



## **BOARD OF ADJUSTMENT MEETING NOTICE**

**Date:** December 27, 2024

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, January 8<sup>th</sup>, 2025 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department 700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

<b>CASE:</b>	<b>PLN-BOA-24100005</b>
<b>OWNER:</b>	METWALLI, AHMED & MARYELLEN
<b>AGENT:</b>	PENA, ROBERTO
<b>ADDRESS:</b>	1036 SOUTH EAST 12 <sup>TH</sup> WAY, FORT LAUDERDALE, FLORIDA 33316
<b>LEGAL DESCRIPTION:</b>	LOT 5 & 5 BLOCK 12 SUBDIVISION RIO VISTA ISLES UNIT 3 PLAT BOOK 7 PAGE 14 OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
<b>ZONING DISTRICT:</b>	RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
<b>COMMISSION DISTRICT:</b>	4
<b>REQUESTING:</b>	<b><u>Sec. 47-19.5. B.1d.- Fences, walls and hedges.</u></b>

- Requesting a variance to allow an existing fence to be replaced at a 0 feet corner yard setback from a street property line, whereas the code requires a minimum average of 3 feet setback from the street property line. A total variance request of 3 feet.

**To watch and listen to the meeting:** [www.fortlauderdale.gov/fltv](http://www.fortlauderdale.gov/fltv), [www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale)  
Cable Television - Comcast Channel 78 and AT&T U-verse Channel 99

If you have any questions, please feel free to contact me directly at 954-828-6342.  
MOHAMMED MALIK  
ZONING ADMINISTRATOR



**Florida Statutes, Sec. 286.0105**

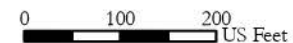
**NOTE:** If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



PLN-BOA-24100005

**LEGEND**

-  Municipal Boundary
-  Subject Site



# PLN-BOA-24010005

## Sec. 47-19.5. B.1d.- Fences, walls and hedges.

FENCES, WALLS AND HEDGES (Note D)	HEIGHT MAX.  Measured from  Grade According  to Section 47-2.2.G	PERCENT TRANSPARENT  (Note B)	SETBACK (Note A & G)		
			STREET	SIDE	REAR
<b>Residential Zoning Districts</b>					
1a. FENCE/WALL	Up to 2'-6"	N/A	0'-0"	0'-0"	0'-0"
1b. FENCE/WALL	2'-6"—4'-4"	75—100% transparency	0'-0"	0'-0"	0'-0"
1c. FENCE/WALL	2'-6"—4'-4"	Below 75% transparency	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
1d. FENCE/WALL	4'-4"—6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
2. CHAIN LINK FENCE	Up to 6'-6"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
<b>Residential/Non-Residential Zoning Districts</b>					
3. FENCE/WALL	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
4. CHAIN LINK FENCE	Up to 10'-0"	N/A	Min. Average 3'-0" (Note C, E, & F)	0'-0"	0'-0"
5. HEDGES	Up to 10'-0"	N/A	0'-0"	0'-0"	0'-0"

# Record

Showing 1-40 of 42

<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance</a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name</a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">PLN-BOA-24100005</a>		MaryE en Metwa y	Z- Board of Adjustment (BOA)	0		1036	SE	12	WAY		Open
<input type="checkbox"/>	<a href="#">BLD-GEN-24070393</a>	PURGED ALUMINUM LOUVER STYLE 6 FT HIGH	Fence Permit	Structura Permit	0		1036	SE	12	WAY		Purged
<input type="checkbox"/>	<a href="#">CE24020150</a>	BULK TRASH LEFT OUT BEFORE BULK TRASH PICK UP TIM...		Code Case	0	Gustavo Caracas	1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">BLD-WIN-20100119</a>	REMOVE/REPLACE 4 WINDOWS AND 2 DOORS WITH IMPACT		Window and Door Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">BLD-ROOF-20090045</a>	NEW TILE ROOF FOR ADDITION PM-19081749	NEW TILE ROOF FOR ADDITION P...	Re-Roof Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-19092217</a>	ELEC BP 19081749	ELEC BP 19081749	E ectrica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-19081749</a>	CLOSE EXISTING DOOR ADD NEW DOOR AND 41 SQUARE FO...	CLOSE EXISTING DOOR ADD NEW ...	Residentia Addition Permit	405		1036	SE	12	WAY		Issued
<input type="checkbox"/>	<a href="#">VIO-CE15101790_2</a>		METWALLI,AHMED & MARYELLEN	Vio ation-CODE Hearing	0		1036	SE	12	WAY		C osed
<input type="checkbox"/>	<a href="#">VIO-CE15101790_1</a>		METWALLI,AHMED & MARYELLEN	Vio ation-CODE Hearing	0		1036	SE	12	WAY		C osed
<input type="checkbox"/>	<a href="#">CE15101790</a>	TREE GROWING IN PUBLIC RIGHT OF WAY, CREATING A, ...	METWALLI,AHMED & MARYELLEN	Code Case	0		1036	SE	12	WAY		C osed
<input type="checkbox"/>	<a href="#">PM-13091406</a>	CONNECT TO NATURAL GAS METER	CONNECT TO NATURAL GAS METER	P umbing Gas Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-13091405</a>	INSTALL 20KW GENERATOR AND PRECAST PAD	INSTALL 20KW GENERATOR AND P...	Generator Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-12080761</a>	ADD 3/4 " WATER METER FOR LANDSCAPE	ADD 3/4 " WATER METER FOR LA...	P umbing Meter Insta Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-12010539</a>	ROOF REPAIR: TILE REPLACEMENT IN REFERENCE TO ~PE...	ROOF REPAIR: TILE REPLACEMEN...	Re-Roof Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11100424</a>	GENERAL LANDSCAPE	GENERAL LANDSCAPE	Landscape Insta ation Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11100333</a>	REMOVE EXISTING CITY SIDEWALK & REPLACE WITH ...	REMOVE EXISTING CITY SIDEWAL...	ROW Sidewa k and Curb Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11100113</a>	CHAIN LINK GALV 6X70LF & ALUM 5X10LF & PV...	CHAIN LINK GALV 6X70LF & ALU...	Fence Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11092029</a>	EXPEDITED PERMIT-INSTALL PAVER DRIVEWAY ON/OFF ~S...	EXPEDITED PERMIT-INSTALL PAV...	Residentia Paving Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11080622</a>	THIRTY DAY TEMP B P10092125	THIRTY DAY TEMP B P10092125	E ectrica Temporary Po e	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11071089</a>	BLACK CHAIN LINK FENCE 5FT X 51FT WITH NO GATES ~SFR	BLACK CHAIN LINK FENCE 5FT X...	Fence Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11060125</a>	INSTALL NEW DOUBLE ENTRY DOOR WITH SIDELITES &amp;...	INSTALL NEW DOUBLE ENTRY DOO...	Window and Door Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11050782</a>	INSTALL 14 INTERCOM/SPEAKERS	INSTALL 14 INTERCOM/SPEAKERS	E ectrica Low Vo tage Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11050430</a>	ELECTRIC FOR VACUUM SYSTEM BP10092117	ELECTRIC FOR VACUUM SYSTEM ...	E ectrica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11042132</a>	INSTALL CENTRAL VAC SYSTEM BP10092117 ~ELEC PERMI...	INSTALL CENTRAL VAC SYSTEM B...	Mechanica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11041087</a>	INSTALL BURG ALARM 1 PANEL 25 DEVICES	INSTALL BURG ALARM 1 PANEL 2...	E ectrica Burg ar A arm	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-11041028</a>	RUN NATURAL GAS LINE TO APPLIANCES BP10092117	RUN NATURAL GAS LINE TO APPL...	P umbing Gas Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10120814</a>	ELECTRIC FOR POOL & SPA BP10120812	ELECTRIC FOR POOL & SPA BP1...	E ectrica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10120813</a>	POOL AND SPA PIPING BP10120812	POOL AND SPA PIPING BP10120812	P umbing Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10120812</a>	CONST A POOL & SPA AND 1065 SQ.FT.PAVER PATIO...	CONST A POOL & SPA AND 1065 ...	Residentia Poo -Spa-Fountain Permit	134		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10110509</a>	TILE AND FLAT REROOF 5800 SF BP10092117 ~CHANGE ...	TILE AND FLAT REROOF 5800 SF...	Re-Roof Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10092126</a>	TEMP POLE FOR SFR BP10092117	TEMP POLE FOR SFR BP10092117	E ectrica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10092125</a>	ELECTRIC FOR REMODEL BP10092117	ELECTRIC FOR REMODEL BP10092117	E ectrica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10092119</a>	HVAC WORK FOR SFR BP10092117 ~CHANGE OF CONT 4/2...	HVAC WORK FOR SFR BP10092117	Mechanica HVAC New Insta Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10092118</a>	PLUMBING FOR SFR RENOVATIONS BP10092117	PLUMBING FOR SFR RENOVATIONS...	P umbing Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10092117</a>	SFR INTERIOR/EXTERIOR RENOVATION & 1311 SQFT ...	SFR INTERIOR/EXTERIOR RENOVA...	Residentia Addition Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10060901</a>	ELECTRICAL FOR POOL DEMO ~BP 10052190	ELECTRICAL FOR POOL DEMO	E ectrica Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10052190</a>	DEMO POOL	DEMO POOL	Residentia Demo ition Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10051753</a>	REM.STRANG.FIG 140"X65"POOR ~CONDIT.REPL.18"CAL"...	REM.STRANG.FIG 140"X65"POOR	Landscape Tree Remova -Re ocation Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10050941</a>	CAP FIXTURES IN BATHROOMS BP10050937	CAP FIXTURES IN BATHROOMS BP...	P umbing Residentia Permit	0		1036	SE	12	WAY		Comp ete
<input type="checkbox"/>	<a href="#">PM-10050937</a>	DEMO KITCHEN CABINETS & BATHRM FIXTURES (4) ~...	DEMO KITCHEN CABINETS & BATH...	Residentia Demo ition Permit	0		1036	SE	12	WAY		Comp ete

# Record

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<input type="checkbox"/>	<a href="#">Record, Permit, or Account #</a>	<a href="#">Record Description</a>	<a href="#">Application Name</a>	<a href="#">Record Type</a>	<a href="#">Balance  </a>	<a href="#">Planner Name</a>	<a href="#">Street #</a>	<a href="#">Dir</a>	<a href="#">Street Name  </a>	<a href="#">Type</a>	<a href="#">Unit # (start)</a>	<a href="#">Status</a>
<input type="checkbox"/>	<a href="#">PM-06032357</a>	REROOF 1300 SF FLAT	REROOF 1300 SF FLAT	Re-Roof Permit	-2.8		1036	SE	12	WAY		Complete
<input type="checkbox"/>	<a href="#">PM-04041831</a>	REPL CONDENSING UNIT ONLY	REPL CONDENSING UNIT ONLY	Mechanica HVAC Changeout Permit	0		1036	SE	12	WAY		Complete



CITY OF FORT LAUDERDALE

# PUBLIC NOTICE

## BOARD OF ADJUSTMENT MEETING

DATE: JANUARY 8, 2025

TIME: 6:00 P.M.

