



BOARD OF ADJUSTMENT MEETING NOTICE

May 25, 2023

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, June 14, 2023 at 6:00 P.M.**

This meeting will be held in-person at: Development Services Department (Lobby) 700 NW 19th Avenue, Fort Lauderdale, Florida 33311 to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

CASE:	PLN-BOA-23030006
OWNER:	NOOR, MUSTAFA; NEBEKER, GORDON A
AGENT:	TIMOTHY MCCLURE
ADDRESS:	2861 NE 23 STREET, FORT LAUDERDALE, FL 33305
LEGAL DESCRIPTION:	LOT 9, BLOCK E, OF CORAL RIDGE NORTH ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (SEE SURVEY)
ZONING DISTRICT:	RS-4.4 - RESIDENTIAL OF SINGLE FAMILY/LOW DENSITY
COMMISSION DISTRICT:	1
REQUESTING:	<u>Sec. 47-5.30. - Table of dimensional requirements for the RS-4.4 district. (Note A)</u>

- Requesting a variance from the 25 feet minimum front yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a structure at a setback distance of 24.30 feet whereas the code requires a minimum front yard setback of 25 feet a total variance reduction request of 00.70 feet.

To watch and listen to the meeting, please visit: <https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/cityoffortlauderdale

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.




PLN-BOA-23030006

LEGEND

-  Municipal Boundary
-  Subject Site

N



0 100 200 US Feet



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT VIRTUAL MEETING

DATE: MAY 10, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23030006

Requesting: Sec. 47-5.30. - Table of dimensional requirements for the RS-4.4 district. (Note A)

- **Requesting a variance from the 25 feet minimum front yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a structure at a setback distance of 24.30 feet whereas the code requires a minimum front yard setback of 25 feet a total variance reduction request of 00.70 feet.**

LOCATION: The City of Fort Lauderdale will be hosting the Board of Adjustment meeting Virtually using audio/video conferencing software

Visit <http://www.youtube.com/CityofFortLauderdale> to watch and listen to the Board of Adjustment meeting.

If you wish to sign up and speak on an item visit:

https://fortlauderdale.zoomgov.com/webinar/register/WN_MS_m5licWS0CKtC5t_RWtFw



This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment. In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLU-BOA-23030006

APPLICANT: GORDON NGBEKEL AND MUSTAFA NOOR

PROPERTY: 2861 NE 23RD ST. FT. LAUDERDALE, FL. 33305

PUBLIC HEARING DATE: JUNE 14TH 2023

BEFORE ME, the undersigned authority, personally appeared Timothy P. Millers, who upon being duly sworn and cautioned, under oath deposes and says:

- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. T.P.M. (initial here)

Affiant Timothy P. Millers

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 9 day of June, 2023

NOTARY PUBLIC STATE OF FLORIDA LUKE RINKUS Commission # HH 057058 Expires October 26, 2024 Bonded Thru Budget Notary Services

NOTARY PUBLIC MY COMMISSION EXPIRES: [Signature]



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 **PUBLIC NOTICE**

BOARD OF ADJUSTMENT MEETING

DATE: JUNE 14, 2023 **TIME:** 4:00 P.M. **CASE:** PA-23-0000000

Agenda Item: *Case No. 23-0000000 - Variance of Dimensional Requirements for Use 30, S.A. District, Zone A*

Requesting to: *Request to vary the 30-foot minimum front yard requirement of Section 16-1.0 of the Code of Ordinances, Regulations to allow a driveway at a setback distance of 10.0 feet where the code requires a minimum front yard setback of 30 feet and other related technical matters of the 10-foot.*

Requesting Party: *Mr. & Mrs. [Name]*

Address: *[Address]*

City of Palm Beach
1000 S. Palm Beach
Palm Beach, FL 33480
Phone: 561-838-3333
www.cityofpalmbeach.com

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CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: JUNE 14, 2023

TIME: 6:00 P.M.

CASE: PLN-BOA-23030006

Requesting: Sec. 47-5.30. - Table of dimensional requirements for the RS-4.4 district. (Note A)

- Requesting a variance from the 25 feet minimum front yard requirements of Section 47-5.30 Table of Dimensional Requirements to allow a structure at a setback distance of 24.30 feet whereas the code requires a minimum front yard setback of 25 feet a total variance reduction request of 00.70 feet.

MEETING LOCATION: DEVELOPMENT SERVICES DEPARTMENT
700 N.W. 19TH AVENUE (JOBRT)
FORT LAUDERDALE, FL 33311
CONTACT: 954-828-4864

TO WATCH AND LISTEN TO THE BOARD OF ADJUSTMENT MEETING VISIT:
<https://www.fortlauderdale.gov/government/BOA>
www.youtube.com/channel/UCrufforLauderdale



This notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-28, it shall be unlawful for any person to reuse, copy, disseminate or otherwise use the notice in any manner other than as directed by the City. Persons violating this notice may be subject to the action of the City.



In accordance with City Code Section 17-25, if the sign is not removed from the property within the specified time, the sign shall be removed at the discretion of the City. The sign shall be removed at the discretion of the City.

Notice is hereby given that the sign shall be removed at the discretion of the City.

Sec. 47-5.30. Table of dimensional requirements for the RS-4.4 district. (Note A)

Requirements	RS-4.4		
Maximum density	4.4 du/net ac.		
Minimum lot size	10,000 sq. ft.		
Maximum structure height	35 ft.		
Maximum structure length	None		
Minimum lot width	75 ft. *100 ft. when abutting a waterway on any side		
Minimum floor area	1,250 sq. ft.		
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isle—20 ft.		
Minimum corner yard	25% of lot width, but not greater than 25 ft. 25 ft. when abutting a waterway		
Minimum side yard	10 ft. - up to 22 ft. in height Where a building exceeds 22 ft. in height that portion of the building shall be set back an additional 1 foot per foot of building height above 22 ft. 25 ft. when abutting a waterway		
Minimum rear yard	15 ft. 25 ft. when abutting a waterway		
Minimum distance between buildings	None		
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤10,000 sf	50%	0.75
Lot coverage and FAR	10,001—15,000 sf	45%	0.75
	>15,000 sf	40%	0.60

Note A: Dimensional requirements may be subject to additional regulations, see Section 47-23, Specific Location Requirements, and Section 47-25, Development Review Criteria.

*Allowances for modifications of lot widths may be permitted in accordance with the requirements of Section 47-23.10, Specific Location Requirements.

**An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see Section 47-24.2.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97)

Record

Menu Refine Search New GIS Create a Set View Log Reports Help My Filters --Select-- Module Planning

