cancelled without any liability by NFB.

7. RISK OF LOSS: Risk of loss, including, but not limited to loss of goods from shortages, damages, or transit delays, shall pass to the undersigned client when the Flood Barriers have been delivered by any transportation carrier (excluding proprietary facilities of Flood Panel). All orders are sent FOB- 'Free On Board' Shipping Point, is defined as the buyer taking responsibility of the delivery of goods being shipped to it by a supplier as soon as the goods leave the suppliers shipping dock. It is the responsibility of the buyer to thoroughly inspect all pieces for damage or missing parts prior to signing for the delivery. In the event of damage, it is the responsibility of the buyer as consignee to submit any claims directly to the carrier for monetary reimbursement to replace these components. Due to lead times on fabrication, notify NFB immediately to reorder any parts for replacement, not once the claim is settled. Payments for the order will be per our billing terms.

8. RETURNS: Flood Barriers shall not be returned except by permission of Flood Panel and when so returned will be subject to discount.

9. LIEN RIGHTS: NFB may file a lien or claim on its behalf in the event that any payment to NFB is not made as provided herein.

10. CHANGES: Changes made after fabrication has started will result in a change in price deemed appropriate by NFB to recover all associated labor and material costs, including normal overhead and profit.

11. DISCLAIMER OF WARRANTIES; LIMITATION OF LIABILITY:

NFB EXPRESSLY DISCLAIMS ALL WARRANTIES, WHETHER EXPRESS, IMPLIED, STATUTORY, OR OTHERWISE, WITH RESPECT TO ANY SERVICES, ANY FLOOD BARRIERS, AND/OR ANY OTHER MATERIALS PROVIDED TO THE UNDERSIGNED CLIENT UNDER THIS PROPOSAL, INCLUDING, WITHOUT LIMITATION, ALL IMPLIED WARRANTIES OF MERCHANTABILITY, QUALITY, FITNESS FOR A PARTICULAR PURPOSE, NON-INFRINGEMENT, AND WARRANTIES ARISING FROM A COURSE OF DEALING, USAGE, OR TRADE PRACTICE. WITHOUT LIMITING THE FOREGOING, NFB PROVIDES NO WARRANTY OR UNDERTAKING, AND MAKES NO REPRESENTATION OF ANY KIND WHETHER EXPRESS, IMPLIED, STATUTORY, OR OTHERWISE, THAT THE FLOOD BARRIERS WILL MEET CLIENT'S REQUIREMENTS, ACHIEVE ANY INTENDED RESULTS, BE COMPATIBLE OR WORK WITH ANY OTHER GOODS, SERVICES, TECHNOLOGIES, OR MATERIALS. UNDERSIGNED CLIENT SHALL LOOK SOLELY TO THE MANUFACTURER WITH RESPECT TO ANY SUCH CLAIMS. WITHOUT LIMITING ANY OF THE FOREGOING, NFB SHALL, UPON THE UNDERISGNEED CLIENT'S REQUEST, SEEK TO OBTAIN AND TO DELIVER TO CLIENT A COPY OF THE MANUFACTURER'S STANDARD FORM OF WARRANTY FOR THE MANUFACTURER'S DESIGNED AND MANUFACTURED PRODUCTS ONLY (THE "MANUFACTURER'S WARRANTY"); PROVIDED, HOWEVER, THAT NFB MAKES NO REPRESENTATION, WARRANTY, OR COVENANT WHATSOEVER WITH RESPECT TO ANY MANUFACTURER'S WARRANTY AND/OR ANY RIGHTS OR BENEFITS THAT CLIENT MIGHT CLAIM THEREUNDER.

ADDITIONALLY, AND WITHOUT LIMITING ANY OF THE FOREGOING, THE UNDERSIGNED CLIENT HEREBY ACKNOWLEDGES AND AGREES THAT NFB HAS EXPRESSLY DISCLOSED TO CLIENT THAT THE FLOOD BARRIERS ARE DESIGNED PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) GUIDELINES FOR APPLICABLE PROTECTION HEIGHT ONLY WHEN PROPERLY FASTENED. IN NO EVENT SHALL NFB BE LIABLE, RESPONSIBLE, OR OBLIGATED IN ANY WAY WHATSOEVER WITH RESPECT WHATSOEVER WITH RESPECT TO (a) VERIFYING OR OTHERWISE ENSURING THAT ANY OPENING(S) INTO WHICH ANY FLOOD BARRIER(S) ARE OR MAY BE INSTALLED ARE OR HAVE BEEN DESIGNED AND/OR ENGINEERED TO WITHSTAND ANY PARTICULAR LEVEL OF FORCE FROM FLOOD WATERS OR OTHERWISE, AND/OR (b) EVALUATING ANY BUILDING OR STRUCTURE, OR DETERMINING ANY BUILDING'S OR ANY STRUCTURE'S ABILITY TO (i) WITHSTAND ANY PARTICULAR LEVEL OF WATER PRESSURE AND/OR (ii) BE OR REMAIN WATERPROOF IN ANY LOCATIONS WHERE FLOOD BARRIERS ARE NOT INSTALLED.

INTENDING TO BE LEGALLY BOUND, THE UNDERSIGNED CLIENT HEREBY ACCEPTS AND AGREES TO THE TERMS AND CONDITIONS OF THIS PROPOSAL:

CLIENT

(Company Name): _____
Accepted (Signature): _____
By (Print Name): _____
Title: _____
Date: _____



4BB Corp.
3600 Red Rd.
Miramar, FL
33025, United States
888-422-1880

Prepared By:
Maria Barreat
9546008113
maria@4bbcorp.com

Project: THRIVE

Scope of Work

- ASSUMING EXISTING POWER IN OUTDOOR JUNCTION BOXES.
- ASSUME EXISTING TRENCHING BETWEEN BUILDINGS.

ESTIMATE

Part	Quantity	Total Cost
1" Conduit, EMT	481 ft	\$ 4,964.40
1/2" EMT Conduit	1,171 ft	\$ 7,252.97
3/4" EMT Conduit	2,077 ft	\$ 13,920.05
	--	\$ 26,137.43

Notes

Summary

Subtotal \$ 27,967.05

\$ 27,967.05

Accepted By

Date

3-29-22

JK



4BB Corp

4BB Corp.
3600 Red Rd.
Miramar, FL
33025, United States
888-422-1880

Prepared By:
Maria Barreat
9546008113
maria@4bbcorp.com

Project: THRIVE

Scope of Work

10% Avigilon deal registration discount by March 31st, 2022

ESTIMATE

Part	Quantity	Total Cost
1-port, cat 5e camera drop	68 ea	\$ 3,060.00
2.0C-H5SL-DO1-IR + License	68 ea	\$ 35,307.50
NVR4X-STD-48TB-NA	1 ea	\$ 17,402.09
	--	\$ 55,769.59