CASE: PLN-BOA- 24100005

### Sec. 47-19.5. B.1d.- Fences, walls and hedges.

- Requesting a variance to allow an existing fence to be replaced at a 0 feet corner yard setback from a street property line, whereas the code requires a minimum average of 3 feet setback from the street property line. A total variance request of 3 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT  
700 N.W. 19<sup>TH</sup> AVENUE  
FORT LAUDERDALE, FL., 33311  
CONTACT: 954-828-6506

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING:  
[www.fortlauderdale.gov/FLTV](http://www.fortlauderdale.gov/FLTV) , [www.youtube.com/cityoffortlauderdale](http://www.youtube.com/cityoffortlauderdale) or Cable  
Television- Comcast Channel 78 and AT&T U-Verse Channel 99  
TO VIEW MORE INFORMATION ABOUT THIS ITEM:  
[www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA)

*This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.*

*In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a*





**BOARD OF ADJUSTMENT (BOA) APPLICATION FORM**

REV: 03/18/2024 APPLICATION FORM: BOA

GENERAL INFORMATION  
BOARD OF ADJUSTMENT REVIEW PROCESS AND APPLICATION SUBMITTAL

**BOARD OF ADJUSTMENT MEETING REQUEST:** Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. To request a meeting with staff, [email request to the Board of Adjustment](#).

**APPLICATION DEADLINE:** Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable [Meeting Dates and Deadlines](#) can be found on the City's website at the Board of Adjustment webpage. Staff will provide guidance once an application has been submitted to the City.

**ONLINE SUBMITTAL PROCESS:** Submittals must be conducted through the [City's online citizen access portal and payment of fees LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

**DETERMINATION OF COMPLETENESS:** Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes. [BOA Flow Chart](#).

**PAYMENT OF FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, special advertising, re-advertising and any other costs associated with the application submittal shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. All Fees are paid online.

**PUBLIC SIGN NOTICE:** Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the city stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

**EXAMPLE VARIANCE SUBMITTAL**  
Click to access the Board of Adjustment (BOA) page to view previous [Board of Adjustment \(BOA\) agendas, case backup, minutes and results](#).

**QUESTIONS:** Questions regarding the Board of Adjustment process or LauderBuild, contact us by phone or email at: [boardofadjustment@fortlauderdale.gov](mailto:boardofadjustment@fortlauderdale.gov)  
Phone: 954-828-6520, Option 5.

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The Board of Adjustment application form must be filled out accurately and all applicable sections must be completed. Complete the sections indicated for application, type N/A for those section items not applicable. Select the application type below and complete entire application form.

Application Type (Select the application type from the list below and complete pages 1-4 of the application)	FEES
<input type="radio"/> Requesting a Variance/Special Exception/Interpretation (Before)	\$2,332
<input type="radio"/> Requesting a Variance/Special Exception/Interpretation (After)	\$2,968
<input checked="" type="radio"/> Requesting Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (Before)	\$689
<input type="radio"/> Requesting a Variance/Special Exception/Interpretation for Residential Accessory Structures & Existing Non-Conforming Structures (Homesteaded Only) (After)	\$901
<input type="radio"/> Request for Continuance	\$954
<input type="radio"/> Request for Rehearing	\$318
<input type="radio"/> Rehearing Request before the board	\$1,219

**Page 1: BOA - Applicant Information Sheet**

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance(s) and/or special exception(s) requested. The application form must be filled out accurately and all applicable sections must be completed. Please print or type and answer all questions. Do Not leave any sections Blank. Indicate N/A if a question does not apply.

Case Number	
Date of complete submittal	
<b>NOTE:</b> For purpose of identification, the PROPERTY OWNER is the APPLICANT	
Property Owner's Name	Maxwell McNeill / Ahmed Metwalli
Property Owner's Signature	<i>[Signature]</i> no signature is required of the Applicant or the Owner.
Address, City, State, Zip	1036 S.E. 12 <sup>th</sup> WAY
E-mail Address	maxwell.mcneilli@usa.net
Phone Number	(954) 816-7811
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

<b>NOTE:</b> If AGENT is to represent PROPERTY OWNER, an agent authorization form is required (must be notarized)	
Applicant / Agent's Name	Johanna Vega
Applicant / Agent's Signature	<i>[Signature]</i>
Address, City, State, Zip	4419 NW 105 Ave.
E-mail Address	Rmetwalli@fabricating@gmail.com
Phone Number	(954) 529-6666
Agent Authorization Form Submitted	<input checked="" type="checkbox"/>

Include ANY Related code case/permit #	
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: 1036 S.E. 12 <sup>th</sup> WAY
Legal Description	see survey
Tax ID Folio Numbers <small>(For all parcels in development)</small>	Folio - 50781 Property I.D. 5042111 81760
Variance/Special Exception Request <small>(Provide a brief description of your request)</small>	Install 6 ft. Louver Alum. sun fence between existing column
Applicable ULDR Sections <small>(Include all code sections)</small>	Section code: 14-19.5.B. 1d.

Current Land Use Designation	Single Family
Current Zoning Designation	RS-8
Current Use of Property	Residential
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	3	3
Side	0	0
Side	3	3 40
Rear	0	0

**Page 2a: Board of Adjustment (BOA) Criteria for Variance Request**

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application form. Note: A narrative must be submitted in addition to this page.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and *No this does not cause any interference with the sidewalk or property.*

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

*The small stretch of existing fence that has zero setback is not an exception in our neighborhood - see photo of adjacent home and property directly across the street.*

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

*This exception would have no effect on other properties owned in the same zoning district.*

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

*to my knowledge the original placement was made when the home was in about 1956 and a 20x40 pool was installed.*

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

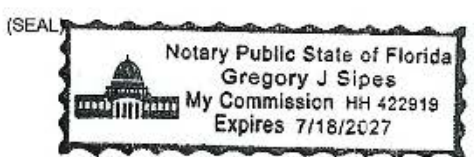
*The variance will be compatible with adjoining property and will not be detrimental to the public.*

**AFFIDAVIT:** Mary Ellen Mettli the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

*Mary Ellen Mettli*  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 26 day of Dec., 2024



NOTARY PUBLIC  
MY COMMISSION EXPIRES: *[Signature]*

**Page 2a: Board of Adjustment (BOA) Criteria for Variance Request**

Answer **All** questions on this page only *if* you are applying for a **VARIANCE**. If additional space is needed, attach an additional page(s) to this page. *If* you are applying for a Special Exception, print or type N/A for the questions below and complete page 2b of this application form. **Note:** A narrative must be submitted in addition to this page.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12, A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and *no this does not have any interference with sidewalk or property.*

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and: *The small stretch of existing fence that has zero setback is not an exception in our neighborhood - see photo of adjacent house and property across the street.*

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and *This exception would have no effect on other properties around in the same zoning district.*

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and *To my knowledge the original placement was made when the house was in about 1956 and a 20x40 pad was installed.*

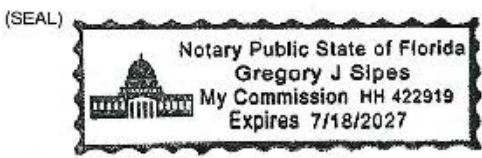
e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare. *The variance will be compatible with adjoining property and will not be detrimental to the public.*

**AFFIDAVIT:** *Ahmed Meshelli* the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

*Ahmed Meshelli*  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this *26* day of *Dec.* 20*21*.



*[Signature]*  
NOTARY PUBLIC  
MY COMMISSION EXPIRES



**PROPERTY SUMMARY**

<b>Tax Year:</b> 2024	<b>Property Use:</b> 01-01 Single Family	<b>Deputy Appraiser:</b> Residential Department
<b>Property ID:</b> 504211181760	<b>Millage Code:</b> 0312	<b>Appraisers Number:</b> 954-357-6831
<b>Property Owner(s):</b> METWALLI, AHMED & MARYELLEN	<b>Adj. Bldg. S.F:</b> 4727	<b>Email:</b> <a href="mailto:realprop@bcpa.net">realprop@bcpa.net</a>
<b>Mailing Address:</b> 1036 SE 12 WAY FORT LAUDERDALE, FL 33316	<b>Bldg Under Air S.F:</b> 4003	<b>Zoning:</b> RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
<b>Physical Address:</b> 1036 SE 12 WAY FORT LAUDERDALE, 33316	<b>Effective Year:</b> 2012	<b>Abbr. Legal Des.:</b> RIO VISTA ISLES UNIT 3
	<b>Year Built:</b> 2011	7-47 B LOT 5,6 BLK 12
	<b>Units/Beds/Baths:</b> 1 / 4 / 4.5	

**PROPERTY ASSESSMENT**

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2024	\$494,640	\$1,231,940	0	\$1,726,580	\$969,760	
2023	\$494,640	\$1,231,940	0	\$1,726,580	\$969,760	\$18,094.81
2022	\$494,640	\$922,800	0	\$1,417,440	\$941,520	\$17,248.04

**EXEMPTIONS AND TAXING AUTHORITY INFORMATION**

	County	School Board	Municipal	Independent
Just Value	\$1,726,580	\$1,726,580	\$1,726,580	\$1,726,580
Portability	0	0	0	0
Assessed / SOH 12	\$969,760	\$969,760	\$969,760	\$969,760
Granny Flat				
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$919,760	\$944,760	\$919,760	\$919,760

**SALES HISTORY FOR THIS PARCEL**

Date	Type	Price	Book/Page or Cin
03/24/2010	Special Warranty Deed Qualified Distressed Sale	\$530,000	47086 / 1719
01/05/2010	Certificate of Title Disqualified Sale	\$1,000,000	46846 / 585
05/16/2006	Warranty Deed	\$100	42027 / 826
08/19/2000	Warranty Deed	\$100	30851 / 409
05/31/1995	Trustee's Deed	\$100	23649 / 380