Showing 1-47 of 47

<input type="checkbox"/>	Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Opened Date	Status
<input type="checkbox"/>	PLN-BOA-23030006		Set Back Addition	Z- Board of Adjustment (BOA)	0		2861	NE	23	ST	03/29/2023	Open
<input type="checkbox"/>	BLD-RPAV-22070003	PAVE FOR BLD-RADD-22040014	PAVE FOR BLD-RADD-22040014	Residential Paving Permit	150		2861	NE	23	ST	07/05/2022	Awaiting Client Reply
<input type="checkbox"/>	ENG-PAV-22070001	ROW PAVE FOR BLD-RADD-22040014	ROW PAVE FOR BLD-RADD-22040014	ROW Paving Permit	0		2861	NE	23	ST	07/05/2022	Void
<input type="checkbox"/>	BLD-ROOF-22040217	NEW TILE ROOF FOR THE ADDITION ONLY		Re-Roof Permit	0		2861	NE	23	ST	04/27/2022	Issued
<input type="checkbox"/>	PLB-RES-22040216	SEWER LATERAL		Plumbing Residential Permit	0		2861	NE	23	ST	04/27/2022	Complete
<input type="checkbox"/>	PLB-RES-22040215	PLUMBING HALF BATH		Plumbing Residential Permit	0		2861	NE	23	ST	04/27/2022	Issued
<input type="checkbox"/>	ELE-RES-22040197	ELECTRICAL		Electrical Residential Permit	0		2861	NE	23	ST	04/27/2022	Awaiting Client Reply
<input type="checkbox"/>	MEC-RES-22040075	NEW GARAGE AND STORAGE ADDITION		Mechanical Residential Permit	105		2861	NE	23	ST	04/27/2022	Issued
<input type="checkbox"/>	BLD-RADD-22040014	NEW GARAGE , STORAGE ADDITION AND HALF BATHROOM		Residential Addition Permit	0		2861	NE	23	ST	04/27/2022	Issued
<input type="checkbox"/>	PM-18090844	ELEC FOR BP 18080205	ELEC FOR BP 18080205	Electrical Residential Permit	0		2861	NE	23	ST	09/12/2018	Complete
<input type="checkbox"/>	PM-18090836	PLUMB FOR BP 18080205	PLUMB FOR BP 18080205	Plumbing Residential Permit	0		2861	NE	23	ST	09/12/2018	Complete
<input type="checkbox"/>	PM-18090227	LOW-VOLTAGE ALARM LABEL (MUST UPDATE ADDRESS USIN...	LOW-VOLTAGE ALARM LABEL (MUS...	Alarm Label	0		2861	NE	23	ST	09/05/2018	Complete
<input type="checkbox"/>	PM-18080205	INSTALL WATERFALL TO EXISTING POOL RETURN WATER ~...	INSTALL WATERFALL TO EXISTIN...	Residential Pool-Spa-Fountain Permit	0		2861	NE	23	ST	08/02/2018	Complete
<input type="checkbox"/>	PM-16121842	A/C CHANGEOUT 3 TON	A/C CHANGEOUT 3 TON	Mechanical HVAC Changeout Permit	0		2861	NE	23	ST	12/23/2016	Complete
<input type="checkbox"/>	VIO-CE16061550_1	CORAL RIDGE ASSOC - BULK TRASH PILE WAS FOUND ON	EGAN,JAMES	Bulk Trash Case	0		2861	NE	23	ST	06/20/2016	Closed
<input type="checkbox"/>	CE16061550	CORAL RIDGE ASSOC - BULK TRASH PILE WAS FOUND ON,...	EGAN,JAMES	Bulk Trash Case	0		2861	NE	23	ST	06/20/2016	Closed
<input type="checkbox"/>	PM-16051401	INSTALL 66 FT X 6 FT WOOD FENCE W/ ONE GATE ~ ~05...	INSTALL 66 FT X 6 FT WOOD FE...	Fence Permit	0		2861	NE	23	ST	05/16/2016	Complete
<input type="checkbox"/>	PM-16041675	EXHAUST FAN FOR BATHROOM REMODEL BP16041669	EXHAUST FAN FOR BATHROOM REM...	Mechanical Residential Permit	0		2861	NE	23	ST	04/20/2016	Complete
<input type="checkbox"/>	PM-16041673	PLUMBING FOR BATH REMODEL BP16041669	PLUMBING FOR BATH REMODEL ...	Plumbing Fixture Replacement Permit	0		2861	NE	23	ST	04/20/2016	Complete
<input type="checkbox"/>	PM-16041672	ELECTRIC FOR BATH REMODEL BP16041669	ELECTRIC FOR BATH REMODEL ...	Electrical Residential Permit	0		2861	NE	23	ST	04/20/2016	Complete
<input type="checkbox"/>	PM-16041669	BATHROOM REMODEL ~NOC ~ ~B-RECHECK -E 6/6/16 ~REV...	BATHROOM REMODEL	Residential Alteration Permit	0		2861	NE	23	ST	04/20/2016	Complete
<input type="checkbox"/>	PM-16031031	WINDOWS 11 AND DOORS 2 WITH IMPACT IN 8 OPENINGS ...	WINDOWS 11 AND DOORS 2 WITH ...	Window and Door Permit	0		2861	NE	23	ST	03/11/2016	Complete
<input type="checkbox"/>	PM-16020813	REROOF 5725-SQFT TILE ROOF	REROOF 5725-SQFT TILE ROOF	Re-Roof Permit	0		2861	NE	23	ST	02/10/2016	Complete
<input type="checkbox"/>	PM-15080063	FENCE -ALUM. W/ CBS - BP 15051486	FENCE -ALUM. W/ CBS - BP 150...	Fence Permit	17.59		2861	NE	23	ST	08/03/2015	Void
<input type="checkbox"/>	PM-15080065	DRIVEWAY/WALKWAY ONSITE CONCRETE PAVERS ~950 SQ.FT	DRIVEWAY/WALKWAY ONSITE CONC...	Residential Paving Permit	77.81		2861	NE	23	ST	08/03/2015	Void
<input type="checkbox"/>	PM-15051492	REROOF TILE 6256 SF EXISTING HOUSE AND ADDITIONS ...	REROOF TILE 6256 SF EXISTING...	Re-Roof Permit	0		2861	NE	23	ST	05/15/2015	Void
<input type="checkbox"/>	PM-15051491	A/C FOR ADDITION OF ATTACHED GARAGE,NEW ~ENTRY,IN...	A/C FOR ADDITION OF ATTACHED...	Mechanical HVAC New Install Permit	0		2861	NE	23	ST	05/15/2015	Void
<input type="checkbox"/>	PM-15051490	PLUMBING FOR ADDITION OF ATTACHED GARAGE,NEW ~ENT...	PLUMBING FOR ADDITION OF ATT...	Plumbing Residential Permit	0		2861	NE	23	ST	05/15/2015	Void
<input type="checkbox"/>	PM-15051489	ELECTRIC FOR ADDITION OF ATTACHED GARAGE,NEW ~ENT...	ELECTRIC FOR ADDITION OF ATT...	Electrical Residential Permit	0		2861	NE	23	ST	05/15/2015	Void
<input type="checkbox"/>	PM-15051486	ADD 361 SQ.FT.ATTACHED GARAGE,ADD NEW ENTRY 89 ~S...	ADD 361 SQ.FT.ATTACHED GARAG...	Residential Addition Permit	555.24		2861	NE	23	ST	05/15/2015	Void
<input type="checkbox"/>	VIO-CE15010905_1	BOAT TRAILER ON THE FRONT LAWN KILLING THE GRASS	MAGRI,RICHARD JOHNSON,BILLY D	Violation-CODE Hearing	0		2861	NE	23	ST	01/15/2015	Closed
<input type="checkbox"/>	CE15010905	BOAT TRAILER ON THE FRONT LAWN KILLING THE GRASS,...	MAGRI,RICHARD JOHNSON,BILLY D	Code Case	0		2861	NE	23	ST	01/15/2015	Closed
<input type="checkbox"/>	PM-14060930	SERVICE CHANGE	SERVICE CHANGE	Electrical Services Permit	0		2861	NE	23	ST	06/11/2014	Complete
<input type="checkbox"/>	PM-12051814	INSTALL PAVERS ON WALKWAYS & PATIO AREA ON SITE	INSTALL PAVERS ON WALKWAYS &...	Residential Paving Permit	0		2861	NE	23	ST	05/24/2012	Complete
<input type="checkbox"/>	PM-03101288	PAVER DRIVEWAY ON & OFF SITE & PATIO 821 SF	PAVER DRIVEWAY ON & OFF SITE...	Residential Paving Permit	0		2861	NE	23	ST	10/15/2003	Void
<input type="checkbox"/>	PM-03071917	52 HEADS	52 HEADS	Plumbing Irrigation Permit	0		2861	NE	23	ST	07/22/2003	Complete
<input type="checkbox"/>	PM-03010332	99FT OF 6FT WOOD FENCE (3) GATES	99FT OF 6FT WOOD FENCE (3) G...	Fence Permit	0		2861	NE	23	ST	01/07/2003	Complete
<input type="checkbox"/>	PM-02021863	INSTALL 1" IRRIGATION METER	INSTALL 1" IRRIGATION METER	Plumbing Meter Install Permit	0		2861	NE	23	ST	02/26/2002	Complete
<input type="checkbox"/>	PM-02021047	REPLACE A/C 3-1/2 TONS & DUCT SYSTEM	REPLACE A/C 3-1/2 TONS & DUC...	Mechanical HVAC Changeout Permit	0		2861	NE	23	ST	02/14/2002	Complete
<input type="checkbox"/>	PM-02012211	INSTALL PRE WIRE FOR AUDIO SYSTEM	INSTALL PRE WIRE FOR AUDIO S...	Electrical Low Voltage Permit	0		2861	NE	23	ST	01/30/2002	Complete
<input type="checkbox"/>	PM-02011819	PRE WIRE FOR ALARM	PRE WIRE FOR ALARM	Electrical Burglar Alarm	0		2861	NE	23	ST	01/25/2002	Complete
<input type="checkbox"/>	PM-02011451	ELECT FOR RES REMODEL	ELECT FOR RES REMODEL	Electrical Residential Permit	0		2861	NE	23	ST	01/22/2002	Complete
<input type="checkbox"/>	PM-01071611	INTERIOR REMODEL PLUMBING	INTERIOR REMODEL PLUMBING	Plumbing Residential Permit	0		2861	NE	23	ST	07/23/2001	Complete
<input type="checkbox"/>	PM-01051839	REPLACE W/ 3.5 TON A/C, 10 KW HTR	REPLACE W/ 3.5 TON A/C, 10 K...	Mechanical HVAC Changeout Permit	0		2861	NE	23	ST	05/23/2001	Complete
<input type="checkbox"/>	PM-01031670	*AFTER FACT*INTERIOR DEMO FOR SFR REMODEL	*AFTER FACT*INTERIOR DEMO FO...	Residential Demolition Permit	0		2861	NE	23	ST	03/22/2001	Complete
<input type="checkbox"/>	PM-01031669	*AFTER FACT*INTERIOR REMODEL OF SFR ~CHANGE CONTR...	*AFTER FACT*INTERIOR REMODEL...	Residential Alteration Permit	0		2861	NE	23	ST	03/22/2001	Complete
<input type="checkbox"/>	PM-00111879	INSTALL WOOD FENCE 112'X6'	INSTALL WOOD FENCE 112'X6'	Fence Permit	0		2861	NE	23	ST	11/27/2000	Complete



DEVELOPMENT SERVICES DEPARTMENT – ZONING & LANDSCAPING
BOARD OF ADJUSTMENT (BOA)

Rev: 5 Revision Date: 07/25/2022 | Print Date: 07/25/2022
 I.D. Number: Z&L-BOA

BOARD OF ADJUSTMENT (BOA) INFORMATION AND APPLICATION

- Cover : Deadlines, Notes, Fees, and General Information
- Page 1 : Applicant Information Sheet
- Page 2 : Variance Request Criteria
- Page 3 : Required Documentation & Mail Notice Requirements
- Page 4 : Sign Notice Requirements & Affidavit
- Page 5 : Technical Specifications

BOARD OF ADJUSTMENT MEETING REQUEST: Prior to the submittal of the Board of Adjustment application, applicants are required to schedule a meeting request with Zoning and Landscaping Division staff to obtain feedback regarding the proposed variance, special exception, or other applications. The meeting includes general guidance on the submittal and process for the application type. A meeting can be requested by submitting an email request to the [Board of Adjustment](#).

APPLICATION DEADLINE: Submittals must be received by 5:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if application, survey, plans and other documentation do not meet the submittal requirements and if changes are required. The applicable deadline dates can be found on the City's website at the [Board of Adjustment](#) webpage.

ONLINE SUBMITTAL PROCESS: Submittals must be conducted through the City's online citizen access portal and payment of fees [LauderBuild](#). LauderBuild requires the creation of an online account to submit a complete application. To access submittal requirements and standards please visit the [LauderBuild Plan Room](#). Staff will provide guidance once an application has been submitted to the City.

DETERMINATION OF COMPLETENESS: Submittals are reviewed for completeness to ensure the application submittal contains all the required information including plans, survey, proof of ownership, narratives, and other pertinent documentation. The City will notify the applicant within five (5) business days from submittal with a determination of completeness. The notification will be sent via email and will indicate application completeness or incompleteness with required changes.

PAYMENT OF FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit. Applicants will receive invoices electronically indicating the applicable fee(s). Note, there are fees at various stages of review depending on application type. Fees are paid online.

PUBLIC SIGN NOTICE: Board of Adjustment (BOA) application, and certain applications are subject to public sign notice. Affidavits must be completed and submitted to the City stated compliance that such has been completed. The affidavit form can be found in this package on page 4 and on the City's website.