Notes

Summary

Subtotal	\$ 59,283.07
Discount	\$ -5,576.96

\$ 53,706.11

Accepted By

Date

3.31-22

JK

THRIVE SECURITY PLANS

701-745 NW 5TH AVE,
FT. LAUDERDALE,
FL 33311



CONTRACTOR
4 BEST BUSINESS
CORP.
3600 RED ROAD
SUITE 306,
MIRAMAR, FL 33025

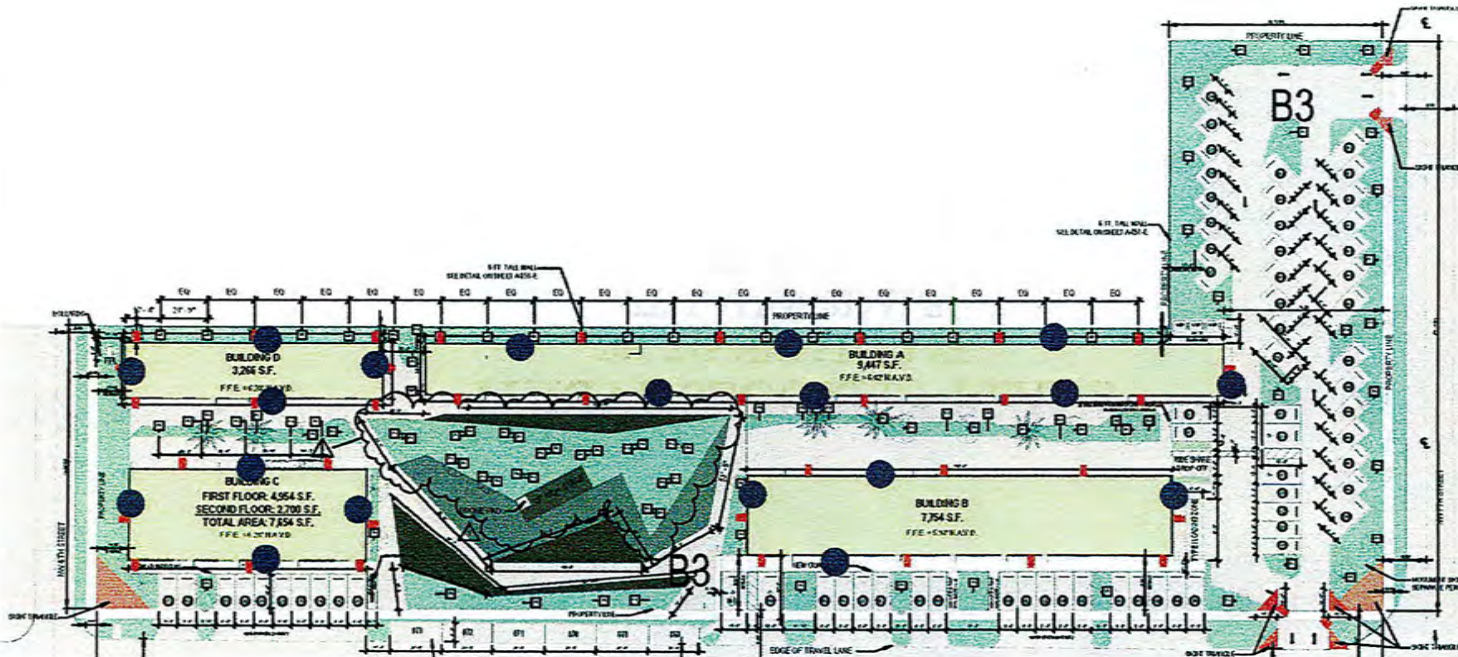
LICENSE
EC13009946

**THRIVE
SECURITY PLAN**

701-745 NW 5TH AVE,
FT. LAUDERDALE,
FL 33311

LEGEND:

 (37) CAMERAS



EAST SITEPLAN

LOCATION:

701-745 NW 5TH AVE,
FT. LAUDERDALE,
FL 33311

CONTRACTOR:

4BEST BUSINESS CORP.

LICENSE:

EC13009946

SIGNATURE:

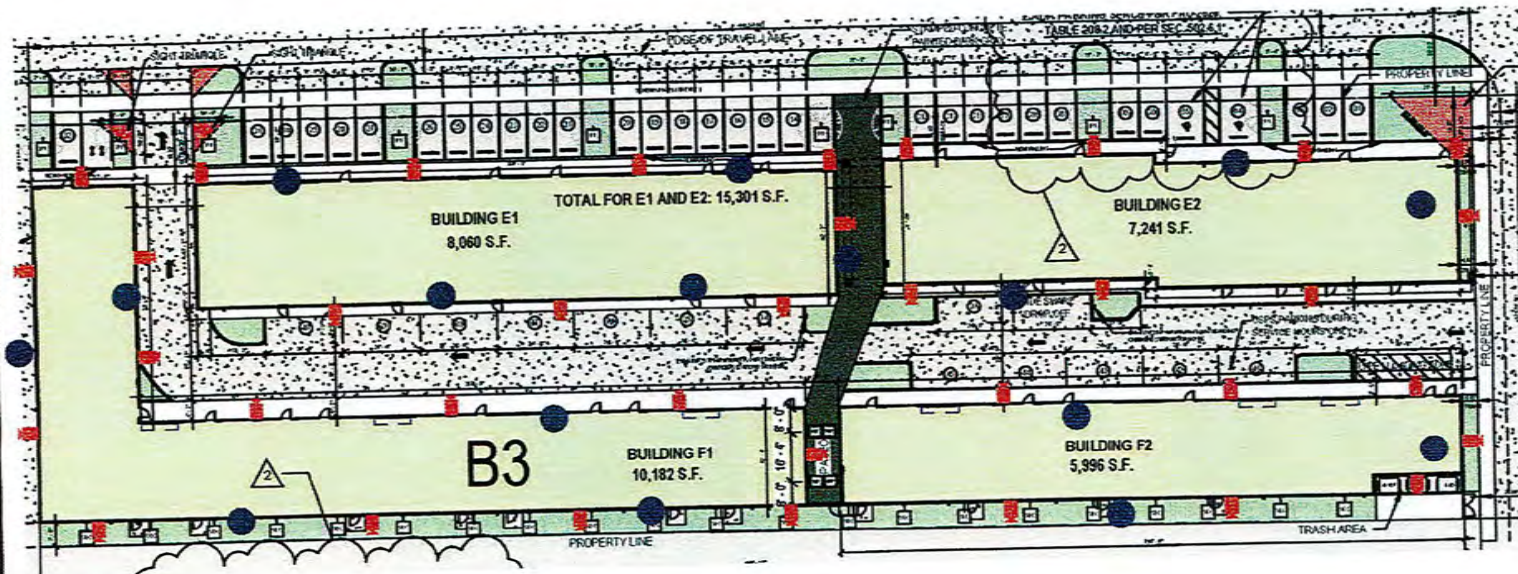
DATE:

02/11/2022

 **SEC-2**

LEGEND:

 (36) CAMERA



WEST SITEPLAN

LOCATION:

701-745 NW 5TH AVE,
FT. LAUDERDALE,
FL 33311

CONTRACTOR:

4BEST BUSINESS CORP.

LICENSE:

EC13009946

SIGNATURE:

DATE:

02/11/2022



SEC-3

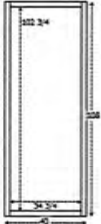
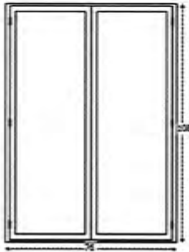
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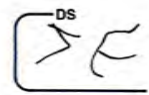


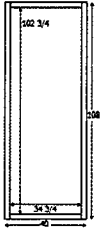
AA GLASS & WINDOWS INC
 2020 NW 129th Ave #206 Miami FL 33182
 P:(954)740-9105
 F: .