**LAND CALCULATIONS**

Unit Price	Units	Type
\$40.00	12,366 SqFt	Square Foot

**RECENT SALES IN THIS SUBDIVISION**

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504211180900	10/30/2023	Warranty Deed	Disqualified Sale	\$900,000	119203467	1007 SE 11 CT FORT LAUDERDALE, FL 33316
504211181010	10/03/2023	Warranty Deed	Excluded Sale	\$770,000	119181067	1132 SE 6 TER FORT LAUDERDALE, FL 33316
504211182780	09/21/2023	Warranty Deed	Qualified Sale	\$1,200,000	119122110	1012 SE 9 ST FORT LAUDERDALE, FL 33316
504211183430	09/21/2023	Warranty Deed	Qualified Sale	\$2,350,000	119123320	1420 PONCE DE LEON DR FORT LAUDERDALE, FL 33301
504211181131	08/24/2023	Warranty Deed	Qualified Sale	\$2,667,500	119076017	1111 SE 9 AVE FORT LAUDERDALE, FL 33316

**SPECIAL ASSESSMENTS****SCHOOL**

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						(F1)		
Residential (R)								
1						1.00		

**Harbordale Elementary: A**  
**Sunrise Middle: C**  
**Fort Lauderdale High: A**

**ELECTED OFFICIALS****Property Appraiser**

Marty Kiar

**County Comm. District**

4

**County Comm. Name**

Lamar P. Fisher

**US House Rep. District**

23

**US House Rep. Name**

Jared Moskowitz

**Florida House Rep. District**

100

**Florida House Rep. Name**

Chip LaMarca

**Florida Senator District**

37

**Florida Senator Name**

Jason W. B. Pizzo

**School Board Member**

Sarah Leonardi



**BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM**

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I MARYELEN METWALLI ("Owner") as the current title owner of the real  
[Print First and Last Name of the title Owner OR Name of Corporation]  
property located at 1036 SE 12TH WAY, FORT LAUDERDALE ("Property"), do hereby authorize  
[Print Property Address]  
Roberto Penn ("Authorized Agent") to act as my agent regarding the submittal  
[Print First and Last Name of Agent]  
of a variance/special exception application to the City of Fort Lauderdale and appear at any and all  
scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and  
location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special  
exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to  
accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding  
all issues related to my pending variance/special exception application. I understand and agree that, as the  
Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception  
application, all required hearing appearances related to my variance/special exception application, and any  
request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and  
or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and  
agree, the City will mail or deliver all notices relating to my pending variance/special exception application to  
my property address, as listed on my variance/special exception application. I further understand and agree,  
the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized  
Agent's failure to comply with any terms or conditions outlined in my variance/special exception application,  
and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before  
the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS  
AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants,  
representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from  
any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes  
of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person,  
including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the  
action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my  
employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns.



BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. **\*Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

[Signature]  
Witness Signature  
Stacey Obispo  
Print Name  
12/02/2024  
Date

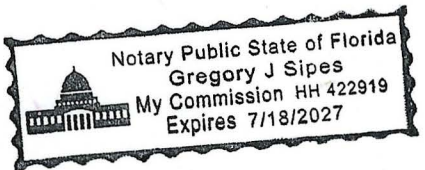
[Signature]  
Signature - Owner/Authorized Individual  
Mary Ellen Metwalli  
Print Name - Owner/ Authorized Individual  
owner  
Print Title - Authorized Individual

STATE OF FLORIDA  
COUNTY OF Broward

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 2 day of Dec, 2024, by Mary Ellen Metwalli, an individual who is personally known to me  or has produced license as identification

[NOTARY SEAL]

[Signature]  
(Signature of Notary Public, State of Florida)  
7/18/24  
My Commission Expires:  
Gregory Sipes  
Print, Type, or Stamp Commissioned Name of Notary Public)





**BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM**

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

AGENT AUTHORIZATION FORM

I, Ahmed M. METWALLI ("Owner") as the current title owner of the real  
[Print First and Last Name of the title Owner OR Name of Corporation]  
property located at 1036 SE 12th way, Fort Lauderdale  
[Print Property Address] ("Property"), do hereby authorize  
Roberto Pena ("Authorized Agent") to act as my agent regarding the submittal  
[Print First and Last Name of Agent]

of a variance/special exception application to the City of Fort Lauderdale and appear at any and all scheduled hearings before the Board of Adjustment for the City of Fort Lauderdale, on the date, time and location specified on the Hearing Notice.

I authorize my agent to communicate with the City of Fort Lauderdale regarding my pending variance/special exception application and, by signing this authorization form, I hereby authorize the City of Fort Lauderdale to accept and rely on any and all communications from my Authorized Agent, whether written or oral, regarding all issues related to my pending variance/special exception application. I understand and agree that, as the Property Owner, I remain responsible for all terms and conditions outlined in the variance/special exception application, all required hearing appearances related to my variance/special exception application, and any request by the City of Fort Lauderdale and/or the Board of Adjustment to submit additional document(s) and or record(s) in support of my pending variance/special exception application.

Notwithstanding the City's receipt of my completed and executed Agent Authorization Form. I understand and agree, the City will mail or deliver all notices relating to my pending variance/special exception application to my property address, as listed on my variance/special exception application. I further understand and agree, the City of Fort Lauderdale and the Board of Adjustment assume no liability for my failure or my Authorized Agent's failure to comply with any terms or conditions outlined in my variance/special exception application, and/or my failure or my Authorized Agent's failure to appear on my behalf at any duly noticed hearings before the Board of Adjustment.

I further agree to INDEMNIFY AND HOLD HARMLESS and hereby RELEASE, WAIVE, DISCHARGE, HOLD HARMLESS AND FOREVER COVENANT NOT TO SUE the City of Fort Lauderdale, its elected officials, employees, servants, representatives, associates, officers, agents, guests, invitees, volunteers, partners, successors and assigns from any and all liability, claims, demands, action, judgments, costs, expenses, court costs, attorney fees and causes of action whatsoever arising out of or related to any loss or damage to property, and/or injury to any person, including death, WHETHER CAUSED BY, ALLEGEDLY CAUSED BY, OR CONTRIBUTED IN WHOLE OR IN PART by the action, failure to act, negligence, breach of contract or other misconduct by my me, my Authorized Agent, my employees, servants, representatives, associates, officers, agents, volunteers, partners, successors and assigns,



# BOARD OF ADJUSTMENT -AGENT AUTHORIZATION FORM

Rev: 0 | Revision Date: 01/30/2024 | Print Date: 0/00/0000  
I.D. Number: BOAAAF

relating in any way to the City of Fort Lauderdale's reliance of the authority granted to my Authorized Agent pursuant to this Form.

BY SIGNING THIS RELEASE AND HOLD HARMLESS AGREEMENT, I ATTEST, AFFIRM, AND REPRESENT THAT I AM THE TITLE OWNER/AUTHORIZED PERSON FOR THE PROPERTY AND THAT ALL OF THE FOLLOWING STATEMENTS ARE TRUE AND CORRECT: I am at least eighteen (18) years of age and of sound and competent state of mind at the time executed this Agent Authorization Form; I executed this Agent Authorization Form as an expression of my own free act and deed; There are no oral representations or statements, apart from this Agent Authorization Form and intend to be bound by its terms; and I was not induced by the City, its employees and/or agents, or anyone, to execute this

Agent Authorization Form. **\*Please provide proof of ownership. If the property is owned by an Corporation, please submit Sunbiz Verification with this form.**

WITNESS:

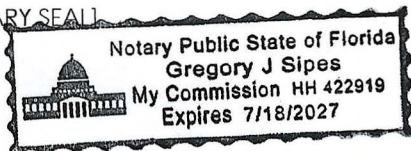
[Signature]  
Witness Signature  
Stacey Obispo  
Print Name  
12/02/2024  
Date

[Signature]  
Signature - Owner/Authorized Individual  
Ahmed metwalli  
Print Name - Owner/ Authorized Individual  
owner  
Print Title - Authorized Individual

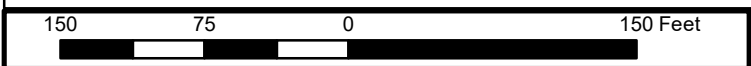
STATE OF FLORIDA  
COUNTY OF BOWARD

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 2 day of Dec., 2024, by Ahmed metwalli, an individual who is personally known to me  or has produced \_\_\_\_\_ as identification

[NOTARY SEAL]



[Signature]  
(Signature of Notary Public- State of Florida)  
7/18/27  
My Commission Expires:  
Greg Sipes  
Print, Type, or Stamp Commissioned Name of Notary Public)



MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER



SE 11TH CT AVILA DR

1036 SE 12 WAY



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATE	ZIP
504211182110	SMITH,DAVID B	DAVID B SMITH REV TR	1309 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211182100	RAMOS,NICOLAS	VARTANIAN,TANYA	1305 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211182090	KAYE,NICOLE	STRATFORD,WILLIAM K JR	1301 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211182080	VARTANIAN,JOSEPH		1225 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211182070	JEROME W BOLICK TR	BOLICK,JEROME W TRSTEE	PO BOX 307	CONOVER	NC	28613
504211181780	ENGLISH,TAM A & KIMBERLY W		1017 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181730	LOVING,JACK R & SUSAN K		1300 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211181830	637 INVESTMENTS LLC		540 NAVARRE AVE	CORAL GABLES	FL	33134
504211181829	FERRO,MIANNE	MARIANNE FERRO REV LIV TR	1020 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181660	PUMPER,SCOTT H/E	PUMPER,LISA	1218 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211181670	HOFFMAN,MICHAEL H/E	ESIPENKO,OXANA	1212 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211181650	CHRISTIE,EDWARD M III & THERESA	CHRISTIE FAM TR	1208 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211181641	COFFEY,MARCIA BRONSON & SAMUEL A		1204 PONCE DE LEON DR	FORT LAUDERDALE	FL	33316
504211181740	CARLISLE,JANET L		1022 SE 12 WAY	FORT LAUDERDALE	FL	33316
504211181781	PFLUGER,HENRIK & YASMIN		1021 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181820	SHOWKER,MAX B		1028 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181680	TORTI,DAWN CARROLL		1029 SE 12 WAY	FORT LAUDERDALE	FL	33319
504211181750	FORSLING,JOHAN GUSTAV		1032 SE 12 WAY	FORT LAUDERDALE	FL	33316
504211181771	MCTIGUE,PATRICK E		1029 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181700	BRANAN,MAC WILLIAM JR & ANNE N		1211 SE 11 ST	FORT LAUDERDALE	FL	33316
504211181900	WILLIFORD,TRACEY & WALLACE		1025 CORDOVA RD	FORT LAUDERDALE	FL	33316
504211181810	LEON,ERICK	LEON,TRACI	1032 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181710	STENGEL,JOEL Z		1205 SE 11 ST	FORT LAUDERDALE	FL	33316
504211181720	MCGINN,MICHAEL F H/E	MONTELEONE-MCGINN,TARA L	1199 SE 11 ST	FORT LAUDERDALE	FL	33316
504211181772	QUINN,DANIEL JOSEPH		1033 SE 13 TER	FORT LAUDERDALE	FL	33316
504211181760	METWALLI,AHMED & MARYELLEN		1036 SE 12 WAY	FORT LAUDERDALE	FL	33316
504211181690	SOUTHERN PLAINS LLC		888 S ANDREWS AVE STE 204	FORT LAUDERDALE	FL	33316
504211181691	SCHOONOVER,SOLOMON	ROY,STEPHANIE	1215 SE 11 ST	FORT LAUDERDALE	FL	33316
504211181920	WIBORG,ERIC J II		1029 CORDOVA ROAD	FORT LAUDERDALE	FL	33316
504211181800	FORST,CHRISTOPHER & KRISTINA		1375 SE 11 ST	FORT LAUDERDALE	FL	33316
504211181770	AMOS,ALEXANDRA B		1325 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180460	H & Q REAL ESTATE INVESTMENTS		1033 SE 13 TER	FORT LAUDERDALE	FL	33316
504211180450	POOLE,CHARLES & BROOKE		1330 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180440	GILLEN,DAVID W & MARY K		1320 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180430	LEETE,JOHN M & MICHELE T	JOHN & MICHELE T LEETE REV TR	1312 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180420	JOHN M LEETE & MICHELE T REV TR	LEETE,JOHN M TRSTEE ETAL	1308 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180410	LAVALLEE,JAMES L H/E	SHER,KARA LYNN	1300 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180740	JUDD,LAWRENCE K & LINDA D		1101 SE 12 WAY	FORT LAUDERDALE	FL	33316
504211180731	WEIS,HOLGER & NANCY		1212 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180730	BECK,BARON D		1208 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180700	MCOWEN,KIMBERLY C		1204 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180492	DEKOK,LOUISE		1409 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180510	BRAUSER,MATTHEW & MOLLY	MB REV TR	1315 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180520	MAHONEY,MEAGHAN	DUSIL,VLADIMIR	1309 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180521	LEONARD,CHRISTOPHER J & LAURA C		1305 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180522	BURGESS,SCOTT & CHERAMIE		1301 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180760	LIBERMAN,SCOTT H/E	LIBERMAN,DONNA	1111 SE 12 WAY	FORT LAUDERDALE	FL	33316
504211180790	CLARK,JULIET	JULIET HAMILTON CLARK REV TR	1209 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180490	PREMOCK,WILLIAM P H/E	ALVAREZ,VIVIAN	1410 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180451	MATHEWS,LAURIE U & WALTER J		1400 SE 11 ST	FORT LAUDERDALE	FL	33316
504211180501	MORLEY,THEODORE		1401 SE 11 CT	FORT LAUDERDALE	FL	33316
504211180500	GUNTHER,BOBBY W		1405 SE 11 CT	FORT LAUDERDALE	FL	33316
504211181831	LAW,LAURA		1012 SE 13 TER	FORT LAUDERDALE	FL	33316
504211183710	PUBLIC LAND	% CITY OF FORT LAUDERDALE	101 NE 3 AVE STE 2100	FORT LAUDERDALE	FL	33301



1036 SE 12th WAY -

PHOTO BY  
FLORIDA INSURANCE INSPECTIONS, INC

NOTE:





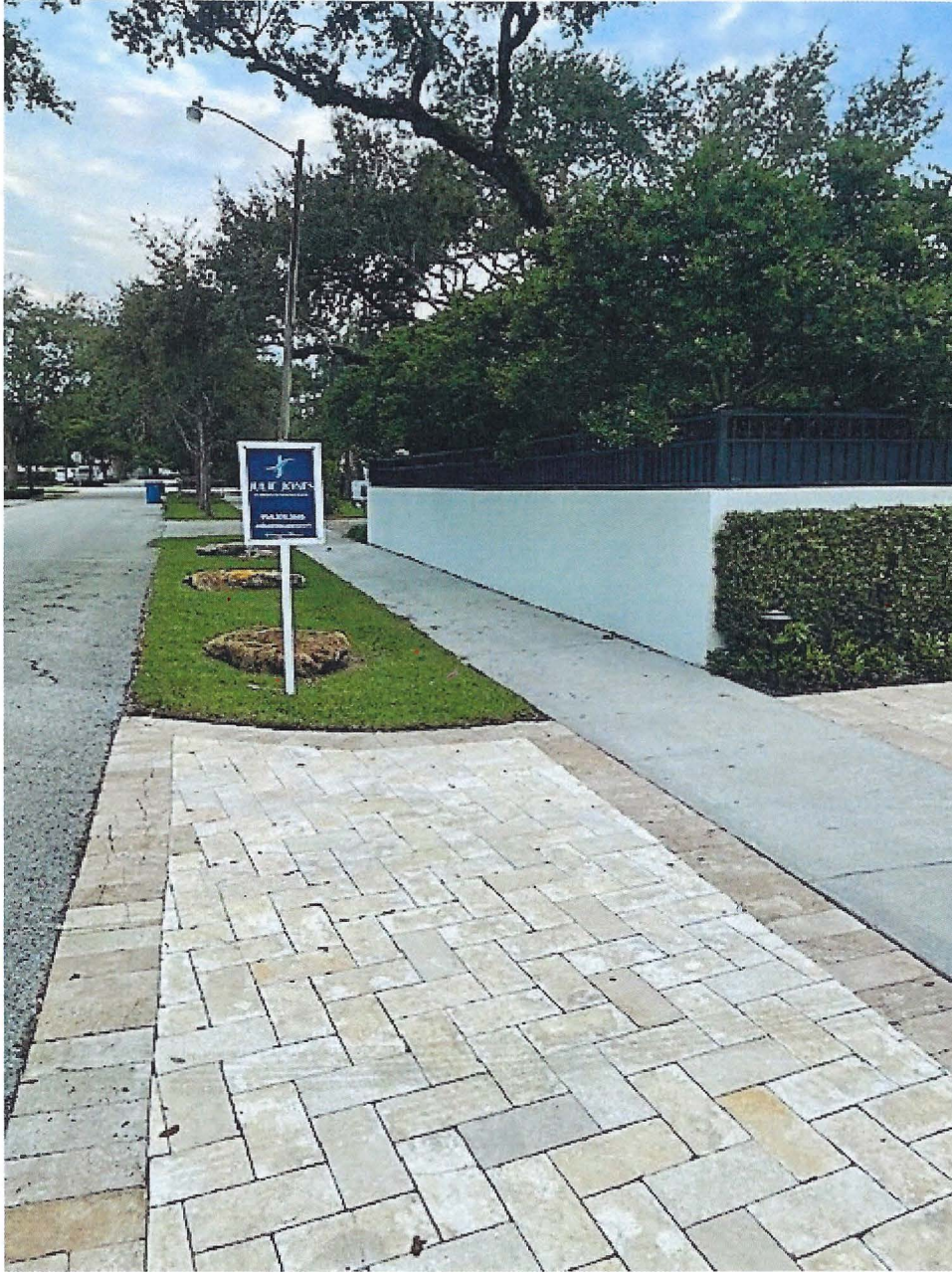
1036 SE 12th WAY - EXISTING POOL & FENCE - WHEN WE BOUGHT PROPERTY



1325 11<sup>th</sup> STREET  
NEXT DOOR - CORNER OF 11<sup>th</sup> STREET AND 13<sup>th</sup> TERRACE

IMMEDIATE NEIGHBORHOOD / NEXT DOOR

1A



CORNER 12<sup>TH</sup> WAY AND PONCE DE LEON DRIVE  
(END OF OUR BLOCK) (1218 PONCE DE LEON)

IMMEDIATE NEIGHBORHOOD

NARRATIVE

1036 SE 12<sup>th</sup> Way  
Fort Lauderdale, FL 33316  
December 2, 2024

Variance Committee  
City of Fort Lauderdale, Building Department

My husband and I purchased the property at 1036 SE 12th Way, Fort Lauderdale, in 2010. The 1952 mid-century modern house had been in foreclosure for some time and was in need of major renovation. A 92-foot-long fence consisting of 16 concrete pillars with wood panels was next to the sidewalk on 11<sup>th</sup> Street. Our architect, Robert Tuthill, said that the fence was "grandfathered in," but any new fencing would have to be three feet in from the sidewalk. In order to remove the original swimming pool and diving board, 27 feet of the fence had to be removed to allow heavy duty equipment into the backyard. The remainder of the original pool enclosure fence was left in place including seven of the original concrete pillars. This change was shown on the building plans which were approved by the building department in 2011.

The wood panels between the concrete pillars were regularly maintained. We replaced rotting boards many times and shored up the cross-beam supports, but the wood panels were unsightly from the street and a continuing expense. In April 2024 we contracted RPMetals to create an attractive design to replace the wood panels with aluminum. The original concrete pillars were to remain in place and would be painted.

Since we were not changing the property line or removing or replacing the original pillars, we did not think we needed a permit. Our contractor checked with the building department and came away with the understanding that as long as there was no change to the existing fence line, it would be okay to proceed. Long story short, the installation was halted by the City as it seems a permit was required. We submitted an application and fee along with affidavits and notarized documents and photos of neighboring properties showing similar fencing right next to the sidewalk: i.e., the properties directly across the street, immediately next door, and the corner of 12<sup>th</sup> Way and Ponce DeLeon.

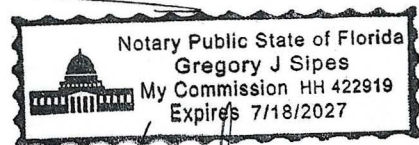
Time elapsed—both the contractor and I personally went to the building department but could not get information on the status of the permit. Then, through a series of phone calls and emails, our contractor was told that we needed to apply for a variance, and we needed to submit a variance application and additional fees. We submitted both. Nothing happened. We checked again and again. Finally, we scheduled an in-person meeting at the building department to get clarity and figure out how we can get this project completed. During that meeting last week we discovered that the building department does not share information, and, unbeknown to us, we were required to re-submit all the basic documentation, i.e. survey, tax map, ownership, drawings, photos, as well as provide envelopes to mail notices to neighbors (had to have address labels, no handwriting allowed). After a long, frustrating meeting, the contractor tried to resubmit everything again. Because his assistant had difficulty uploading all of the pages into the portal, she took all required documentation to the building department but was told no one there would upload the documents to our file; it had to be uploaded via the portal from her office. Our contractor has assured us they will find a way to get all of the documents submitted into the portal before the deadline of December 6.