- Variance/Special Exception/Interpretation (Before): \$2,200
- Variance/Special Exception/Interpretation (After): \$2,800
- Variance/Special Exception/Interpretation (Before): \$650
- Residential (Homesteaded Only) Accessory Structures & Existing Non-Conforming Structures.
- Variance/Special Exception/Interpretation (After): \$850
- Residential (Homesteaded Only) Accessory Structures & Existing Non-Conforming Structures.
- Request For Continuance: \$900
- Request for Rehearing: \$300
- Rehearing Request before the board: \$1,150

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	Gordo Nebeker and Mustafa Noor
Property Owner's Signature	<i>Timothy McClure Agent</i> <small>If a Timothy McClure is provided no signature is required on the application by the owner.</small>
Address, City, State, Zip	2861 NE 23rd St., Ft. Lauderdale Florida 33305
E-mail Address	FCIGroupins@gmail.com
Phone Number	561-729-4800
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	Timothy McClure
Applicant / Agent's Signature	<i>Timothy McClure</i>
Address, City, State, Zip	3660 SW 2nd St. Fort Lauderdale Fl. 33312
E-mail Address	FCIGroupinc@gmail.com
Phone Number	561-729-4800
Letter of Consent Submitted	<input checked="" type="checkbox"/>

Development / Project Name	Nebeker Storage Addition and Garage
Existing / New	Existing: <input type="checkbox"/> New: <input checked="" type="checkbox"/>
Project Address	Address: 2861 NE 23rd St. Ft. Lauderdale Fl. 33305
Legal Description	Coral Ridge North 28-37 B Lot 9 BLK E (SEE SURVEY)
Tax ID Folio Numbers (For all parcels in development)	4942-36-03-0620
Variance Request (Describe)	Requesting a Variance setback from a Minnimume of 25.00 to 24.3
Applicable ULDR Sections	47-5.30

Current Land Use Designation	Low
Current Zoning Designation	RS-4.4
Current Use of Property	Residential Resd. <i>SINGING FAMILY</i>
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front	25	<i>24.3</i>
Side	10	
Side	10	<i>10</i>
Rear	15	<i>15</i>

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Answer All questions on this page and attach narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

CODE SECTION 47-5.30 VARIANCE REQUEST FRONT YARD SETBACK

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

~~BOYD~~ CURUGO ROAD IN SETBACK

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

HARD TO DETERMINE EXACT SETBACK

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

OWNER REQUEST ULR TO ALLOW REASONABLE USE OF THE PROPERTY

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

UNIQUE HARDSHIP NOT CREATED BY APPLICANT, BUT BY THE CURVE IN THE SETBACK.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

VARIANCE WILL BE IN HARMONY WITH GENERAL PURPOSE AND INTENT OF THE ULDR.

AFFIDAVIT: I, Timothy McClure the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Timothy McClure

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 6 day of April, 2023

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES:

Nikki Lynn Goldstein
6/6/2026



Site Address	2861 NE 23 STREET, FORT LAUDERDALE FL 33305-2805	ID #	4942 36 03 0620
Property Owner	NOOR, MUSTAFA NEBEKER, GORDON A	Millage	0312
Mailing Address	3 WARREN DR MIDDLETON MA 01949	Use	01-01
Abbr Legal Description	CORAL RIDGE NORTH 28-37 B LOT 9 BLK E		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023*	\$358,730	\$1,100,860	\$1,459,590	\$1,459,590	
2022	\$358,730	\$1,100,530	\$1,459,260	\$1,459,260	\$27,611.92
2021	\$358,730	\$635,830	\$994,560	\$912,270	\$16,724.03

2023* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$1,459,590	\$1,459,590	\$1,459,590	\$1,459,590
Portability	0	0	0	0
Assessed/SOH	\$1,459,590	\$1,459,590	\$1,459,590	\$1,459,590
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$1,459,590	\$1,459,590	\$1,459,590	\$1,459,590

Sales History			
Date	Type	Price	Book/Page or CIN
3/11/2021	DRR-T	\$100	117114919
2/24/2021	WD-Q	\$1,375,000	117093038
6/26/2018	WD-T	\$100	115180298
6/25/2014	WD-Q	\$907,000	112388461
11/16/2000	TD	\$325,000	31092 / 1638

Land Calculations		
Price	Factor	Type
\$25.00	14,349	SF
Adj. Bldg. S.F. (Card, Sketch)		3451
Units/Beds/Baths		1/2/2
Eff./Act. Year Built: 1961/1960		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY
494225030012	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE
494225033400	GRACE,DAVID & JENNIFER	3RD AVENUE REALTY TR	2881 NE 24 ST	FORT LAUDERDALE
494225033390	BOYNTON,JULIE	BOYNTON,TERRANCE	2873 NE 24 ST	FORT LAUDERDALE
494225033380	ANDREWS,JOHN S & DEBRA C		2865 NE 24 ST	FORT LAUDERDALE
494225033370	RUSSELL,MICHAEL K & KAYLA N		2857 NE 24 ST	FORT LAUDERDALE
494225033360	LAZOWICK,STEWART & LYNN		2849 NE 24 ST	FORT LAUDERDALE
494225033350	MICHELLE KERR TR	ERIC W LINSLEY DEC OF TR	1050 SEMINOLE DR #2A	FORT LAUDERDALE
494225033410	WALKER,MICHAEL CHARLES		2316 INTRACOASTAL DR	FORT LAUDERDALE
494225033210	STEPHANY,KURT E & ELIZABETH G		2864 NE 24 ST	FORT LAUDERDALE
494225033220	KISSLAN,KIMBERLY A		2856 NE 24 ST	FORT LAUDERDALE
494225033230	KATZ,LINDSAY	SCHLANG,SAMUEL	2848 NE 24 ST	FORT LAUDERDALE
494225033240	MAUS,WILLIAM HENRY III & VIDA M		2840 NE 24 ST	FORT LAUDERDALE
494225033250	DUBROVICH,GREGORY	SHEGELMAN,MARTA	2832 NE 24 ST	FORT LAUDERDALE
494225033420	SHAWKEY,JOHN TYLER & JACQUELYN		2300 INTRACOASTAL DR	FORT LAUDERDALE
494236030620	NOOR,MUSTAFA	NEBEKER,GORDON A	3 WARREN DR	MIDDLETON
494236030610	MILTON,GERALDO		2855 NE 23 ST	FORT LAUDERDALE
494236030600	SINGER,JEREMY R & RANDI L		2849 NE 23 ST	FORT LAUDERDALE
494236030590	ELLIS,RICHARD L & SANDRA	RICHARD L & SANDRA ELLIS REV TR	2841 NE 23 ST	FORT LAUDERDALE
494236030580	KINZER,RICHARD F & KAREN L		2831 NE 23 ST	FORT LAUDERDALE
494236030760	SWARZAK,ANTHONY	SWARZAK,ELIZABETH	2222 INTRACOASTAL DR	FORT LAUDERDALE
494236030750	BROMFIELD,STEPHEN & DONNA		2220 INTRACOASTAL DR	FORT LAUDERDALE
494236030460	BARBARA BAJAJ IRREV TR	BAJAJ,ARVINDER S TRSTEE	2209 INTRACOASTAL DR	FORT LAUDERDALE
494236030470	BAREFIELD,REID A & SUSANNA Y		2850 NE 23 ST	FORT LAUDERDALE
494236030480	HOROWITZ,ANGELA & JACOB		2842 NE 23 ST	FORT LAUDERDALE
494236030740	SRP TR	PICCIOTTO,SAMUEL R TRSTEE	2210 INTRACOASTAL DR	FORT LAUDERDALE
494236030450	EDSON,JEFFREY & PAMELA		2730 NE 23 PL	POMPANO BEACH
494236030440	DONOHUE,JOHN P		2853 NE 22 ST	FORT LAUDERDALE
494236030430	VALENCIA,ROBERTO & RITA		2843 NE 22 ST	FORT LAUDERDALE
494236030420	OLIVER,JANET		2837 NE 22 ST	FORT LAUDERDALE
494236030730	CAMPBELL,COLIN &	CAMPBELL,KIMBERLEY CLARKE	2200 INTRACOASTAL DR	FORT LAUDERDALE
494236030720	VITOLO,JOSEPH & RENEE		2130 INTRACOASTAL DR	FORT LAUDERDALE
494236030490	LEEBOW,ALEX PHILLIP & MORGAN		2836 NE 23 ST	FORT LAUDERDALE
494225030011	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE

494307000460 TITF/STATE OF FLORIDA

% FL INLAND NAVIGATION DISTRICT

1314 MARCINSKI RD

JUPITER

Florida's Coastal Investment Group

3660 SW 2nd St.

Ft. Lauderdale 33305

561-729-4800

Construction Consultant

FCIGroupinc@gmail.com

Narrative

April 6, 2023

Reference: PLN-BOA – 23030006

This request for this variance is regarding the failed spot elevation survey during the construction of the home addition, Due to minor encroachment in the front yard. The foundation was placed as drawn on the approved permitted set of plans, but it encroaches the set back in the front yard approximately .3 foot for the addition. Following section: 47-5.30 regarding nonconforming structures, when the nonconforming structures, the percentage of encroachment into the front yard setback is less than 1/10 of 1% of the front yard. The majority of the home is setback considerably further than the minimum front yard setback.

Variance Request: Front Yard Setback:

(Asking for 24.3 total reduction of .70 feet.