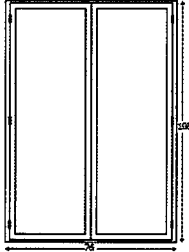
Prepared By
 Abel Hernandez
Email
 info@asfglasswindows.com

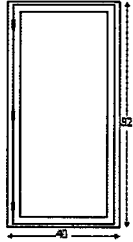
Estimate #	Name
454469	Commercial - Israel David John

Mark	Description	Image	Qty	Unit Price	Subtotal
	Eco Window Systems Clipped Aluminum Tube Mullion - L.M.I. 2X6 Standard Mullion W/Clips White Size: W=80 3/4 Grid: N/A		2	\$139.21	\$278.41
05	Eco Window Systems Window Wall 400 - L.M.I O White Size: W=40 X H1=108 Glass Makeup: 1/4 HS + 0.090 PVB + 1/4 HS Glass Color: Clear Glass Interlayer: Clear Glass Coating: None Glass Texture: None Panels: 1 DLO: 34 3/4 X 102 3/4 +65.0 -75.0 Horizontals: 0 105 3/8		1	\$825.51	\$825.51
05 Door	Eco Window Systems Series 800 Commercial Alum. Outswing Door - L.M.I. XX White Right Active ADA Threshold Size: W=76 X H1=108 Glass Makeup: 1/4 HS + 0.090 PVB + 1/4 HS Glass Color: Clear Glass Interlayer: Clear Glass Coating: None Glass Texture: None Act:3P-Lock/Inact:2P-Lock + C Handle + Push Bar Grid: Full View (No Muntin) PSF: +80.0 -80.0		1	\$3309.73	\$3309.73

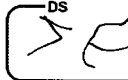


06	Eco Window Systems Window Wall 400 - L.M.I O White Size: W=40 X H1=108 Glass Makeup: 1/4 HS + 0.090 PVB + 1/4 HS Glass Color: Clear Glass Interlayer: Clear Glass Coating: None Glass Texture: None Panels: 1 DLO: 34 3/4 X 102 3/4 +65.0 -75.0 Horizontals: 0 105 3/8		1	\$825.51	\$825.51
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06 Door	Eco Window Systems Series 800 Commercial Alum. Outswing Door - L.M.I. XX White Left Active ADA Threshold Size: W=76 X H1=108 Glass Makeup: 1/4 HS + 0.090 PVB + 1/4 HS Glass Color: Clear Glass Interlayer: Clear Glass Coating: None Glass Texture: None Act:3P-Lock/Inact:2P-Lock + C Handle + Push Bar Grid: Full View (No Muntin) PSF: +80.0 -80.0		1	\$3309.73	\$3309.73
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07	Eco Window Systems Series 800 Commercial Alum. Outswing Door - L.M.I. X White Left Active ADA Threshold Size: W=40 X H1=82 Glass Makeup: 1/4 HS + 0.090 PVB + 1/4 HS Glass Color: Clear Glass Interlayer: Clear Glass Coating: None Glass Texture: None 3P-Lock + C Handle + Push Bar Grid: Full View (No Muntin) PSF: +80.0 -80.0		1	\$2198.04	\$2198.04
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Total Units	7
Total Material	\$10746.94
Tax	0.00
Installation	\$5655.00
Permit Fees	\$0.00
Other Fees	\$0.00
Total	\$16401.94

DS


Comments

-Finish is not included

PAYMENT

50% Deposit

40% Upon Arrival of Materials

10% After Installation

WHAT IS INCLUDED

Delivery of materials for installation

AA Glass & Windows Inc. will be responsible for the removal and replacement of windows and doors at job site.

All windows and doors will be disposed by AA Glass & Windows Inc and its employees. Once the windows are removed approved impact resistant windows will be installed.

WHAT IS NOT INCLUDED

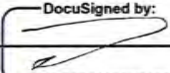
Finish work of interior dry wall and compound is NOT included, repairing or replacement of window sill is also NOT included, we will NOT uninstall/reinstall blinds, please have window blinds removed before our arrivals.

WHAT WE ARE NOT RESPONSIBLE FOR

AA Glass & Windows Inc is NOT responsible for the paint costs, drywall, marble seals, tiles, alarm systems, current blinds and exterior/ interior labor. Depending on the style of current blinds and depth of the windows some blinds may not be usable with the new windows or doors.

TERMS & CONDITION

* By signing below (being the owner, contractor, or any other authority authorized to sign) you agree to the following terms and conditions stated above of this estimate.

X  _____ **Jonathan Fish**
DocuSigned by:
3FE5344083F8403...

IK 7/13/22 - 8-12 week delivery & install. All SOW pending on Thrive project is included on this Change Order.

DIXIE PLUMBING SERVICE, INC.

LIC. CFC-019074 TAX ID 59-1375979

1900 North Andrews Avenue Extension, Suite B

Pompano Beach / Florida 33069

Telephone 954-972-9595 Facsimile 954-972-3380

E-Mail albert@dixieplumbing.com

PROPOSAL 17739-EHH

PAGE 1

07/1/2022

CHANGE ORDER REQUEST #14

SUBMITTED TO:

ISRAEL DAVID KOHN
20900 NE 30TH AVENUE #603B
AVENTURA, FLORIDA 33180
PH. (305) 495-8662 FAX N/A
israel@ikohnconsultant.com

* JOB NAME : **THRIVE DEVELOPMENT WEST**
* JOB ADDRESS : 701-745 N.W. 5TH AVENUE
* JOB LOCATION : FT. LAUDERDALE, FL.
* PLAN DATE : 11/02/20
* BID SHEETS : INTERNET

Attention: ISRAEL KOHN.

THE FOLLOWING CHANGE ORDER HAS BEEN MADE AT THE REQUEST OF KEVIN.

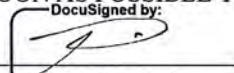
This change order is to furnish and install water and sewer stub out for future kitchen sink, lavatory and water closet. Waste line to be capped for future use. Water to be valve and capped in ceiling space. This proposal includes (1) floor drain. This quote does not include the in-wall piping or fixtures.

MATERIAL	\$ 840.00
LABOR	\$ 2,100.00
EQUIPMENT	\$ 350.00
TOTAL	\$ 3,290.00

BY CONTRACT THIS CHANGE ORDER MUST BE SIGNED AND RETURNED BEFORE THE MATERIAL CAN BE ORDERED OR THE WORK TO BEGIN. (LEAD TIME FOR MATERIAL DEPENDS ON AVAILABILITY OF ITEMS NEEDED TO COMPLETE THE WORK)(NOT RESPONSIBLE FOR SHIPPING CHARGES ON MATERIAL THAT HAS TO BE SPECIALLY ORDERED TO COMPLETE THE JOB)

PLEASE SIGN AND RETURN AS SOON AS POSSIBLE TO APPROVE THE CHANGES.

AUTHORIZED SIGNATURE _____

DocuSigned by:

8FE5344083F8403...

7/18/2022

Jonathan Fish

THANK YOU
BO PETROVICH
BO@DIXIEPLUMBING.COM
ESTIMATOR

Powerline Electrical Contractor Inc.
14020 SW 47 St. Miami, FL.33175
EC# 13002232.
Ph: 305-554-5462. Fax: 305- 485-1928