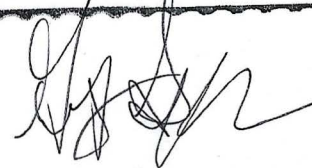
So, with this required homeowners' appeal letter, we hope we have completed all of the requirements. I have included additional photos of properties with similar fence/sidewalk profiles in our neighborhood. Based on the fact that the new low maintenance panels between the existing pillars will be in harmony with the neighborhood and that the original fence line placement will not change, we request that you grant a variance code 14-19.5B.1d. for the installation of aluminum panels between the existing fence pillars at 1036 SE 12<sup>th</sup> Way, Fort Lauderdale.

Sincerely,

  
MaryEllen and Ahmed Metwalli





 12/10/24

# SKETCH OF BOUNDARY SURVEY

SCALE: 1"=20'



FOR: AHMED & MARYELLEN METWALLI  
 JOB NO: 2409-017  
 FIELD DATE: 09-21-2024  
 PROP. ADDR: 1036 S.E. 12th WAY, FORT LAUDERDALE, FL 33316

CERTIFIED:  
 AHMED & MARYELLEN METWALLI

**LEGAL DESCRIPTION:**

LOT: 5 & 6 BLOCK: 12 SUBDIVISION: RIO VISTA ISLES UNIT 3  
 PLAT BOOK: 7 PAGE: 47 OF: BROWARD COUNTY, FLORIDA.

**SURVEYOR'S NOTES:**

- 1) THE SURVEY OF THE PROPERTY SHOWN HEREON IS IN ACCORDANCE WITH THE DESCRIPTION FURNISHED BY CLIENT.
- 2) UNLESS A COMPARISON IS SHOWN, ALL BEARING, ANGLES AND DISTANCES SHOWN ARE THE SAME AS PLAT VALUES.
- 3) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT AND THE SAME, IF ANY MAY NOT BE SHOWN ON THE SKETCH.
- 4) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 5) FENCE TIES ARE TO THE CENTER LINE OF THE SAME.
- 6) WALL TIES TO THE FACE OF THE SAME.
- 7) ELEVATIONS WHEN SHOWN ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM (1929) UNLESS OTHERWISE NOTED.
- 8) THERE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN.
- 9) FENCE OWNERSHIP IS NOT DETERMINED.
- 10) THIS IS A BOUNDARY SURVEY, UNLESS OTHERWISE NOTED, NOT TO BE USED FOR CONSTRUCTION PURPOSES.

**(FLOOD ZONE INFORMATION)**

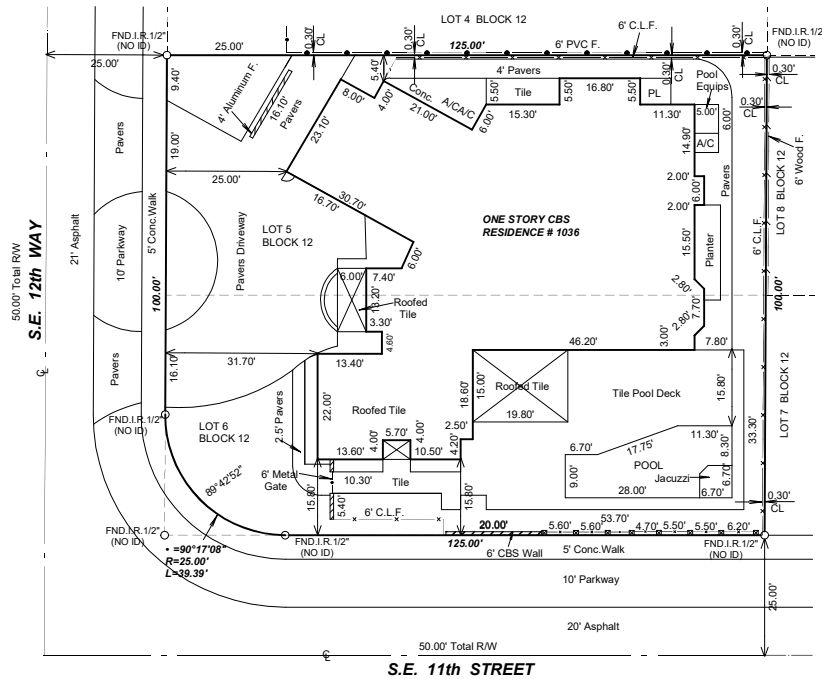
ZONE: X COMM: J23102 PANEL: J201100557 SUFFIX: J DATE: 7-31-2024 BASE: N/A  
 NOTE: DETERMINATION OF FLOOD ZONE LINES WERE BASED ON SCALING OF FEMA MAP LISTED ABOVE.

NOTE: ALL BEARINGS HEREON ARE BASED TO THE PLAT BEARING OF N/A ON THE CENTER LINE OF N/A PROPERTY LINE.

EASEMENT VIOLATIONS:  YES  NO  
 APPARENT VISIBLE ENCROACHMENTS:  YES  NO  
 COMMENTS:

**ABBREVIATIONS:**

SWW= Sidewalk, CBS= Concrete Block Structure, CLF= Chain Link Fence,  
 PL= Property Line, DUE= Drainage Utility Easement, IP= Iron Pipe,  
 A/C= Air Conditioner, PVC= Property Corner, D/H= Drilled Hole,  
 W/F= Wood Fence, RES= Residence, CL= Clear, IR= Iron Rebar, UE= Utility Easement, CONC= Conc. Slab, RW= Right of Way, DE= Drainage Easement, CL= Center Line, OD= Diameter, TYP= Typical, M= Measured, R= Recorded, ENCR= Encroachment, COMP= Computer, ASPH= Asphalt, ND= Nail & Disc., S= Set, FF= Fresh Floor Elevation, GSB= Offset, PPH= Power Pole, OHP= Overhead Powerline, WM= Water Meter, WPP= Wood Power Pole, E.M.= Electric Meter, M.F.= Metal Fence, P.F.= Plastic Fence, D.M.E.= Drainage Maintenance Easement, C.M.E.= Canal Maintenance Easement, L.M.E.= Lake Maintenance Easement, M.E.= Maintenance Easement, B.C.= Block Corner, P.C.= Point of Curvature, FND= Found, NO ID= No Identification.



Guillermo Guerrero

Digitally signed by Guillermo Guerrero  
 Date: 2024.12.05 09:10:31  
 -05'00'

**GLOBAL DIMENSIONS INC.**  
 Land Surveying Services  
 OFFICE:  
 9107 N.W. 159th STREET  
 MIAMI LAKES, FL 33018  
 PHONE: (305) 512-4225  
 FAX: (305) 512-1914

I hereby certify that the attached "BOUNDARY SURVEY" of the lands shown hereon are true and correct as surveyed and shown under my supervision and direction. This survey complies with the Standards and Practices of the Board of Professional Surveyors, Administrative Code, pursuant to Chapter 461, Florida Statutes.

No. 6453  
  
**GUILLERMO A. GUERRERO**  
 Professional Surveyor, Member No. 6453  
 STATE OF FLORIDA  
 BOARD OF PROFESSIONAL SURVEYORS

Note: Survey map, report or copies not valid without signature and raised seal.  
 SHEET 1 OF 1

# STRUCTURAL NOTES

## GENERAL ENGINEERING AND CONSTRUCTION

DESIGN AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 8TH EDITION, 2023 FBC RESIDENTIAL AND EXISTING BUILDING CODE 2023, 8TH EDITION, AND THE REQUIREMENTS SET FORTH BY SECTION 16B-33 OF THE FLORIDA ADMINISTRATIVE CODE AND CHAPTER 161 OF THE FLORIDA STATUTES

GENERAL: CONSTRUCTION METHODS, PROCEDURES, AND SEQUENCES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE THE NECESSARY MEANS TO MAINTAIN AND PROTECT THE STRUCTURAL INTEGRITY AND SERVICEABILITY OF THE CONSTRUCTION AT ALL TIMES.

CONSTRUCTION LOADS: STRUCTURAL MEMBERS AS SHOWN IN THE WORKING DRAWINGS HAVE BEEN DESIGNED TO CARRY THE CODE REQUIRED SERVICE LOADS ONLY. THE STRUCTURAL DESIGN OF THIS PROJECT HAS NOT CONSIDERED LOADS IMPOSED DURING CONSTRUCTION. CONSTRUCTION LOADS MAY EXCEED THE SERVICE DESIGN LOADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENGAGING THE NECESSARY CONSTRUCTION ENGINEERING AND DESIGN, AND DETERMINING AND EMPLOYING THE METHODS NECESSARY TO SUPPORT ALL LOADS IMPOSED DURING CONSTRUCTION.

CONSTRUCTION COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL WORK REQUIRED BY THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORKING DRAWINGS, AND SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND THE LOCATION AND SIZES OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL WORKING DRAWINGS

CONFLICTS: WHEREVER CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST IN THE STRUCTURAL DRAWINGS, SCHEDULES OR NOTES, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR CORRECTION AND/OR CLARIFICATION.

SHOP DRAWINGS:  
(a) THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS DETAILING CONCRETE REINFORCING STEEL, PRECAST AND PRESTRESSED STRUCTURAL CONCRETE UNITS, STRUCTURAL AND MISCELLANEOUS STEEL, WOOD ROOF TRUSSES, AND OTHER CONSTRUCTION REQUIRING OFF-SITE FABRICATION INCLUDED IN THE STRUCTURAL DRAWINGS FOR THE APPROVAL OF THE ENGINEER.

(b) APPROVAL OF SHOP DRAWINGS BY THE ENGINEER IS FOR DESIGN AND LAYOUT ONLY, AND IS NOT FOR THE PURPOSE OF AUTHORIZING CHANGES TO THE CONTRACT DRAWINGS OR APPROVING SUBSTITUTIONS. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE CONTRACT DRAWINGS, GENERAL CONDITIONS, SUPPLEMENTAL GENERAL CONDITIONS, SPECIAL CONDITIONS, AND SPECIFICATIONS APPLICABLE TO THE SHOP DRAWINGS AND THE SUBMITTALS. THE CONTRACTOR SHALL CHECK AND APPROVE THE SHOP DRAWINGS BEFORE SUBMISSION TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DIMENSIONS, QUANTITIES, JOB CONDITIONS, AND COORDINATION AS DEFINED HEREIN, AND WITH OTHER CONSTRUCTION TRADES. IF THE SHOP DRAWINGS ARE DISAPPROVED BY THE ENGINEER, THE CONTRACTOR SHALL RESUBMIT CORRECT DRAWINGS TO COMPLY WITH THE CONTRACT DOCUMENTS.