Authorized Agent

Timothy McClure

FCIGroupinc@gmail.com

561-729-4800

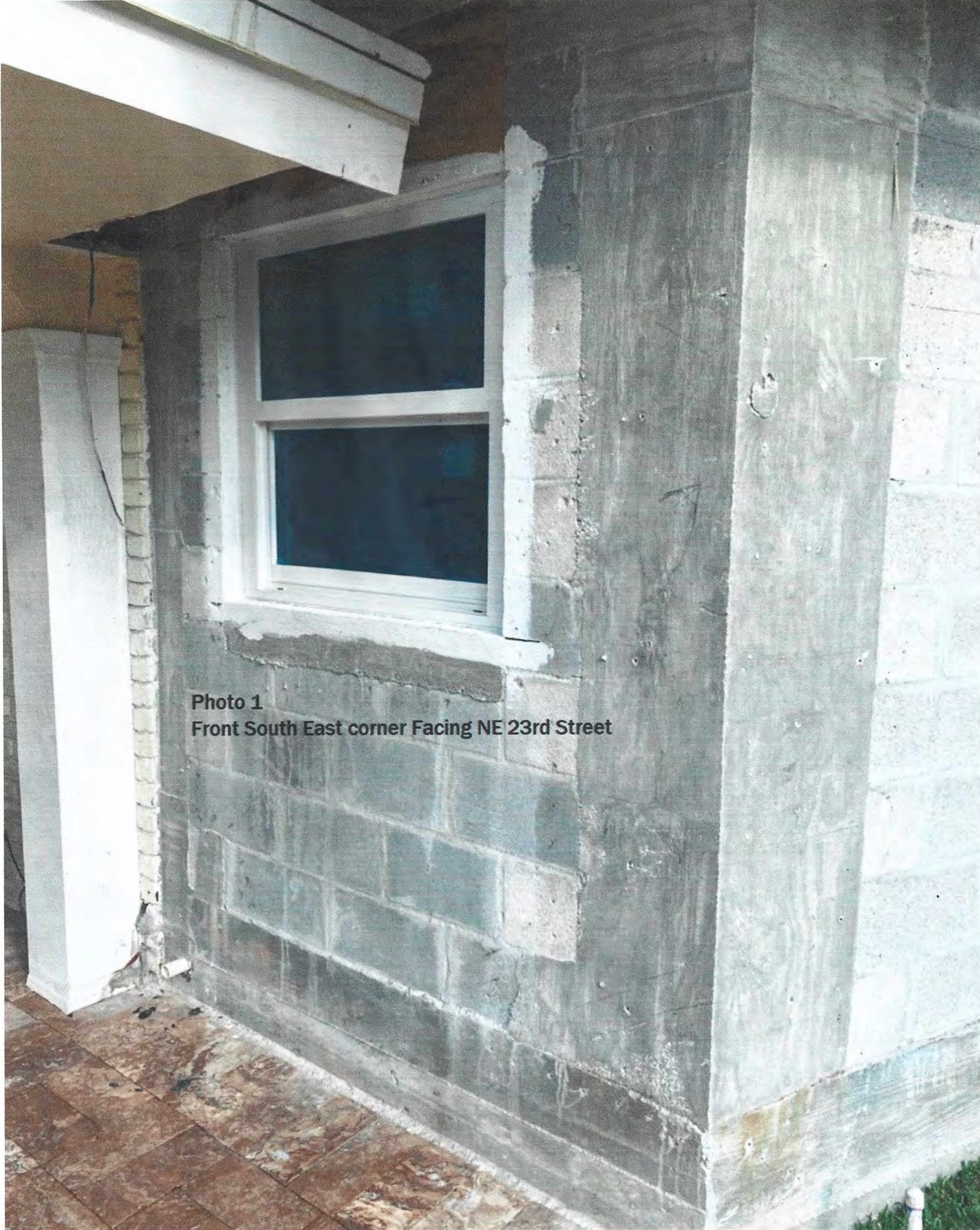


Photo 1
Front South East corner Facing NE 23rd Street

Photo 2
South East Corner facing Intercoastal Dr.
at an angle.

1 inch Encroachment
On City Setback

7 inch
Encroachment
On City Setback



Photo 2
South East Corner facing Intercoastal Dr.
at an angle.

1 inch Encroachment
On City Setback

7 inch
Encroachment
On City Setback



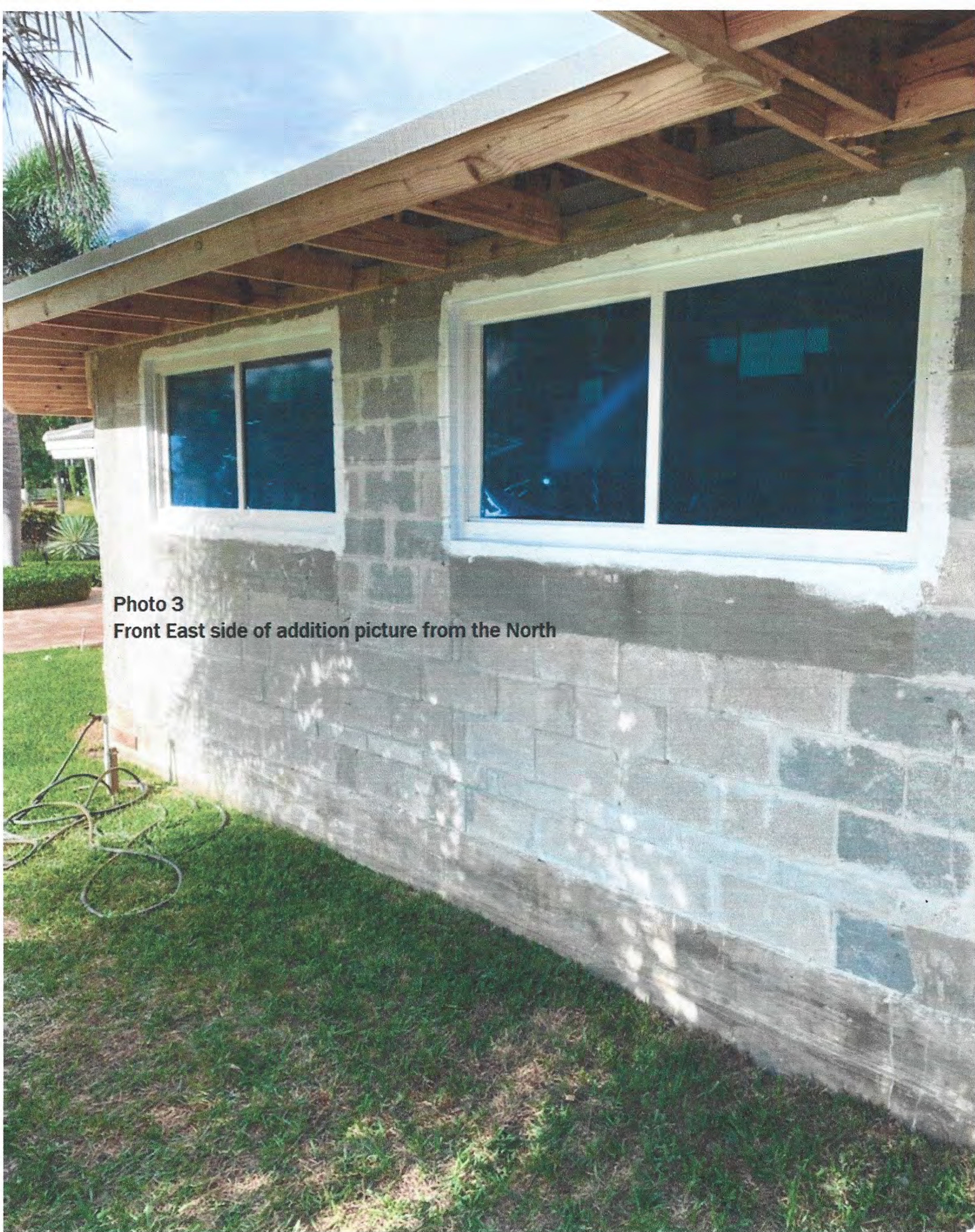
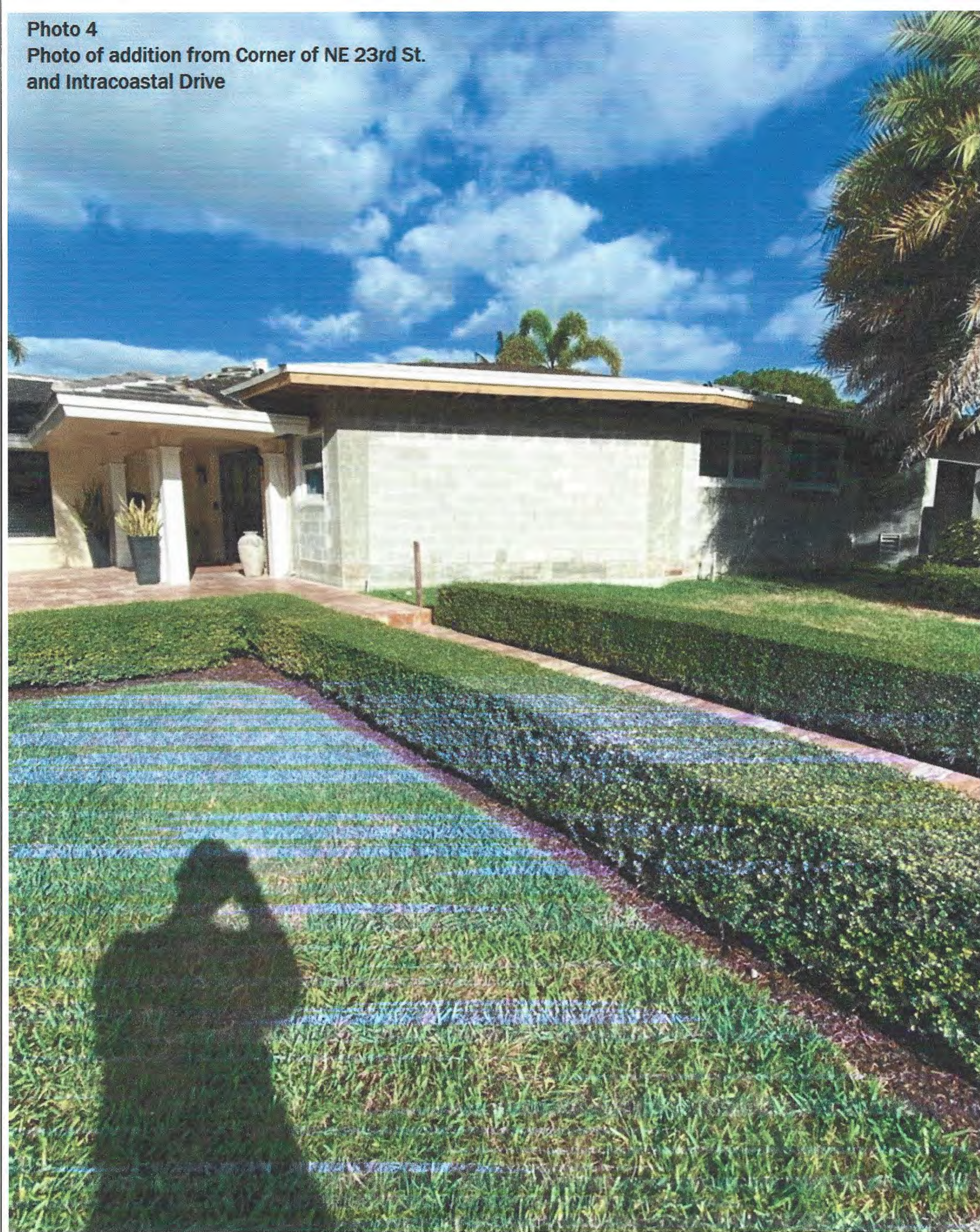
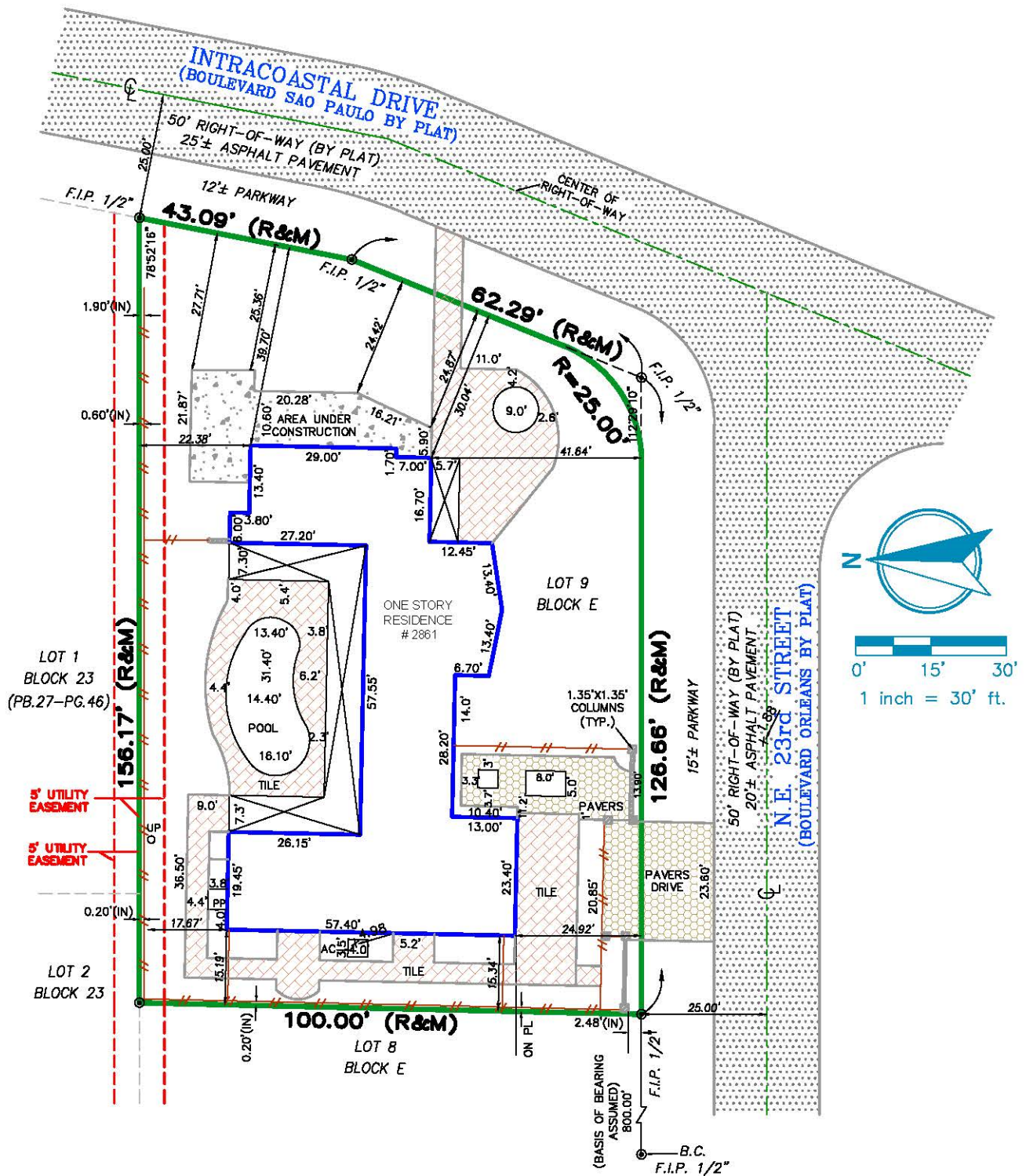