7-22-22

SUBMITTED TO:
Florida Home Renovation Group LLC.
PROJECT:
Thrive Development

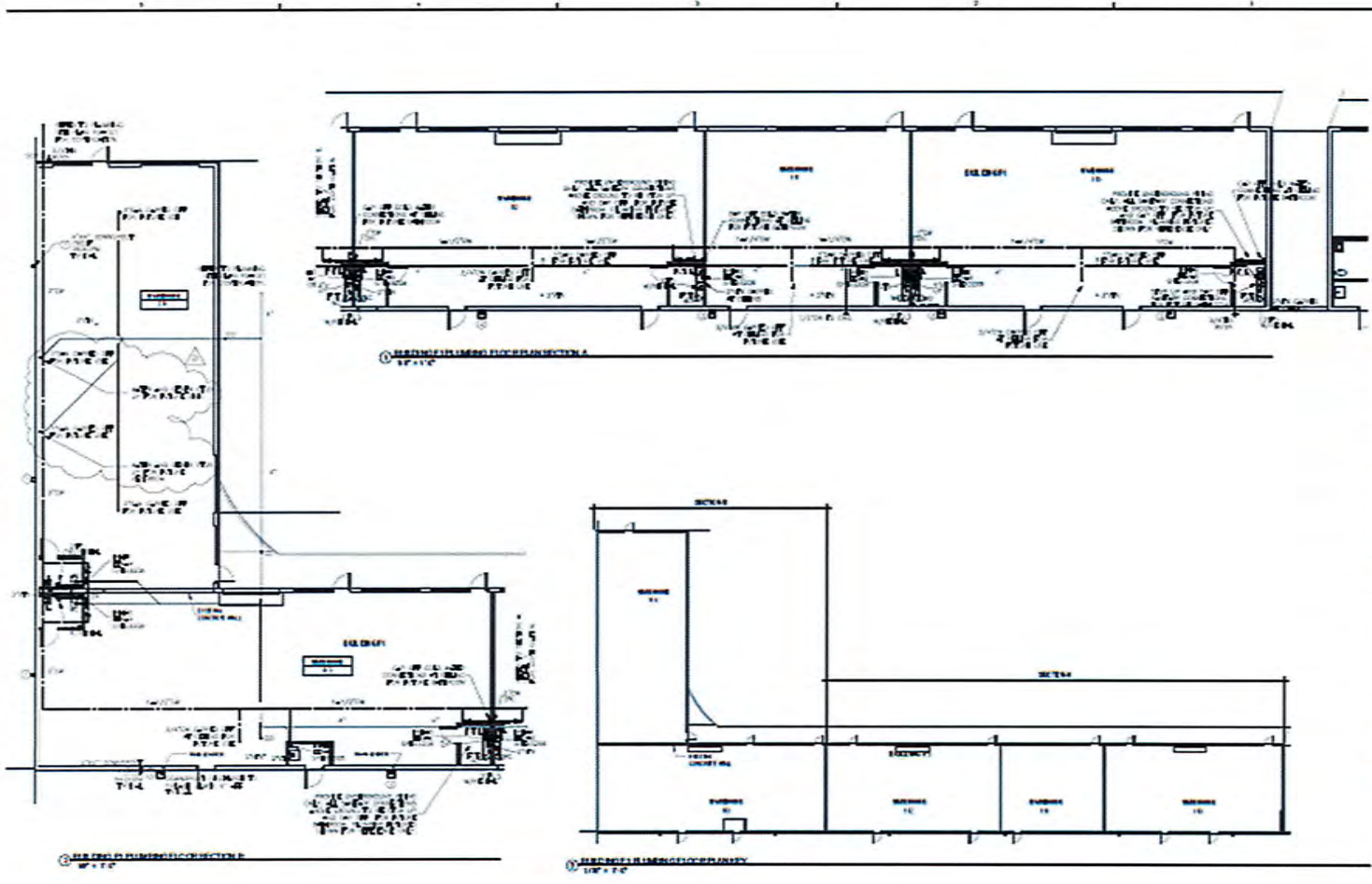
Change Order # 2

1-Rough work on Building F1 room 114 for Robert TI

TOTAL: \$800.00

Accepted this _____ day of _____

By _____



MOAFL
 (2025) 1000 1000
 1000 1000

[THRIVE]

Kimley Horn
 Engineering & Architecture

MCE

EDGE

KOHN CONSULTANT
 ARCHITECTS

PERMITS SUBMITTAL

THRIVE
 DEVELOPMENT
 701-745 NW 5TH
 AVENUE FORT
 LAUDERDALE, 33311

NO. 1000

DATE: 10/10/2025

TIME: 10:00 AM

PROJECT: PLUMBING FLOOR PLANS

NO. 1000

DATE: 10/10/2025

TIME: 10:00 AM

PROJECT: PLUMBING FLOOR PLANS

NO. 1000

DATE: 10/10/2025

TIME: 10:00 AM

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NO. 1000

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TIME: 10:00 AM

PROJECT: PLUMBING FLOOR PLANS

NO. 1000

DATE: 10/10/2025

TIME: 10:00 AM

PROJECT: PLUMBING FLOOR PLANS

edge engineering inc.
 1000 1000
 1000 1000
 1000 1000

PLUMBING
 FLOOR PLANS
 BLDG F1
 P-102



FLORIDA HOME RENOVATION GROUP

Florida Home Renovation Group
Powered by RedTeam

Disbursement Authorization

Commitment #: LI 1020001-124

Project: 1020001 THRIVE DEVELOPMENT GROUP LLC

Manager: Israel David Kohn

Invoice Details

Invoice: 090822

Date: 09/08/2022

Period Ending: 09/08/2022

Due Date: 09/08/2022

Description: Div. General Conditions

Instructions:

Vendor: JM BOBCAT SERVICES INC
12790 SW 17TH Street
Miami, FL 33175

Contact: No Contact on File
7869161597

Commitment to Date

#	Description	Prime Scope	Sub Scope	Quantity	Unit Cost (\$)	Amount (\$)	Prior (\$)	Current (\$)	Open (\$)
1	Electrical primaries	Original	00	1	1,100.00	1,100.00	0.00	1,100.00	0.00

Invoiced to Date	1,100.00
Prior Disbursement Authorizations	0.00
Subtotal Before Tax	1,100.00
TAX (0% No tax)	0.00
Amount Authorized	1,100.00
Open Commitment	0.00

Approval History



FLORIDA HOME
RENOVATION GROUP

**Florida Home Renovation
Group**
Powered by Red Team

Disbursement Authorization

Commitment #: LI 1020001-135

Project: 1020001 THRIVE DEVELOPMENT GROUP LLC

Manager: Israel David Kohn

Invoice Details

Invoice: 2126

Date: 10/06/2022

Period Ending: 10/06/2022

Due Date: 10/06/2022

Description: Electrical primaries

Instructions:

Vendor: D3S TREE SERVICE

Contact: No Contact on File

Commitment to Date

#	Description	Prime Scope	Sub Scope	Quantity	Unit Cost (\$)	Amount (\$)	Prior (\$)	Current (\$)	Open (\$)
1	Electrical primaries	Original	00	1	600.00	600.00	0.00	600.00	0.00

Invoiced to Date 600.00

Prior Disbursement Authorizations 0.00

Subtotal Before Tax 600.00

TAX (0% No tax) 0.00

Amount Authorized 600.00

Open Commitment 0.00



FLORIDA HOME
RENOVATION GROUP

**Florida Home Renovation
Group**
Powered by RedTeam

Disbursement Authorization

Commitment #: OI 1020001-402

Project: 1020001 THRIVE DEVELOPMENT GROUP LLC

Manager: Israel David Kohn

Invoice Details

Invoice: 13220

Date: 09/09/2022

Period Ending: 09/09/2022

Due Date: 09/09/2022

Description: OVERWEIGHT 20 12.99 TOTAL TONNAGE INCLUDES 2 TONS OVER WEIGHT IS \$62.00 PER TON
TOTAL 14.99- 2=12.99

Instructions:

Vendor: WASTELINE SOLUTIONS INC
3330 Burris Road
Davie, FL 33314

Contact: No Contact on File
8669278335

Commitment to Date

#	Description	Prime Scope	Sub Scope	Quantity	Unit Cost (\$)	Amount (\$)	Prior (\$)	Current (\$)	Open (\$)
1	Electrical primaries	Original	00	1	805.38	805.38	0.00	805.38	0.00

Invoiced to Date 805.38

Prior Disbursement Authorizations 0.00

Subtotal Before Tax 805.38

TAX (0% No tax) 0.00

Amount Authorized 805.38

Open Commitment 0.00

Powerline Electrical Contractor Inc.
14020 SW 47 St. Miami, FL.33175
EC# 13002232.
Ph: 305-554-5462. Fax: 305- 485-1928

7-22-22

SUBMITTED TO:
Florida Home Renovation Group L.L.C.
PROJECT:
Thrive Development

Change Order # 1

1-Primaries trench and conduits installation for East and West areas

TOTAL: \$7,000.00

Accepted this _____ day of _____

By _____

PowerLine Electrical

14020 S.W. 47 St
Miami, Florida, 33175
305-554-5462 Fax 305-485-1928

INVOICE

INVOICE NO: 750
DATE: August 16, 2022

To: Florida Home Renovation Group, LLC.
Re: Thrive Development, 701 NW 5th Ave Ft Lauderdale.