(c) THE CONTRACTOR SHALL USE MANUFACTURER'S CERTIFIED SHOP DRAWINGS AND SPECIFICATIONS FOR SPECIAL EQUIPMENT AND/OR CONSTRUCTION INSTALLATIONS, INCLUDING SKYLIGHTS, HEATING AND COOLING EQUIPMENT, POOL EQUIPMENT, ETC. THE CONTRACTOR SHALL COORDINATE INSTALLATION WITH THE WORKING DRAWINGS, AND PROVIDE ALL ADDITIONAL MATERIAL REQUIRED FOR THE INSTALLATION NOT SHOWN IN THE WORKING DRAWINGS.

(d) THE CONTRACTOR SHALL SUBMIT SUFFICIENT COPIES OF THE SHOP DRAWINGS TO ALLOW THE ENGINEER TO KEEP ONE SET OF DOCUMENTS FROM EACH SUBMITTAL FOR HIS RECORDS.

(e) THE CONTRACTOR SHALL ALLOW A MINIMUM OF ONE WEEK FOR THE ENGINEER TO REVIEW SHOP DRAWINGS, AFTER DATE OF RECEIPT BY THE ENGINEER. FOR LARGE SUBMITTALS, ADDITIONAL TIME MAY BE REQUIRED.

ENGINEER'S LIMITATIONS OF RESPONSIBILITY: THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE QUALITY OR COMPOSITION OF MATERIALS, SHOP DRAWINGS OR FABRICATIONS, CONSTRUCTION INSPECTION, SUPERVISION, OR REVIEW, SPECIAL INSPECTION, OR THE QUALITY AND CORRECTNESS OF CONSTRUCTION UNLESS THE APPROPRIATE SUBMISSIONS, REPORTS, APPROVALS, SHOP DRAWINGS, INSPECTIONS, SITE VISIT, CONSTRUCTION REVIEW, OR SPECIAL INSPECTIONS ARE PERFORMED BY THE ENGINEER OR HIS REPRESENTATIVE AS REQUIRED HEREIN, AND THEN ONLY SUCH RESPONSIBILITY AS IS ASSOCIATED WITH THE SPECIFIC WORK PERFORMED AS IS COMMONLY ASSIGNED A STRUCTURAL ENGINEER IN RELATION TO OTHER ENGINEERING AND CONSTRUCTION DISCIPLINES ASSOCIATED WITH THE PROJECT

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR SITE AND CONSTRUCTION SAFETY AND/OR THE SAFETY OF CONSTRUCTION WORKERS. SITE AND CONSTRUCTION SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF HIS EMPLOYEES AND THE SAFETY OF THE EMPLOYEE OF ALL SUBCONTRACTORS TO THE PROJECT.

ENGINEER'S STATEMENT OF COMPLIANCE: TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THE STRUCTURAL PLANS AND SPECIFICATIONS PRESENTED HEREIN COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES, STANDARDS, AND PRACTICES

## DESIGN CRITERIA

### WIND LOADING (ASCE 7-22)

WIND SPEED=170 MPH (3 SECOND GUST)  
EXPOSURE = C  
BUILDING TYPE= ENCLOSED, RIGID  
STRUCTURE CATEGORY = II  
KD=0.85  
INTERNAL PRESSURE COEFFICIENT= +/- 0.18

COMPONENTS AND CLADDING CH 30 (ALL WIND PRESSURES INCLUDE A LOAD FACTOR OF .6)

ZONE A<=10 SQ FT (PSF) A=20 SQ FT (PSF) A=100 SQ FT (PSF)

1	28.19, -47.40	24.33, -47.40	15.37, -37.80
2e	28.19, -63.42	24.33, -58.23	15.37, -46.19
2r	28.19, -82.64	24.33, -74.49	15.37, -55.56
3	28.19, -63.42	24.33, -58.23	15.37, -46.19
4	37.80, -41.00	36.09, -39.30	32.14, -35.34
5	37.80, -50.61	36.09, -47.20	32.14, -39.30

## REINFORCED CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF "ACI 318", 2014 EDITION, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW.

PORTLAND CEMENT: PORTLAND CEMENT SHALL BE TYPE "I", CONFORMING TO ASTM C-150.

CONCRETE AGGREGATES: NOMINAL MAXIMUM SIZE OF COARSE AGGREGATES SHALL NOT BE LARGER THAN 3/4 INCHES.

ADMIXTURES: CONCRETE MAY CONTAIN A WATER REDUCING ADMIXTURE CAPABLE OF INCREASING WORKABILITY AND REDUCING THE AMOUNT OF MIXING WATER, CONFORMING TO ASTM C-494, TYPE "A", OTHER ADMIXTURES MAY BE USED IF APPROVED BY THE ENGINEER.

QUALITY OF CONCRETE:  
(a) CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 5000 psi, UNLESS OTHERWISE STATED IN THE PLANS.  
(b) THE MAXIMUM WATER-CEMENT RATIO SHALL BE 0.55  
(c) THE MINIMUM CEMENT CONTENT FOR CONCRETE SHALL BE 5 BAGS PER CUBIC YARD.  
(d) UNLESS OTHERWISE PERMITTED OR SPECIFIED, THE MAXIMUM ALLOWABLE SLUMP OF CONCRETE SHALL BE FOUR INCHES. NO WATER SHALL BE ADDED AT THE JOB SITE TO READY-TO-USE CONCRETE WITHOUT THE APPROVAL OF THE ENGINEER, AND THEN ONLY WHEN SLUMP TESTS ARE MADE AND THE CONCRETE SO DELIVERED IS KNOWN TO BE OF LESS THAN THE SLUMP SPECIFIED.

TEST ON CONCRETE  
(a) 1) TESTS ON CONCRETE USED IN CONSTRUCTION SHALL BE MADE BY AN APPROVED TESTING LABORATORY, AND REPORTS SUBMITTED TO THE ENGINEER. THE COSTS OF SUCH TESTS SHALL BE ASSUMED BY THE OWNER.  
2) NOT LESS THAN THREE SPECIMENS SHALL BE MADE FOR EACH STANDARD TEST, NOT LESS THAN ONE TEST FOR EACH 50 CUBIC YARDS OF CONCRETE USED ON THE PROJECT.  
3) SPECIMENS SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD METHOD OF TEST FOR COMPRESSION STRENGTH OF MOLDED CONCRETE CYLINDERS, ASTM C39-72. REPORTS TO THE ENGINEER SHALL BE SUBMITTED FOR EACH TEST PERFORMED.  
(b) THE AGE FOR STRENGTH TESTS OF CONCRETE SHALL BE 28-DAYS. STRENGTH TESTS FOR AN EARLIER AGE SHALL BE SUBMITTED IF THE ENGINEER HAS APPROVED CONCRETE IN THE STRUCTURE TO RECEIVE ITS FULL WORKING LOADS AT SUCH EARLIER TIME. SEVEN DAY TESTS MAY BE USED WITH THE APPROVAL OF THE ENGINEER, PROVIDED THAT THE RELATION BETWEEN THE SEVEN AND 28-DAY STRENGTHS OF THE CONCRETE IS ESTABLISHED BY TEST FOR THE MATERIALS AND PROPORTIONS USED.  
(c) WHEN THERE IS A QUESTION AS TO THE QUALITY OF THE CONCRETE IN THE STRUCTURE, THE ENGINEER SHALL HAVE THE RIGHT TO REQUIRE CORE TESTS IN ACCORDANCE WITH THE STANDARD METHODS OF OBTAINING AND TESTING DRILLED CORES AND SAWED BEAMS OF CONCRETE, (ASTM C42), TO ORDER LOAD TESTS ON THAT PORTION OF THE STRUCTURE WHERE THE QUESTIONABLE CONCRETE HAS BEEN PLACED, OR TO REQUIRE OTHER REASONABLE TESTS TO EVALUATE THE STRENGTH OF THE STRUCTURE.

CURING OF CONCRETE: A CURING COMPOUND SHALL BE APPLIED TO THE TOP OF "GREEN" CONCRETE SLABS AS SOON AS PRACTICAL AFTER PLACEMENT OF THE CONCRETE, FOLLOWING THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. SPECIFICATIONS FOR CURING COMPOUNDS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR APPROVAL. ALTERNATIVELY, CONCRETE SHALL BE KEPT IN A WET CONDITION FOR THE FIRST 24 HOURS AFTER PLACEMENT, AND SHALL BE MAINTAINED IN A MOIST CONDITION FOR AT LEAST THE FIRST SEVEN DAYS AFTER PLACING.

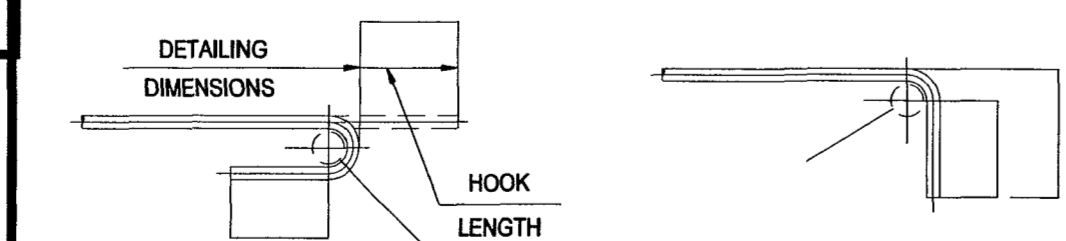
REINFORCING: REINFORCING STEEL SHALL BE GRADE 60.  
CONCRETE PROTECTION FOR REINFORCEMENT: THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

ITEM	MINIMUM COVER, IN
a) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3
b) CONCRETE EXPOSED TO EARTH OR WEATHER: #6 THROUGH #11 BARS	2
#5 BARS AND SMALLER	1 1/2
c) CONCRETE NOT EXPOSED TO EARTH OR WEATHER: SLABS, WALL, JOINTS (#11 OR SMALLER)	3/4
d) THE ABOVE PROTECTIVE COVERING ARE MINIMUMS, BUT PROTECTION SHALL NOT BE LESS THAN REQUIRED FOR FIRE-RESISTIVE RATINGS.	
e) THE CONTRACTOR SHALL PROVIDE THE NECESSARY BOLSTER, CHAIRS, AND MISCELLANEOUS REINFORCEMENT REQUIRE FOR THE SUPPORT OF REINFORCING STEEL. WIRE BAR SUPPORTS USED SHALL BE CLASS "C", PLASTIC PROTECTED.	