Photo 3
Front East side of addition picture from the North

Photo 4
Photo of addition from Corner of NE 23rd St.
and Intracoastal Drive





POINTS OF INTEREST:

WALKWAY AND DRIVEWAY CROSS LOT LINES. FENCES ARE OVER 5' UTILITY EASEMENT.

MAP OF BOUNDARY SURVEY

Property Address:
2861 NE 23RD ST
FORT LAUDERDALE, FL 33305

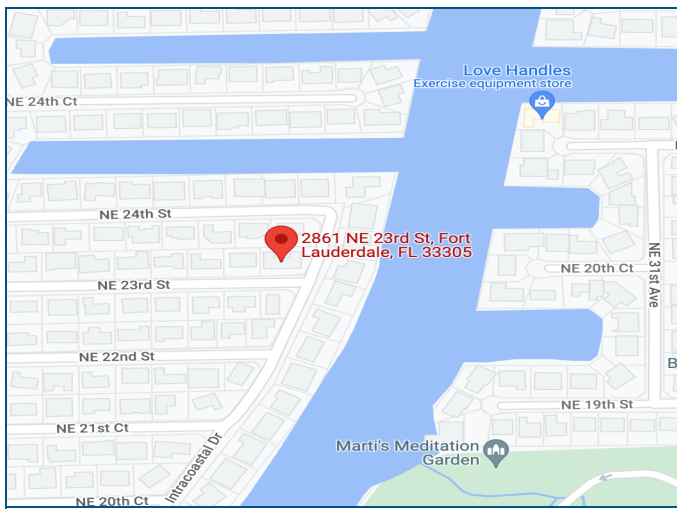


15271 NW 60 AVE, Suite 206
Miami Lakes, FL 33014
www.OnlineLandSurveyors.Com

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

SIGNED _____ FOR THE FIRM
GUILLERMO A. GUERRERO
STATE OF FLORIDA **P.S.M. No. 6453**

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.



LOCATION MAP N.T.S.



PROPERTY FRONT VIEW

CERTIFIED TO:

MUSTAFA NOOR AND GORDON NEBEKER
ITS SUCCESSORS AND/OR ASSIGNS AS THEIR
INTEREST MAY APPEAR.

FLOOD INFORMATION:

Community Number: CITY OF FORT LAUDERDALE
125105
Panel Number: 12011C0388H
Suffix: H
Date of Firm Index: 8/18/2014
Flood Zone: AE
Base Flood Elevation: 5.0
Date of Survey: 1/24/2023

LEGAL DESCRIPTION: LOT 9, BLOCK E, OF CORAL RIDGE NORTH ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

Surveyor's Legend

PROPERTY LINE	TREE	L.M.E. LAKE or LANDSCAPE MAINT. ESMT.	ESMT. EASEMENT
STRUCTURE	POWER POLE	R.O.E. ROOF OVERHANG EASEMENT	D.E. DRAINAGE EASEMENT
CONC. BLOCK WALL	CATCH BASIN	P.P. POOL PUMP	L.B.E. LANDSCAPE BUFFER ESMT.
CHAIN-LINK or WIRE FENCE	COUNTY UTILITY ESMT.	PL PLANTER OR PROPERTY LINE	L.A.E. LIMITED ACCESS EASEMENT
WOOD FENCE	INGRESS/ EGRESS ESMT.	I.D. IDENTIFICATION	TEL. TELEPHONE FACILITIES
IRON FENCE	UTILITY EASEMENT	B.C. BLOCK CORNER	U.P. UTILITY POLE
EASEMENT	FOUND IRON PIPE/ PIN AS NOTED ON PLAT	B.R. BEARING REFERENCE	E.U.B. ELECTRIC UTILITY BOX
CENTER LINE	LICENSE # - BUSINESS	Δ CENTRAL ANGLE or DELTA	SEP. SEPTIC TANK
WOOD DECK	LICENSE # - SURVEYOR	R RECORD OR RADIUS	D.F. DRAIN FIELD
CONCRETE	CALCULATED POINT	RAD. RADIAL	AC AIR CONDITIONER
ASPHALT	SET MONUMENT	N.R. NON RADIAL	CSW CONC SIDEWALK
BRICK/TILE	CONTROL POINT	TYP. TYPICAL	DWY DRIVEWAY
WATER	CONCRETE MONUMENT	I.R. IRON ROD	SCR. SCREEN
APPROXIMATE EDGE OF WATER	ELEVATION	I.P. IRON PIPE	GAR. GARAGE
COVERED AREA	POINT OF TANGENCY	N&D NAIL & DISK	ENCL. ENCLOSURE
	POINT OF CURVATURE	PK NAIL PARKER-KALON NAIL	N.T.S. NOT TO SCALE
	PERMANENT REFERENCE MONUMENT	D.H. DRILL HOLE	F.F. FINISHED FLOOR
	POINT OF COMPOUND CURVATURE	WELL	T.O.B. TOP OF BANK
	POINT OF REVERSE CURVATURE	FIRE HYDRANT	E.O.W. EDGE OF WATER
	POINT OF BEGINNING	MAN HOLE	E/P OR E.O.P. EDGE OF PAVEMENT
	POINT OF COMMENCEMENT	OVERHEAD LINES	C.V.G. CONCRETE VALLEY GUTTER
	PERMANENT CONTROL POINT	TRANSFORMER	B.S.L. BUILDING SETBACK LINE
	PLATTED MEASUREMENT	CABLE TV. RISER	S.T.L. SURVEY TIE LINE
	DEED	WATER METER	CENTER LINE
	CALCULATED	POOL EQUIPMENT	RIGHT OF WAY
		CONC CONCRETE SLAB	PUBLIC UTILITY EASEMENT
			CANAL MAINTENANCE EASEMENT
			ANCHOR EASEMENT

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS.
- EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION, PERMITTING DESIGN, OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONLINE LAND SURVEYORS INC.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- FENCE OWNERSHIP NOT DETERMINED.
- WALL TIES ARE TO THE FACE OF THE WALL.
- BEARINGS ARE BASE ON AN ASSUMED MERIDIAN.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED OR ELECTRONIC SEAL.
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.