Billing Invoice

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
	Change Order #1 All work is done according to NEC and FBC		
Total Balance			7,000.00
Balance Due			7,000.00

Make all checks payable to: PowerLine Electrical Contractors Inc. If you have any questions concerning this invoice, call: Carmen Diaz, 1-305-554-5462

THANK YOU FOR YOUR BUSINESS!



CAPITOL RENTAL BUILDING EQUIPMENT INC.
2188 NW 25TH AVE
MIAMI, FL, 33142
PH: 305.633.5008 FAX: 305.633.5058
EMAIL: info@capitolsteelstructures.com
Website: www.Capitolsteelstructures.com

Date: 08/22/2022
Attn to : Israel David Khon Consultant
Plans by: MKDA FL, REV # 3 dated 07.27.21
Project #: 21-1496-01

Project: Thrive Development Group
701-748 NW 5th Avenue Fort Lauderdale, FL. 33311

CO#07rev1: Metal Deck installation at Building C

Material:
Metal deck 1.5B Roof 20GA 90 F36 = 2.200sqf

Supply and Installation

Total added to Contract amount.....\$ 23,000.00

EXCLUSIONS :

- Remove existing joist and metal deck;

IK 8/25 - This includes Deck on all of the terrace and additional perimeter on the East and West wall that was required by YHCE EOR following recommendations by Armando.



Agreement

1. "Fabricator" will mean Capitol Steel Structures and "Customer" shall refer to whom this proposal and/or work order was submitted.
2. **TIME AND SCHEDULE.** The project schedule and any adjustments will allow Fabricator a reasonable time to complete work in an efficient manner in consideration with the completion date/time agreed upon in this contract. Fabricator will not be required to begin working or continue working unless the area provides the proper conditions and safety requirements to begin work. The customer is responsible for providing schedules of work and any other information necessary for the schedule of the Fabricator's work. Fabricator will not be bound by any work schedule not included in bidding documents with written acknowledgement or received by Fabricator. Any schedule revisions must be present in a written agreement abided by both the Fabricator and Customer.
3. **PRICE ADJUSTMENTS** Fabricator will be entitled to a fair and impartial alteration in the price of the work, including but not limited to: materials, cost of labor, overtime, that results from a change of schedule, acceleration, or work delay by which the Fabricator is not responsible.

General Conditions

1. General contractor agrees to provide free and unobstructed access all around job site that is suitable for crane, column trucks and equipment.
2. Material delivery to be coordinated between contractor and Fabricator.
3. Roof penetrations to be cut by others will be immediately covered and secured by the general contractor as required by OSHA. Fabricator is NOT RESPONSIBLE if general contractor does not comply. If roof curves are not placed by others on steel support frames at the time of decking, frames will be decked over with furniture, cut outs by others.
4. All work will be in accordance to the latest edition of AISC Steel Building code of practice.
5. Inspections to be coordinated and scheduled with Fabricator's office.
6. All extra ticket work shall be charged at _____ plus time and a half for overtime. Time starts when employees leave the shop and concludes when they return.
7. Payments to be made within 30 days of submitted invoices for extra ticket work.
8. Contract payments are net 30 days. Payments are considered to be due and shall be paid at the time specified, regardless of the final settlement of the final structure as a whole or for work of any other trade; and, the payment for steel shall not be delayed pending buyers receipt of payment from any other entity. Should the buyer fail to pay as agreed, then the fabricator may suspend the work until said payment is made or terminate its proposal at its sole and unreviewable discretion. Amounts past due shall bear interest at the maximum lawful rate. Contractor agrees that the Fabricator shall not be responsible for any costs, fees, or liabilities whatsoever, including but not limited to completion, costs in event the fabricator elects to suspend and/or terminate the work under this proposal for non-payment as provided for hereunder.
9. Foundations are to be completed by other to grade with anchor bolts and clean with proper projection and leveling nuts, set as proper elevation. Embed plated, angles, etc. are to be set to proper elevation by others.
10. The Fabricator makes no representation and accepts no responsibility for existing site or field conditions to the extent site and or field conditions differ by those represented by contractor, owner or the project plans and specifications. Fabricator shall be entitled to an equitable adjustment in time and price of work to account for differing conditions.
11. THIS PROPOSAL IS VALID FOR 15 DAYS FROM THE DAY OF THIS PROPOSAL AND SUBJECT TO CONFIRMATION BY SELLER. Steel to be delivered to the site within 90 days of contract or it will be subject to escalation for steel increases.
12. Fabricator acknowledges that all safety practices shall be consistent with OSHA standards. Fabricator shall not conform to other safety regulations. In the event of a dispute, fabricator shall be entitled to recover its reasonable attorneys' fees and costs, whether or not a lawsuit or other proceeding is filed, and including attorneys' fees and costs incurred in litigating entitlement to attorneys' fees and costs, as well as in determining or quantifying the amount of recoverable attorneys' fees and costs. Venue shall lie exclusively in Miami-Dade county
13. Contractor or Owner shall carry applicable All Risk/Builders Risk Insurance to cover Fabricator's materials stored or installed at the job to protect against theft, vandalism, fire, etc., and further designate Capitol Steel Structures, as an additional insured on any such policy. Fabricator shall be entitled to demand proof of additional insured status at its discretion.
14. All steel shall receive one shop coat of standard rust inhibitive paint after cleaning.
15. Fabricator reserves the right to substitute any fasteners with ones of equal structural value, due to availability and/or minimum order requirements.
16. **RETAINAGE:** No retainage to be held on materials. Retainage to be held on erection only. Erection retainage to be paid no later than 85 days after completion of structure. (Note: Continuance of other trades constitutes acceptance of structural steel frame).



17. All work will be in accordance with AISC Specifications and Code of Standard Practice.

18. Exposing work area is by others, protect and/or relocate all glass, utilities, or any items, which can be damaged due to welding or burning. Fire watch, if required, is by others. If these items are left unprotected, Fabricator will not accept responsibility for damage. Any materials that limit the operation of the crane and/or crew are to be removed by others.

19. This quote and its terms and conditions as defined herein shall be included and considered part of and incorporated within any resultant contract or purchase order (if any) and shall supersede any conflicting or inconsistent terms and conditions therein provided.

20. Proposal is based on mill material and mill rolling schedules.

21. Fabricator is entitled to payment of fabricated materials stored at seller plant, marshalling yard, or jobsite on a monthly basis.

22. Fabricator shall be compensated for any delay or acceleration in the schedule if the delay or acceleration is at the fault of any other party other than Fabricator.

23. If Fabricator is provided a verbal or written Notice to Proceed, or a Letter of Intent, whether formal or informal, and begins any work on Contractor's behalf and request, this proposal shall be considered the governing contract and controlling document.

24. All orders are subject to acceptance by Credit Department.

25. Signed and sealed calculations will be provided for the bar joist and metal decking. Any other articles requiring professional design services will be at additional expense unless specifically included.

26. Contractor or Fabricator may make changes to the scope of work provided for under this proposal by written change order executed by Contractor and Fabricator. Fabricator shall have no obligation to perform any changed work in the absence of a fully executed change order.

27. Contractor hereby waives any and all claims for consequential/indirect damages against Fabricator arising from this proposal, the project and the work performed.