SPICES IN REINFORCEMENT:  
(a) IN SLABS, BEAMS, AND GIRDERS, SPICES IN REINFORCEMENT AT POINTS OF MAXIMUM STRESS SHALL BE AVOIDED WHEREVER POSSIBLE. SUCH SPICES WHERE USED SHALL BE WELDED, LAPPED OR OTHERWISE FULLY DEVELOPED. BUT, IN ANY SUCH CASE SHALL TRANSFER THE ENTIRE STRESS FROM BAR TO BAR WITHOUT EXCEEDING THE ALLOWABLE BOND AND SHEAR STRESSES. THE MINIMUM OVERLAP FOR A LAPPED SPICE SHALL BE 24 BAR DIAMETERS, BUT NOT LESS THAN 12 INCHES. THE CLEAR DISTANCE BETWEEN BARS SHALL ALSO APPLY TO THE CLEAR DISTANCE FROM A CONTACT SPICE AND ADJACENT SPICES OR BARS.  
(b) WELDED WIRE FABRIC REINFORCEMENT SHALL BE LAPPED ONE MESH PLUS TWO INCHES, 12 INCHES OR AS NOTED IN THE PLANS.  
(c) SPICES IN COLUMNS, BEAMS, GIRDERS, AND SLABS NOT SHOWN IN THE PLANS SHALL BE CLASS "C" CONTACT LAP SPICES  
(d) INTERIOR AND EXTERIOR HORIZONTAL LAPPED CORNER BARS SHALL BE PROVIDED AT ALL CORNERS TO MATCH THE SIZE, TYPE, AND SPACING OF HORIZONTAL FOOTING, WALL, MASONRY BOND BEAM, OR CONCRETE TIE BEAMS REINFORCEMENT.

## ACI STANDARD HOOKS (in.)

BAR SIZE	#3	#4	#5	#6	#7	#8	#9	#10
STANDARD HOOK 180°								
D	2 1/4	3	3 3/4	4 1/2	5 1/4	6	9 1/2	10 3/4
E	2 1/2	2 1/2	2 1/2	3	4	4	5	5
A or G	5	6	7	8	10	11	15	17
J	3	4	5	6	7	8	11 3/4	13 1/4
STANDARD HOOK 90°								
D	2 1/4	3	3 3/4	4 1/2	5 1/4	6	9 1/2	10 3/4
E	4 1/2	6	7 1/2	9	12	15	15	15
A or G	6	8	10	1-0	1-2	1-4	1-7	1-10



## NOTES

- ALL DIMENSIONS ARE OUT-TO-OUT OF BAR EXCEPT FOR PRE-BEND LENGTHS "A" OR "G" FOR STANDARD AND STIRRUP / TIE HOOKS.
- MINIMUM BEND DIAMETER "D" FOR STIRRUPS AND TIE HOOKS (TYPICAL TYPE D & H) SHALL BE AS SHOWN IN DETAIL 1. MIN BEND DIA. "D" FOR 90 DEG / 180 DEG STANDARD HOOKS SHALL BE AS SHOWN IN DETAIL 2.
- INSTALL TYPE "H" CROSS TIES WITH 135 DEG HOOKS ALTERNATING END FOR END ALONG LONGITUDINAL BARS.
- EVERY OTHER TYPE "D" TIE SHALL BE ROTATED 90 DEGREES

## SOIL NOTES:

- CONTRACTORS OR OWNER RESPONSIBILITY TO RETAIN THE SERVICE OF A GEOTECHNICAL ENGINEER CONSULTANT FOR THE PROPOSED SUBSURFACE EXPLORATION, EVALUATION OF THE SITE SOIL AND/OR ROCK CONDITIONS AND GEOLOGY, FOR RECOMMENDATIONS FOR THE SOIL AND/OR ROCK BEARING CAPACITY. FOUNDATION DESIGN PRESENTED IN THESE PLANS ARE FOR SHALLOW FOUNDATION WITH A MAXIMUM SOIL BEARING CAPACITY AT 2000 PSI.

## LUMBER

LUMBER WORK SHALL CONFORM TO ALL REQUIREMENTS OF ANSI/AWC NDS-2018 NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION

ALL LUMBER SHALL BE SOUTHERN PINE #2 MINIMUM FIBER STRESS OF 1100 PSI  
F<sub>b</sub>=1,100 psi, F<sub>e</sub>=1,400 psi, E=1,400,000 psi

ALL ROOF & FLOOR TRUSSES SHALL BE ENGINEERED BY A REGISTERED FLORIDA ENGINEER & TRUSS SHOP DRAWINGS SHALL BE SIGNED & SEALED BY SAID ENGINEER.

TRUSS MANUFACTURER SHALL SUBMIT FOUR (4) SETS OF TRUSS LAYOUT PLANS AND ENGINEERING SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AS TO COMPLIANCE WITH DESIGN CONCEPT.

THE BOTTOM OF WOOD POSTS SHALL BE PROTECTED FROM DETERIORATION BY APPROVE PRODUCT OR METHOD.

ALL WOOD TRUSSES SHALL BE ANCHORED AT BOTH ENDS WITH APPROVED GALV. METAL TRUSS STRAPS. TYPICAL EACH TRUSS. WHEN BEARING ON CONCRETE BEAM, EACH TRUSS MUST HAVE METAL TRUSS SEATS CAST INTO CONCRETE.

ALL WOOD TRUSSES TO BE ANCHORED TO BEARING FRAME PARTITION WITH APPROVED GALVANIZED METAL TRUSS STRAPS, TYPICAL EACH TRUSS.

TRUSS MANUFACTURER SHALL COORDINATE TRUSS FABRICATION WITH AIR CONDITIONING DUCT LAYOUT.

ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR STEEL SHALL BE P.T.

WHERE 1 X 3 FURRING STRIPS ARE NOT USED FOR CEILING, PROVIDE 1 X 4 BRACING @ 6'-0" O.C. @ BOTTOM CHORD & AS OTHERWISE CALLED FOR ON THE TRUSS SHOP DRAWINGS. ADEQUATE BRACING & BRIDGING SHALL BE USED DURING ERECTION OF THE TRUSSES TO PREVENT COLLAPSE OR DAMAGE TO THE TRUSSES.

PROVIDE DRAFT STOP BY CLADDING ONE SIDE OF FLOOR TRUSS W/ (1) LAYER OF 1/2" GYP. BOARD FOR FLOOR AREAS NOT TO EXCEED 500 SQ FT.

ERECTION OF TRUSSES LONGER THAN 35' OVERALL LENGTH OR TALLER THAN 6' ON OVERALL HEIGHT SHALL BE SUPERVISED BY A REGISTERED PROFESSIONAL ENGINEER OR INSPECTOR. OWNER-BUILDERS SHALL PROVIDE A NOTARIZED LETTER OF INTENT FROM HIMSELF/HERSELF AND FROM THE SPECIAL INSPECTOR TO THIS EFFECT.

## PRESSURE TREATED WOOD NOTE:

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED OR SEPARATED WITH (2) LAYERS OF 90 LB. BUILDING PAPER. THE USE OF CCA PRESSURE TREATED LUMBER IS PROHIBITED FOR INTERIOR APPLICATIONS (NOT EXPOSED TO WEATHER) PROVIDE SODIUM BORATE (SBX) TREATED LUMBER. FOR EXTERIOR USE PROVIDE COPPER AZOLE (CA) OR AKALINE COPPER QUATERNARY (ACQ) LUMBER. FASTENERS AND CONNECTORS ACCEPTABLE FOR USE WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED. HOT DIPPED GALVANIZED CONNECTORS SHALL MEET ASTM A653, CLASS 85 STANDARDS. HOT DIPPED GALVANIZED FASTENERS SHALL MEET ASTM A153 STANDARDS. FASTENERS USED TOGETHER SHALL BE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED JOIST HANGERS) TYPE 304 AND 316 STAINLESS STEEL PRODUCTS ARE REQUIRED FOR MAXIMUM CORROSION RESISTANCE.

## DEMOLITION NOTES:

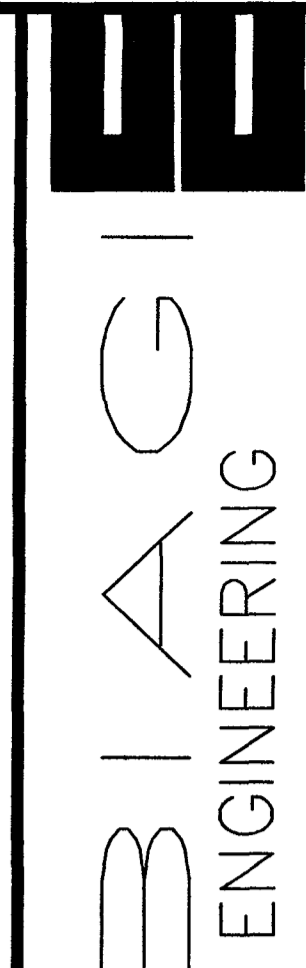
- THE INTENTION OF THESE PLANS ARE TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING ALL EXISTING CONDITIONS & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
- DAMAGES PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES AT NO COST TO OWNER.
- TRAFFIC: CONDUCT DEMOLITION AND CONSTRUCTION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. ALL CONSTRUCTION TRAFFIC SHALL BE DIRECTED AS AGREED DURING PRE-CONSTRUCTION MEETING WITH THE OWNER
- UTILITY SERVICES: MAINTAIN EXISTING UTILITIES, KEEP IN SERVICE AND PROTECT DAMAGE DURING OPERATIONS
- ENVIRONMENTAL CONTROLS: USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FLOODING AND POLLUTION
- PERFORM DEMOLITION AND CONSTRUCTION WORK IN A SYSTEMATIC MANNER
- PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION
- REMOVE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION AND CONSTRUCTION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OFF SITE
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION
- BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE
- UPON COMPLETION OF DEMOLITION WORK REMOVE TOOLS, EQUIPMENT, AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN

## STRUCTURAL ALUMINUM:

- STRUCTURAL ALUMINUM SHALL BE DOMESTIC ALLOY 6061-T6, DESIGNED IN ACCORDANCE WITH THE ALUMINUM ASSOCIATION'S SPECIFICATIONS FOR ALUMINUM STRUCTURES, LATEST EDITION.
- FASTENERS UNLESS DETAILED OTHERWISE, ALL FASTENERS SHALL BE 316 STAINLESS STEEL, ALUMINUM BOLTS, WHERE SPECIFIED, SHALL BE 2024-T4 OR 6061-T6 ALLOY.
- ALL WELDING SHALL CONFORM WITH AWS D1.2, LATEST STRUCTURAL WELDING CODE-ALUMINUM.
- WHERE THE CONTACT OF DISSIMILAR METALS MAY CAUSE ELECTROLYSIS OR WHERE ALUMINUM WILL COME IN CONTACT WITH CONCRETE, MORTAR OR PLASTER, THE CONTACT SURFACE OF THE ALUMINUM SHALL BE COATED WITH 1 COAT OF ZINC CHROMATE PRIMER AND ONE HEAVY COAT OF ALUMINUM PIGMENTED ASPHALT PAINT.