Florida Land Title Association

Affiliate Member

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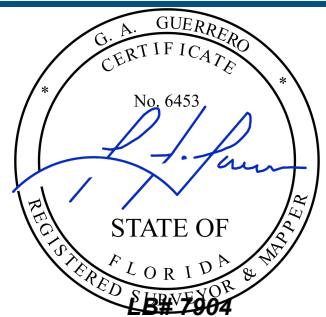
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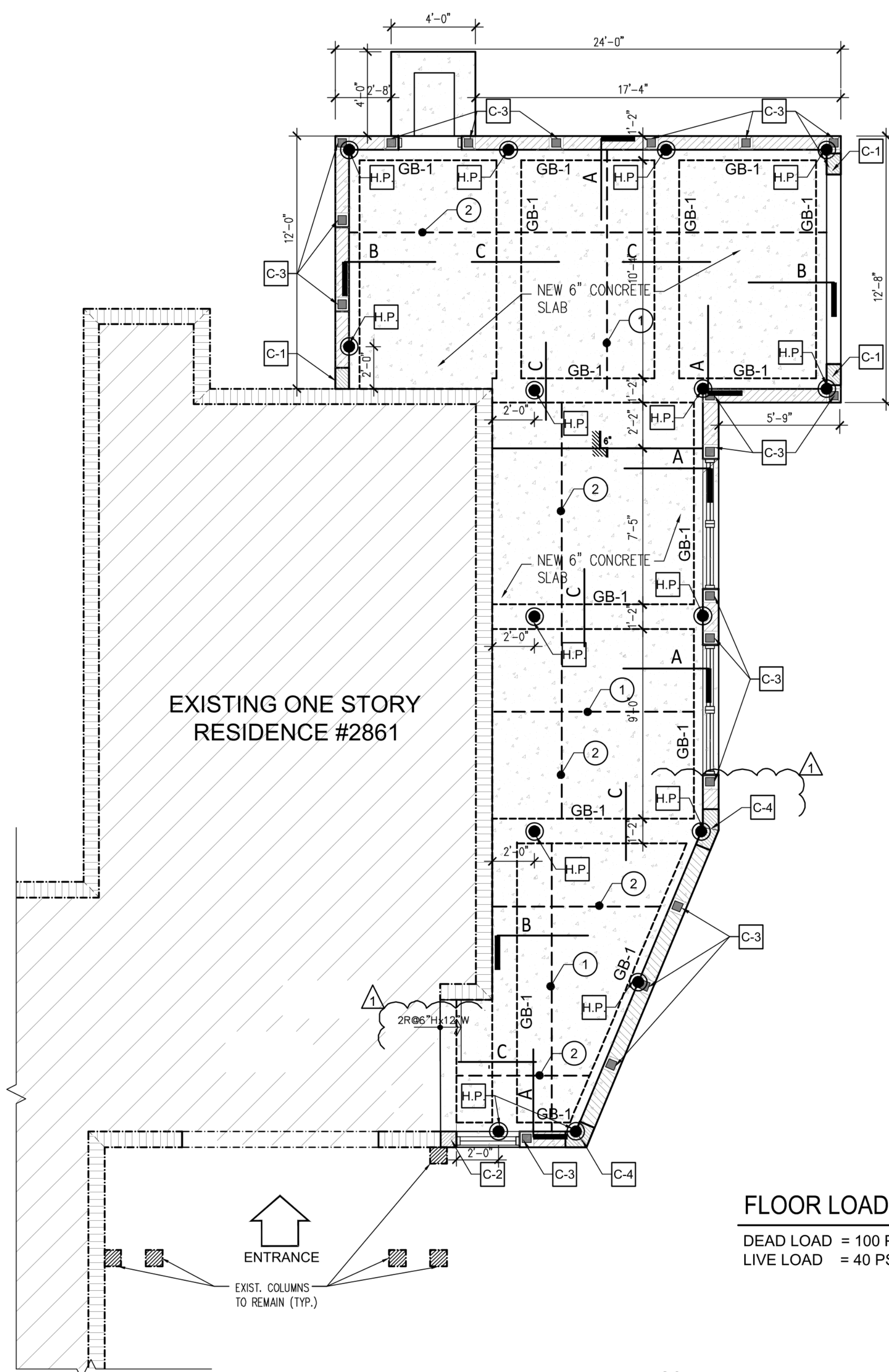
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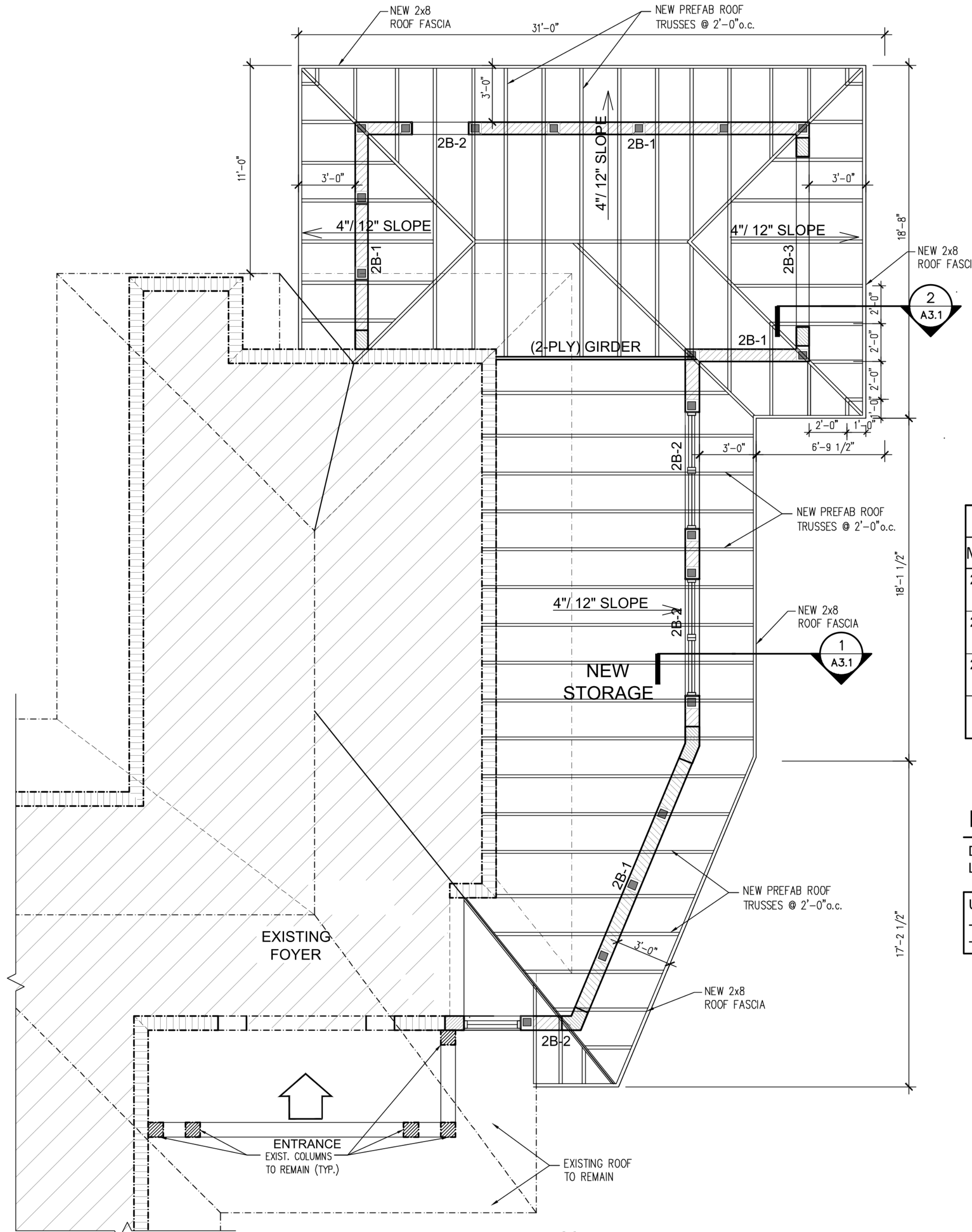
FIELD WORK:	1/24/2023
DRAWN BY:	V.P.
CHECKED BY:	G.A.G.
FINAL REVISION:	01/26/2023
COMPLETED:	1/24/2023
SCALE:	1" = 30'
SURVEY CODE:	O-94933



15271 NW 60 AVE, Suite 206
Miami Lakes, FL 33014
Phone: (305) 910-0123
Fax: (305) 675-0999
www.OnlineLandSurveyors.Com



1 NEW ADDITION FOUNDATION PLAN
 A2.0 SCALE: 1/4"=1'-0"



2 NEW ADDITION ROOF FRAMING PLAN
 A2.0 SCALE: 1/4"=1'-0"

LEGEND	
TYPE	DESCRIPTION
	EXISTING EXTERIOR WALLS/ DOORS / WINDOWS TO REMAIN
	EXISTING EXTERIOR CMU WALL TO REMAIN
	NEW CMU EXTERIOR WALL
	NEW PARTITION DRYWALL-SEE WALL SECTIONS ON S3.0
	EXISTING TO BE REMOVED
	15 TON CAPACITY HELICAL PILE
	SECTION OR ELEVATION NO.
	SHEET DRAWN ON
	DETAIL NO.
	SHEET DRAWN ON

BEAM SCHEDULE			
MARK	ELEV.	SIZE	REINFORCING
2B-1	+9'-0" (BOTTOM)	8"x12"	CONCRETE BEAM W/2-#5s TOP & BOTT. CONT. AND #3 STIRRUPS @ 12"o.c.
2B-2	+8'-0" (BOTTOM)	8"x24"	CONCRETE BEAM W/2-#5s TOP & BOTT. AND #3 STIRRUPS @ 10"o.c.
2B-3	+7'-2" (BOTTOM)	8"x34"	CONCRETE BEAM W/2-#6s TOP AND BOTT. AND 2-#5s MID. CONT. & #3 STIRRUPS @ 12"o.c.