Exclusions

1. Inspection or testing.
2. Liquidated damages.
3. Barricades, temporary pedestrian walkways, and all protection from welding sparks, flashes, heat for all people, buildings, merchandise, and vehicles.
4. Supply or installation of Grout or concrete.
5. Surveys, field measurements, and elevations.
6. Demolition and or shoring of any kind.
7. Field dimensions.
8. Connection of any type for the other trades.
9. Placement of bollards, anchor bolts, or any cast in concrete embeds.
10. Fasteners and holes for other trades.
11. Any items not specifically shown, sized, and/or located on the architectural and/or structural drawings unless specifically noted above in the scope.
12. Safety railing for fall protection from any level of the structure or at any opening within the perimeter of the structure.
13. Any openings that are not screened.
14. Finish paint and painting.
15. Light gauge metal framing.
16. Misc. Metals (stairs, railing, ladders, etc.) unless specifically included in the inclusions.
17. Concrete filling for columns.
18. Any coating for steel other than fabricators standard primer including powder coating, galvanizing, or fireproofing coatings unless specifically included.
19. Protection of existing structure from water or fire damage.
20. Panel to panel, panel to footer, elevator shaft panel and stairwell panel embeds for tilt walls and welding of the same.
21. Shop and field inspection costs.
22. Permits and/or permit fees.
23. Stair nosings unless specifically included.
24. Loose lintels unless specifically included.
25. Standing seam metal decking.
26. Roof opening frames that are not specifically shown on architectural/structural drawings.
27. Any special cleaning/painting/coatings for steel bar joist. Joist manufacturer primer supplied only unless specifically noted.
28. 100% tie off or fall protection (We observe the rules of OSHA).
29. Liquidated damages of any type.
30. Prevailing wages unless noted in scope.
31. Payment and performance bonds unless provided in scope.
32. Any Architecturally Exposed Steel - AESS compliance unless noted.
33. Signing and sealing of bar joist/metal decking placement dwgs.
34. Removal of fire proofing from existing material.



35. Canopy.
36. Stainless steel UNO.



Submitted by:

Alejandro Aleman
Estimator, BSCM
Capitol Steel Structures
2188 NW 25th Ave
Miami, FL, 33142
Phone: 305.633.5008
Fax: 305.633.5058

Agreement entered into as of the date written above.

	Israel Kohn - PM for FHRN
Contractor (<i>Signature</i>)	Printed Name and Title
305-495-8662	Israel@kohnconstruction.com
Phone number	Email



A&P Air Conditioning Corporation
 2322 West 78th Street, Hialeah, Florida 33016
 Office: 305.556.7849
 Fax: 305.556.8186
 www.apairconditioning.com

Change Order Request

IIKOHN002 — Thrive Development East & West

COR Subject: Relocation of Stands

To Israel David Kohn
 Kohn Contruction

COR Number: IIKOHN002-2
COR Revision Number: 0

COR Date: 10/20/2022

Work Type: Price / Do Not Proceed

Days Valid: 5

Return To Yehiel Sar Shalom
 A&P Air Conditioning
 2322 W 78 Street
 Hialeah, FL 33016
 305-556-7849
 305-556-8186 (FAX)
 yehiel@apairconditioning.com

Scope Of Work / Time Extension Request

CUTTING, PATCHING, PAINTING, ELECTRICAL, PLUMBING BY OTHERS.
 ANYTHING NOT SPECIFICALLY INDICATED IN THIS CHANGE ORDER IS NOT INCLUDED.

Details

Line No	Code	Description	Type	Cost / Rate	Qty / Hrs	Workers	Ext
001		Relocation of Stands	Other	\$3,200.00	1.00	-	\$3200.00
Price includes materials and Labor.							

Breakout

Other : \$3,200.00


Total: \$3,200.00

Reservation of Rights

This COR does not include any amount for impacts such as interference, disruptions, rescheduling, changes in the sequence of work, delays and/or associated acceleration. We expressly reserve the right to submit our request for any of these items.



A&P Air Conditioning Corporation
2322 West 78th Street, Hialeah, Florida 33016
Office: 305.556.7849
Fax: 305.556.8186
www.apairconditioning.com

Signed By: 

Dated: 10/20/2022

Yehiel Sar Shalom
Purchasing Director

APPROVED - AS AGREED WITH JONATHAN FISH ON 10/26.





CAPITOL RENTAL BUILDING EQUIPMENT INC.
 2188 NW 25TH AVE
 MIAMI, FL, 33142
 PH: 305.633.5008 FAX: 305.633.5058
 EMAIL: info@capitolsteelstructures.com
 Website: www.Capitolsteelstructures.com

Date: 10/26/2022
 Attn to : Israel David Khon Consultant
 Plans by: MKDA FL, REV # 3 dated 07.27.21
 Project #: 21-1496-01

Project: Thrive Development Group
 701-748 NW 5th Avenue Fort Lauderdale, FL. 33311

CO#08rev2: Remove all welding, disassemble joist, welding & reinstallation (Joist & RTU frame)

- L 6 x 6 x 5/16"
- Crane
- Labor

Total added to Contract amount.....\$ 12,200.00

EXCLUSIONS :

- Remove existing metal deck;
- Remove installed RTUs



Agreement

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13. Contractor or Owner shall carry applicable All Risk/Builders Risk Insurance to cover Fabricator's materials stored or installed at the job to protect against theft, vandalism, fire, etc., and further designate Capitol Steel Structures, as an additional insured on any such policy. Fabricator shall be entitled to demand proof of additional insured status at its discretion.
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17. All work will be in accordance with AISC Specifications and Code of Standard Practice.



American Welding Society

18. Exposing work area is by others, protect and/or relocate all glass, utilities, or any items, which can be damaged due to welding or burning. Fire watch, if required, is by others. If these items are left unprotected, Fabricator will not accept responsibility for damage. Any materials that limit the operation of the crane and/or crew are to be removed by others.

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Exclusions

1. Inspection or testing.
2. Liquidated damages.
3. Barricades, temporary pedestrian walkways, and all protection from welding sparks, flashes, heat for all people, buildings, merchandise, and vehicles.
4. Supply or installation of Grout or concrete.
5. Surveys, field measurements, and elevations.
6. Demolition and or shoring of any kind.
7. Field dimensions.
8. Connection of any type for the other trades.
9. Placement of bollards, anchor bolts, or any cast in concrete embeds.
10. Fasteners and holes for other trades.
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13. Any openings that are not screened.
14. Finish paint and painting.
15. Light gauge metal framing.
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17. Concrete filling for columns.
18. Any coating for steel other than fabricators standard primer including powder coating, galvanizing, or fireproofing coatings unless specifically included.
19. Protection of existing structure from water or fire damage.
20. Panel to panel, panel to footer, elevator shaft panel and stairwell panel embeds for tilt walls and welding of the same.
21. Shop and field inspection costs.
22. Permits and/or permit fees.
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24. Loose lintels unless specifically included.
25. Standing seam metal decking.
26. Roof opening frames that are not specifically shown on architectural/structural drawings.
27. Any special cleaning/painting/coatings for steel bar joist. Joist manufacturer primer supplied only unless specifically noted.
28. 100% tie off or fall protection (We observe the rules of OSHA).
29. Liquidated damages of any type.
30. Prevailing wages unless noted in scope.
31. Payment and performance bonds unless provided in scope.
32. Any Architecturally Exposed Steel - AESS compliance unless noted.
33. Signing and sealing of bar joist/metal decking placement dwgs.



- 34. Removal of fire proofing from existing material.
- 35. Canopy.
- 36. Stainless steel UNO.

Submitted by:

Alejandro Aleman
 Estimator, BSCM
 Capitol Steel Structures
 2188 NW 25th Ave
 Miami, FL, 33142
 Phone: 305.633.5008
 Fax: 305.633.5058

Agreement entered into as of the date written above.



Contractor (Signature) _____ Printed Name and Title **ISRAEL KOHN - PM**

Phone number _____ Email _____

APPROVED - AS AGREED WITH JONATHAN FISH ON 10/26.