## SCOPE OF WORK:

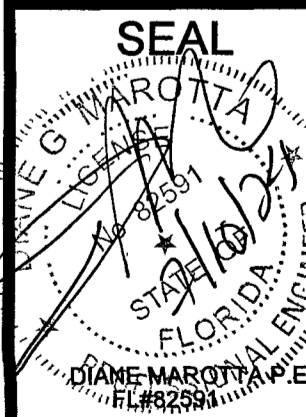
- NEW FENCE AND GATE.
- EXISTING COLUMNS AND COLUMN FOOTING WILL BE RESPONSIBILITY OF G.C.T.O VERIFY.



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REVISIONS		
DATE	BY	REASON

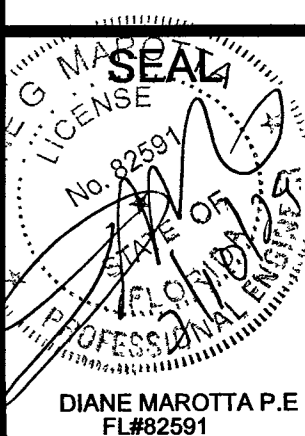
ALUMINUM FENCE  
1036 SE 12th Way, Fort Lauderdale



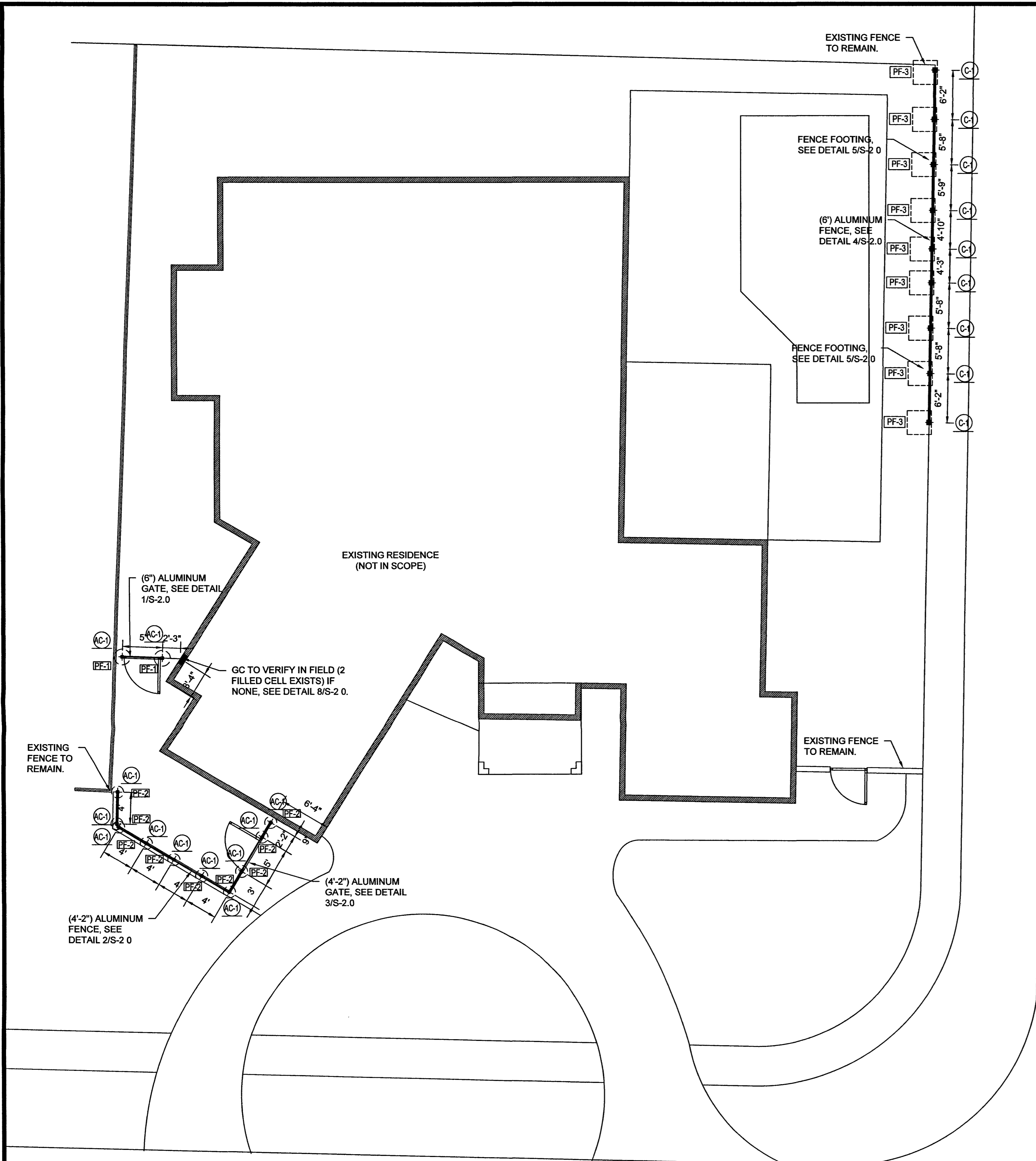
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checked by D.M.  
date: 08/26/2024

sheet: NOTES  
S-0

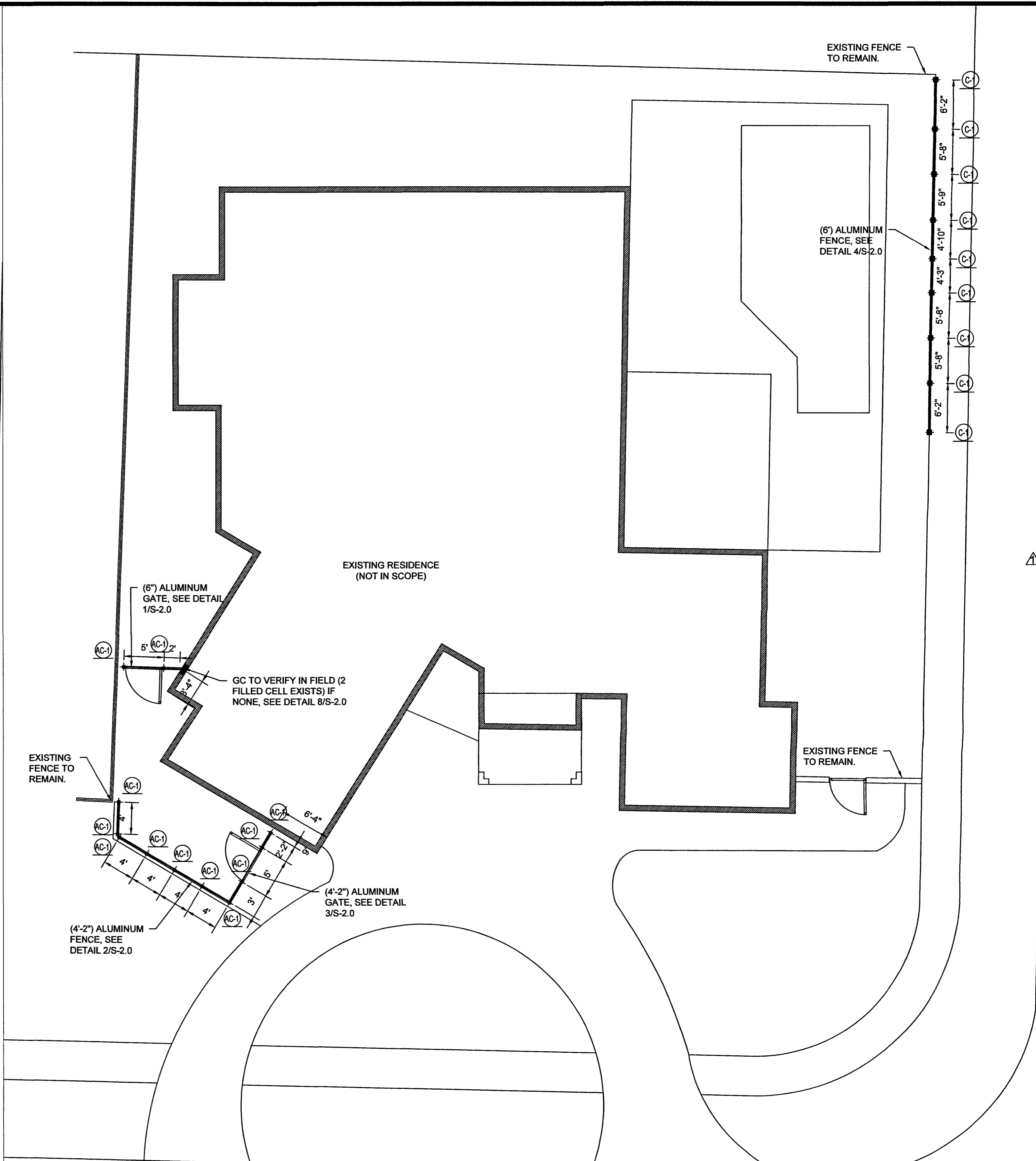
REVISIONS		
DATE	BY	REASON



drawn by:	E.G
checked by:	D.M.
date:	06/26/2024



**1** PROPOSED FOUNDATION PLAN  
S-1 SCALE: 1/8" = 1'-0"



**2** PROPOSED FLOOR PLAN  
S-1 SCALE: 1/8" = 1'-0"

CONCRETE PAD FOOTING SCHEDULE						
SYMBOL	SIZE		DEPTH	TOP OF PAD ARCH ELEV.	REINFORCEMENT	DESCRIPTION
	LENGTH	WIDTH				
PF-1	24"	Ø	40"	-	-	
PF-2	20"	Ø	36"	-	-	
PF-3	30"X30"		12"	-	(3) #5'S EACH WAY	EXISTING FOOTING TO BE VERIFY

CONCRETE COLUMN SCHEDULE	
①	7'x7" POURED CONC. COL w/ (4) #4'S VERT. w/ #3 TIES @ 8" O/C

LEGEND	
	EXISTING 8" CMU WALL
	CONCRETE COLUMN
	CONCRETE COLUMN SUPPORT BELOW
	ALUMINUM COLUMN
	COLUMN BELOW
	COLUMN STARTS