ROOF LOADS
 DEAD LOAD = 25 PSF
 LIVE LOAD = 30 PSF

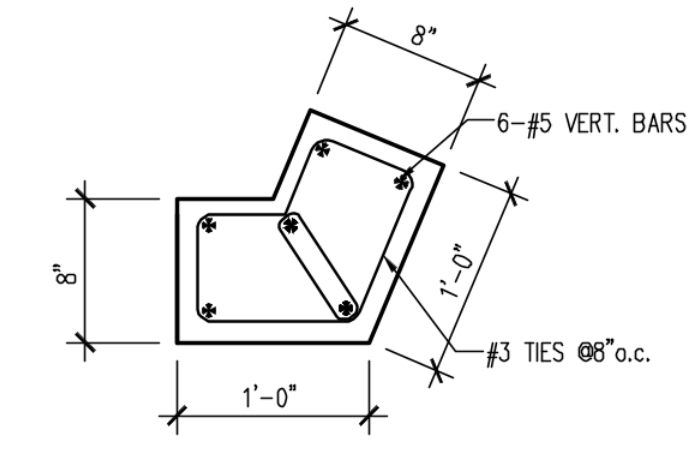
UPLIFT PRESSURE
 -65 PSF@ RIDGES & EDGES
 -75 PSF@ OVERHANGS

FLOOR LOADS
 DEAD LOAD = 100 PSF
 LIVE LOAD = 40 PSF

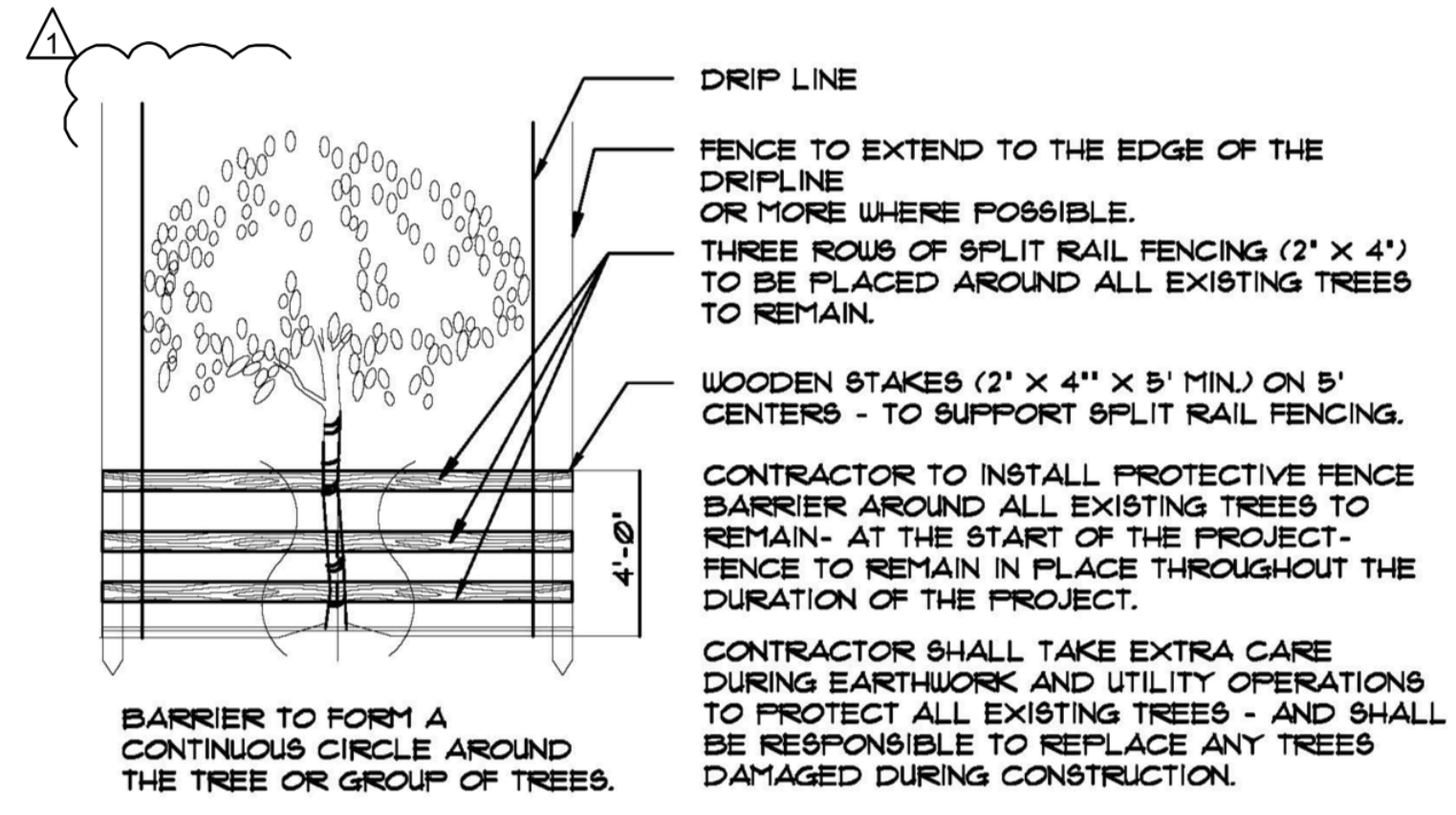
PILES FOOTING AND COLUMN SCHEDULE			
MARK	MATERIAL	SIZE	REINFORCING
C-1	CONCRETE	8"x12"	4-#5 VERT. W/#3s TIES @ 8"o.c.
C-2	CONCRETE	8"x8"	4-#5 VERT. W/#3s TIES @ 8"o.c.
C-3	CONCRETE	8"x8"	INDICATES #5 VERTICAL BAR IN GROUT FILLED CELL
C-4	CONCRETE	12"x12"x8"	SEE DETAIL 3/A2.0
HP-1			15 TON CAPACITY HELICAL PILE
GB-1	CONCRETE	14"x20"	GRADE BEAM W/2-#5s CONT. TOP & BOTT. CONT. AND #3 STIRRUPS @ 8"o.c.

SLAB REINFORCEMENT SCHEDULE:

- A #4 @ 12"o.c. TOP BARS x3'-0" L. HOOKED @ ENDS
- B #5 @ 12"o.c. TOP BARS x3'-0" L. HOOKED @ ENDS
- C #5 @ 12"o.c. TOP BARS x7'-0" L. HOOKED @ ENDS
- 1 #4 @ 12"o.c. BOTTOM
- 2 #5 @ 12"o.c. BOTTOM



3 NEW COLUMN C-4 DETAIL
 A2.0 SCALE: 1"=1'-0"



4 TREE PROTECTION DETAIL
 A2.0 SCALE: N.T.S.

Ognian Hristov
 Registered Architect AR94161
 1600 S. Ocean Dr. #12-J
 Hollywood, FL 33019
 Phone: 754-204-3055

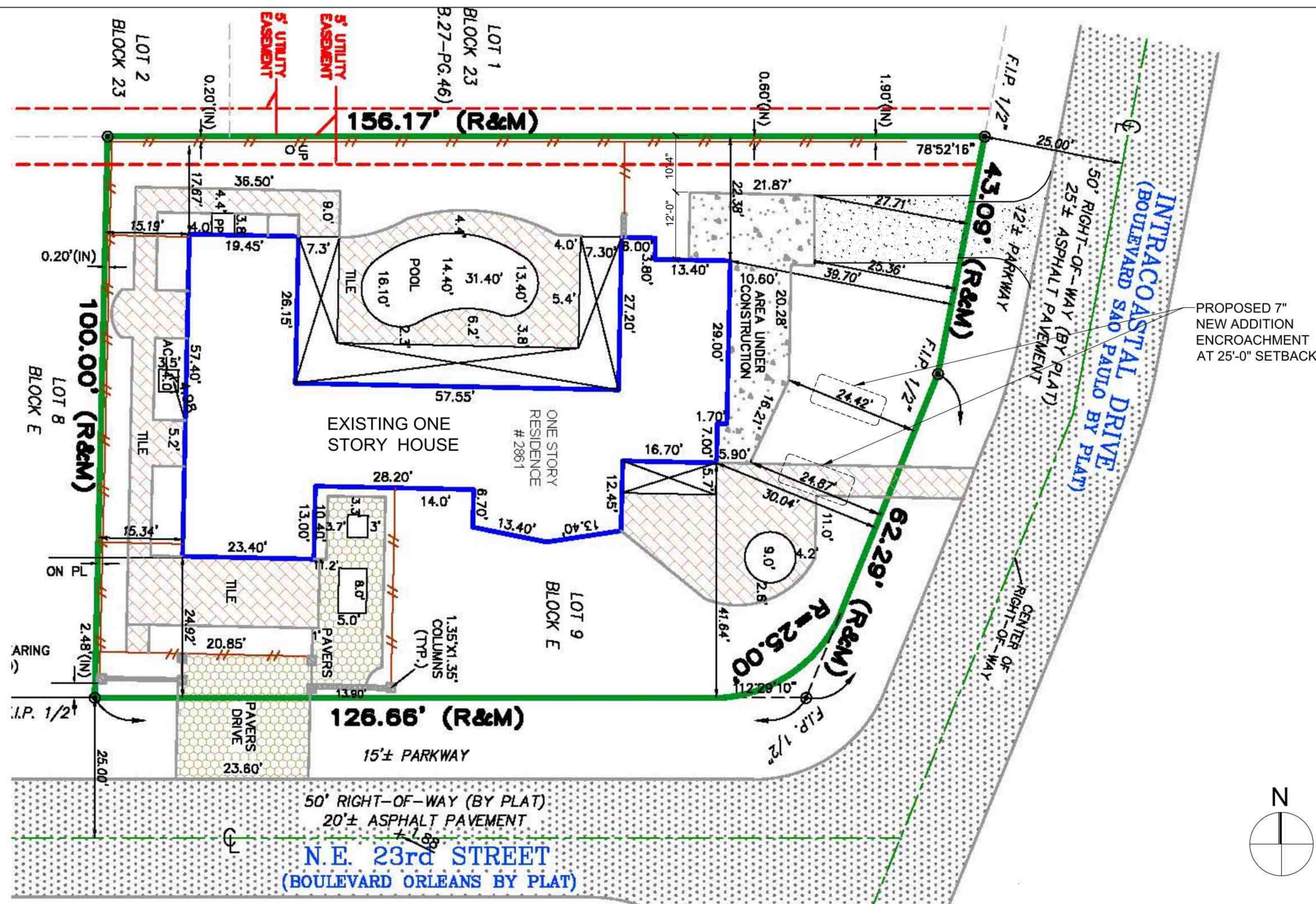
Revisions:
 A 06/12/2022 BUILDING DEP. COMMENTS

PROJECT NAME
 EXISTING HOUSE ADDITION
 2861 NE 23rd STREET,
 FT. LAUDERDALE FL 33305,

scale: AS NOTED
 date: Feb 2, 2022
 drawn: O. Hristov

Drawing Title:
 NEW ADDITION FOUNDATION AND
 ROOF FRAMING PLANS, DETAILS
 AND SCHEDULES

Sheet No:



PROPOSED 7" NEW ADDITION ENCROACHMENT AT 25'-0" SETBACK

DESCRIPTION:
 LOT 22 BLK 10, ARCOLA GARDENS AS RECORDED IN PLAT BOOK 50 PAGE 17 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA

LOT AND HOUSE AREAS:
 LOT AREA = 14,349 S.F.
 EXISTING HOUSE AREA = 3,451 S.F.
 NEW ADDITION = 649 S.F.
 TOTAL BUILDING AREA = 4,100 S.F.