INVOICE NO. 913584

Invoice

SOLD TO THEYI DEVELOPER		SHIPPED TO LASSOS SOLUTIONS VIA	
ADDRESS 740 NW 5 AV FOR LAUDER		ADDRESS 2601 NW 16 ST RD APT 818	
CITY, STATE, ZIP MIAMI FL 33311		CITY, STATE, ZIP MIAMI FL 33125	
CUSTOMER ORDER NO.	SOLD BY	TERMS	DATE 10-27-2022

1	CLOSET PARA AIRE ACONDICIONADO BLDG E 1ER PISO	\$ 2.660=-
Total		\$ 2.660=-

01-11

INVOICE NO. 913583

Invoice

SOLD TO THEYI DEVELOPER		SHIPPED TO LASSOS SOLUTIONS VIA	
ADDRESS 740 NW 5 AV FOR LAUDER		ADDRESS 2601 NW 16 ST RD APT 818	
CITY, STATE, ZIP MIAMI FL 33311		CITY, STATE, ZIP MIAMI FL 33125	
CUSTOMER ORDER NO.	SOLD BY	TERMS	DATE 10-19-2022

3	CLOSET PARA AIRE ACONDICIONADO BLDG E 2 CLOSET 2do piso ① 11 11 1ER PISO	\$ 7.040=-
Total		\$ 7.040=-

01-11

TOTAL \$9,700

#20

#21

20	EV Group	Control Joist added by AOR on Façade
22	Multiple	Re-Configure building B concrete areas as per Architect (Issue with Railing)

#22

#20 – Control Joints were missing from the Construction plans and were added by our concrete labor after stucco was completed. This scope took 2.5 weeks of work with 5 labors.

#22 – Elevated sidewalks were updated as we found it was hazardous to pedestrians / visitors and had them removed. This line item includes: 2.5 weeks of 5 labors, Concrete pour of 16 yards, concrete finishers, 3 dumpsters full of concrete for dumping.

AMENDMENT NUMBER 4 TO THE AGREEMENT BETWEEN THE CLIENT AND KIMLEY-HORN AND ASSOCIATES, INC.

AMENDMENT NUMBER 4 DATED November 1, 2022 to THE AGREEMENT between Thrive Development Group, LLC ("Client") and Kimley-Horn and Associates, Inc. ("Consultant" or "Kimley-Horn") dated February 5, 2020 ("the Agreement") concerning Thrive Progresso located in Fort Lauderdale, Florida (the "Project").

The Consultant has entered into the Agreement with Client for the furnishing of professional services, and the parties now desire to amend the Agreement.

The Agreement is amended to include services to be performed by Consultant for compensation as set forth below in accordance with the terms of the Agreement, which are incorporated by reference.

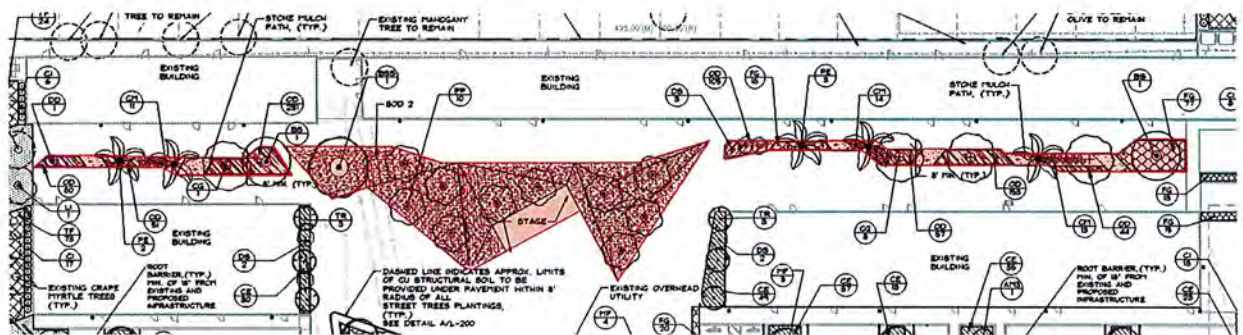
The services currently authorized to be performed by Consultant in accordance with the Agreement and previous amendments, if any, shall be modified as follows:

Assumptions:

1. All site plan submittals and processing shall be handled by the Client.
2. All building permit submittals shall be handled by the Client or Client's permit expeditor.
3. All permit fees to be paid by the Client.
4. The scope of services assumes permit application to Broward County Environmental Protection and Growth Management (EPGMD)-Surface Water is not required, therefore not included.
5. Any structural design shall be provided by others.
6. Any decorative or retaining wall design shall be provided by others.
7. No drainage improvements are included as apart of this scope.

Task 1 – Landscape Architectural Design Services

Consultant will prepare revised Tree Disposition Plans, Landscape Plans, and Irrigation Plans within the highlighted area shown below to include the following:



- **Tree Disposition Plan:** Revise tree mitigation calculations in conjunction with updated planting plan. Due to the nature of the requested plan revisions, it is assumed that a Tree Canopy Fund contribution to the City of Fort Lauderdale will be required by the client.

IK 11/04 - Tom to work with clien as the trees get switched up in order to reduce as much as possible this expense. Need to get creative.

11/04 - We will schedule a zoom with Avi and Tom, look at the trees that are being proposed so that the owner can select the trees/sizes etc. At this call we would like to get a rough estimate of the TTF.

- **Planting Plan and Details:** Replace proposed Pigeon Plum and Gumbo Limbo trees with ownership-approved palm plantings.
- **Irrigation Plan and Details:** Revise Irrigation Plans in conjunction with updated planting plan.

Kimley-Horn does not guarantee the issuance of permits or approvals. If permits are issued for this project, the conditions and expiration dates are the sole responsibility of the Client. Kimley-Horn is not responsible for extending time limited entitlements or permits. The Client shall provide all permit fees.

Fee and Expenses

Kimley-Horn will perform the services in **Task 1** for the total lump sum labor fee of **\$4,500**, exclusive of expenses. In addition to the lump sum labor fee, direct reimbursable expenses such as express delivery services, fees, air travel, and other direct expenses will be billed at cost. All permitting, application, and similar project fees will be paid directly by the Client.

Lump sum fees will be invoiced monthly based upon the overall percentage of services performed. Reimbursable expenses will be invoiced based upon expenses incurred. Payment will be due within 30 days of your receipt of the invoice and should include the invoice number and Kimley-Horn project number.

CLIENT:

CONSULTANT:

THRIVE DEVELOPMENT GROUP, LLC

KIMLEY-HORN AND ASSOCIATES, INC.

By: 

By: 

Title: Israel Kohn - PM

Title: Jonathan Haigh, PLA

Date: 11/4/22

Date: November 1, 2022

IK 11/4 - As approved by Jonathan and Avi today.

Powerline Electrical Contractor Inc.
14020 SW 47 St. Miami, FL.33175
EC# 13002232.
Ph: 305-554-5462. Fax: 305- 485-1928

11-7-22

SUBMITTED TO:
Florida Home Renovation Group LLC.
PROJECT:
Thrive Development

Change Order # 4

- 1-All outside lighting installation according to new plan submitted to us for East Buildings A, B, C & D and West Buildings E1, E2, F1 & F2.
 - 2-Fixtures are not included.
 - 3-Lighting control will be of Contactor and Timer.
 - 4-Any wall or plaster damage should be fix by others.
 - 5-Installation of wire control for thermostat on RTU in each building.
 - 6-Wire for control for thermostat on RTU will be 18/8.
 - 7-Miscellaneous material and labor is included.
- Note: We will try to do this job under the current permit, if for any reason inspector don't agree we will have to pull another permit.
Note: Payments on this change order should be split on 6 equal payments.

TOTAL: \$62,000.00

Accepted this _____ day of _____

By _____

Customer Quote For: POWERLINE ELECTRICAL CONTRACTOR INC

EW -- MIAMI

Quote: Q1067399 Revision #: 010



3840 W 104TH STREET SUITE #5
 HIALEAH FL 33018
 Tel: (305)418-9141 Fax: (305)418-9904

Contact Name: MARK VERA

Quote Date: 06/06/22
 Updated On: 10/13/22
 Expires On: 07/06/22

Job Name:
 Attn:
 Ship To: THRIVE EAST & WEST
 746 NW 5TH AVE
 FT LAUDERDALE, FL 33311-0000

Customer PO #: ADDER - LTG
 Customer PO Date:
 FOB: SHIPPING POINT
 Freight: PREPAID

LN	Product	Qty	Price	Per *	Ext Price
01	MISC F4	160	\$159.00	E	\$25,440.00
02	MISC F4 ARM	160	\$14.00	E	\$2,240.00
03	MISC F9 (100')	1	\$0.00	E	\$0.00
04	MISC F10	22	\$0.00	E	\$0.00
05	MISC F11	17	\$0.00	E	\$0.00
06	LOT LOT PRICE	1	\$34,667.00	E	\$34,667.00

Merchandise: \$62,347.00
 Tax: \$4,364.29
 Total: \$66,711.29

PLEASE NOTE: THIS IS NOT AN OFFER TO CONTRACT, BUT MERELY A QUOTATION OF CURRENT PRICES FOR YOUR CONVENIENCE AND INFORMATION. ORDERS BASED ON THIS QUOTATION ARE SUBJECT TO YOUR ACCEPTANCE OF THE TERMS AND CONDITIONS LOCATED AT SALES.OUR-TERMS.COM, WHICH WE MAY CHANGE FROM TIME TO TIME WITHOUT PRIOR NOTICE. WE MAKE NO REPRESENTATION WITH RESPECT TO COMPLIANCE WITH JOB SPECIFICATIONS.

EXHIBIT 5

Economic Analysis & Project Feasibility for Buildings A-F with \$9.5M of Capital Renovation Costs with \$2.5M CRA Funds - Leveraged Returns

	SF	Monthly	Annual	\$/SF/YR
Buildings A-B	17,277	\$40,194.79	\$482,337.47	\$27.92
Buildings E-F	32,202	\$70,777.58	\$849,330.94	\$26.38
Buildings C-D	10,770	\$25,053.94	\$300,647.26	\$27.92
Potential Gross Revenue	60,249	\$136,026.31	\$1,632,315.66	\$27.09
Vacancy	10%	\$13,602.63	\$163,231.57	\$2.71
Effective Gross Income		\$122,423.67	\$1,469,084.10	\$24.38
Property Tax post renovation)		\$16,515.58	\$198,187.00	\$3.29
Insurance		\$6,078.67	\$72,944.00	\$1.21
Property Management		\$5,816.50	\$69,798.00	\$1.16
Repairs & Maintenance		\$2,603.00	\$31,236.00	\$0.52
Irrigation-CAM		\$1,853.00	\$22,236.00	\$0.37
Electric-CAM		\$1,853.00	\$22,236.00	\$0.37
Expenses		\$34,719.75	\$416,637.00	\$6.92
As Stabilized NOI		\$87,703.92	\$1,052,447.10	\$17.47

Rent Analysis

Buildings	SF	\$/SF NNN	\$/SF Exp	\$/SF Gross/Mo	Annual Gross Revenue
Building A-B					
Front Bldg (B)	7,660	\$21.00	\$6.92	\$27.92	\$213,830.83
Rear Bldg (A)	9,617	\$21.00	\$6.92	\$27.92	\$268,506.64
Total	17,277			\$27.92	\$482,337.47
Building E-F					
Front Bldg (E)	15,670	\$21.00	\$6.92	\$27.92	\$437,431.99
Rear Bldg (F)	16,532	\$18.00	\$6.92	\$24.92	\$411,898.94
Total	32,202			\$26.38	\$849,330.94
Building C-D					
Front Bldg & 2nd Floor(C)	7,650	\$21.00	\$6.92	\$27.92	\$213,551.68
Rear Bldg (D)	3,120	\$21.00	\$6.92	\$27.92	\$87,095.59
Total	10,770			\$27.92	\$300,647.26

Estimated Cost Analysis

	Initial Investment	CRA Funds	Total Investments
Purchase Price/Capital Inv.			\$5,905,000
Projected Rehab Costs			\$9,500,000
Projected Total Investment			\$15,405,000
Total Investment			
CRA Capital Investment		\$2,500,000	
Ownership Investment			\$12,905,000
Less Debt			\$2,823,351
Capital investment without CRA Capital Investment			\$10,081,649
Capital investment with CRA Capital Investment Less Debt			\$10,081,649

5- Year Return Analysis - Leveraged Returns

Buildings	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Annual Average
Total	\$44,203	\$884,056	\$910,577	\$937,895	\$966,031	
Interest Payments	-\$118,709	-\$115,201	-\$111,797	-\$108,494	-\$105,288	
Total	-\$74,506	\$768,855	\$798,780	\$829,401	\$860,743	\$636,654.50
5-Year ROI with CRA		Annual Return 4.93%	Cumulative Return (5 Yrs) 24.67%	5-Yr Return \$3,183,273		
Annual return with CRA Assistance (over 5-Year average)						4.93% (average per annum) 0.00%

Note 1: The properties are encumbered with \$2,823,351.

Economic Analysis & Project Feasibility for Buildings A-F with \$9.5M of Capital Renovation Costs with \$3.5M CRA Funds - Leveraged Returns

	SF	Monthly	Annual	\$/SF/YR
Buildings A-B	17,277	\$40,194.79	\$482,337.47	\$27.92
Buildings E-F	32,202	\$70,777.58	\$849,330.94	\$26.38
Buildings C-D	10,770	\$25,053.94	\$300,647.26	\$27.92
Potential Gross Revenue	60,249	\$136,026.31	\$1,632,315.66	\$27.09
Vacancy	10%	\$13,602.63	\$163,231.57	\$2.71
Effective Gross Income		\$122,423.67	\$1,469,084.10	\$24.38
Property Tax post renovation)		\$16,515.58	\$198,187.00	\$3.29
Insurance		\$6,078.67	\$72,944.00	\$1.21
Property Management		\$5,816.50	\$69,798.00	\$1.16
Repairs & Maintenance		\$2,603.00	\$31,236.00	\$0.52
Irrigation-CAM		\$1,853.00	\$22,236.00	\$0.37
Electric-CAM		\$1,853.00	\$22,236.00	\$0.37
Expenses		\$34,719.75	\$416,637.00	\$6.92
As Stabilized NOI		\$87,703.92	\$1,052,447.10	\$17.47

Rent Analysis					
Buildings	SF	\$/SF NNN	\$/SF Exp	\$/SF Gross/Mo	Annual Gross Revenue
Building A-B					
Front Bldg (B)	7,660	\$21.00	\$6.92	\$27.92	\$213,830.83
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Total	10,770			\$27.92	\$300,647.26

Estimated Cost Analysis

	Initial Investment	CRA Funds	Total Investments
Purchase Price/Capital Inv.			\$5,905,000
Projected Rehab Costs			\$9,500,000
Projected Total Investment			\$15,405,000
Total Investment			
CRA Capital Investment		\$3,500,000	
Ownership Investment			\$11,905,000
Less Debt			\$2,823,351
Capital investment without CRA Capital Investment			\$9,081,649
Capital investment with CRA Capital Investment Less Debt			\$9,081,649

5- Year Return Analysis - Leveraged Returns

Buildings	Year 2023	Year 2024	Year 2025	Year 2026	Year 2027	Annual Average
Total	\$44,203	\$884,056	\$910,577	\$937,895	\$966,031	
Interest Payments	-\$118,709	-\$115,201	-\$111,797	-\$108,494	-\$105,288	
Total	-\$74,506	\$768,855	\$798,780	\$829,401	\$860,743	\$636,654.50
		Annual Return	Cumulative Return (5 Yrs)	5-Yr Return		
5-Year ROI with CRA		5.35%	26.74%			
Annual return with CRA Assistance (over 5-Year average)						5.35% (average per annum)
						0.00%

Note 1: The properties are encumbered with \$2,823,351.