ZONING DISTRICT: RS-4.4-RESIDENTIAL
 EXISTING GREEN SPACE = 8,610 S.F. (60%)

SETBACKS	REQ'D	PROVIDED
FRONT YARD	25'-0"	25'-2" (EXIST.)
CORNER YARD	25'-0"	24'-5"
SIDE YARD	10'-0"	10'-2"
REAR YARD	15'-0"	15'-4" (EXIST.)

PLEASE NOTE: EXISTING FRONT YARD IS AT INTRACOSTAL DRIVE

PROJECT DATA:
 OCCUPANCY: RESIDENTIAL-SINGLE FAMILY GENERAL
 NO CHANGE OF OCCUPANCY IS PROPOSED.
 TYPE OF CONSTRUCTION: TYPE III.B.

APPLICABLE CODES:
 1.FLORIDA BUILDING CODE -RESIDENTIAL (2020 EDITION)
 2.FLORIDA BUILDING CODE -EXISTING BUILDING(2020 EDITION)

SCOPE OF WORK:
 THE PROJECT CONSISTS OF NEW ADDITION ENCROACHMENT OF 7" OVER EXISTING PROPERTY EAST SETBACK LINE OF 25'-0".

ELECTRICAL:
 NO ELECTRICAL WORK IS PROPOSED UNDER THIS PERMIT.

PLUMBING:
 NO PLUMBING WORK IS PROPOSED UNDER THIS PERMIT.

MECHANICAL:
 NO MECHANICAL WORK IS PROPOSED UNDER THIS PERMIT.

NO NEW FENCE ADDITION IS PROPOSED AS PART OF THIS PERMIT.

SITE PLAN NOTES:

- ALL NEW ADDITION WORK IS DONE UNDER SEPARATE PERMIT.
- NO NEW FENCE CONSTRUCTION IS PROPOSED AS PART OF THIS PERMIT. ALL FENCES ARE EXISTING AND TO REMAIN.
- ALL OUTDOOR STORAGE, ELECTRICAL, PLUMBING, MECHANICAL, AND COMMUNICATIONS EQUIPMENT AND ENCLOSURES ARE EXISTING AND LOCATED WITHIN THE REQUIRED SETBACKS.

OWNERS
 MUSTAFA NOOR &
 GORDON NEBEKER

Ognian G Hristov
 Digitally signed by Ognian G Hristov
 Date: 2023.03.21 22:27:01 -04'00'

Ognian Hristov
 Registered Architect AR94161
 1600 S. Ocean Dr. #12-J
 Hollywood, FL 33019
 Phone: 754-204-3055

Revisions:

PROJECT NAME
 NEW ADDITION DRIVEWAY
 2861 NE 23rd STREET,
 FT. LAUDERDALE FL 33305,

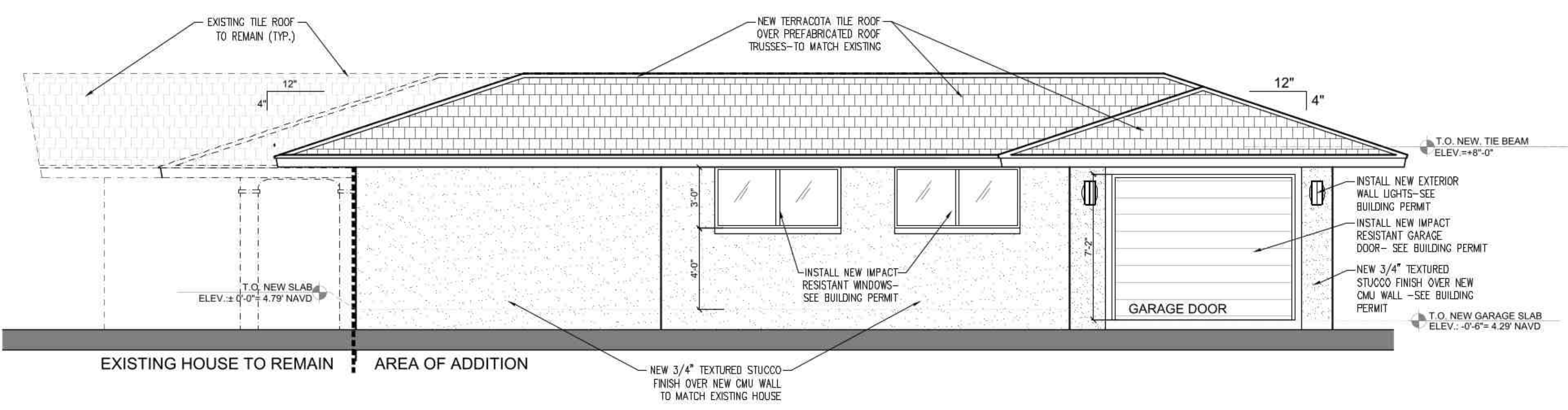
scale: AS NOTED
 date: Feb 2, 2023
 drawn: O. Hristov

Drawing Title:
 NEW SITE PLAN, ZONING TABLE
 PROJECT DATA AND NOTES

Sheet No:

01 NEW SITE PLAN

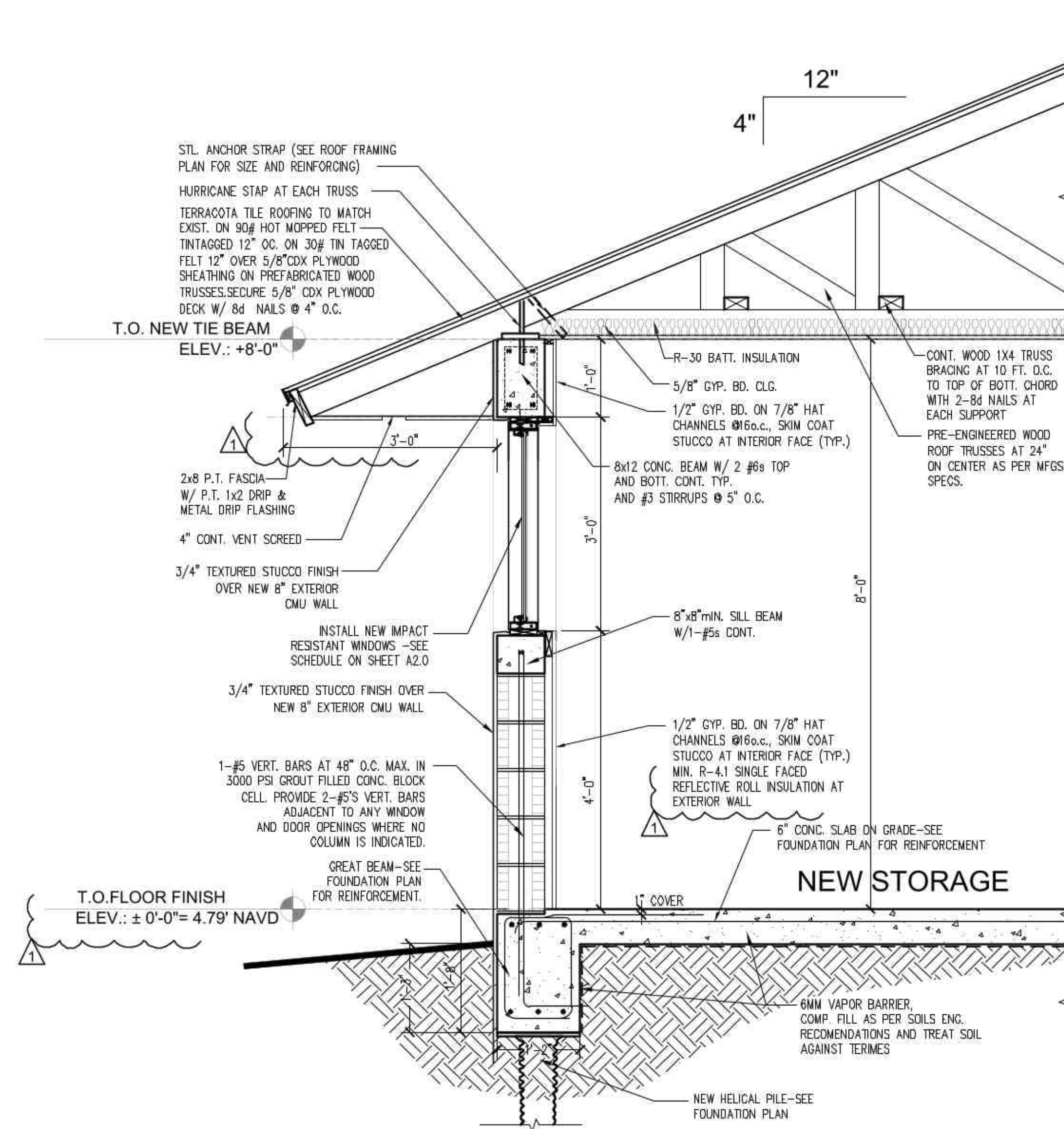
SCALE:1/10"=1'-0".



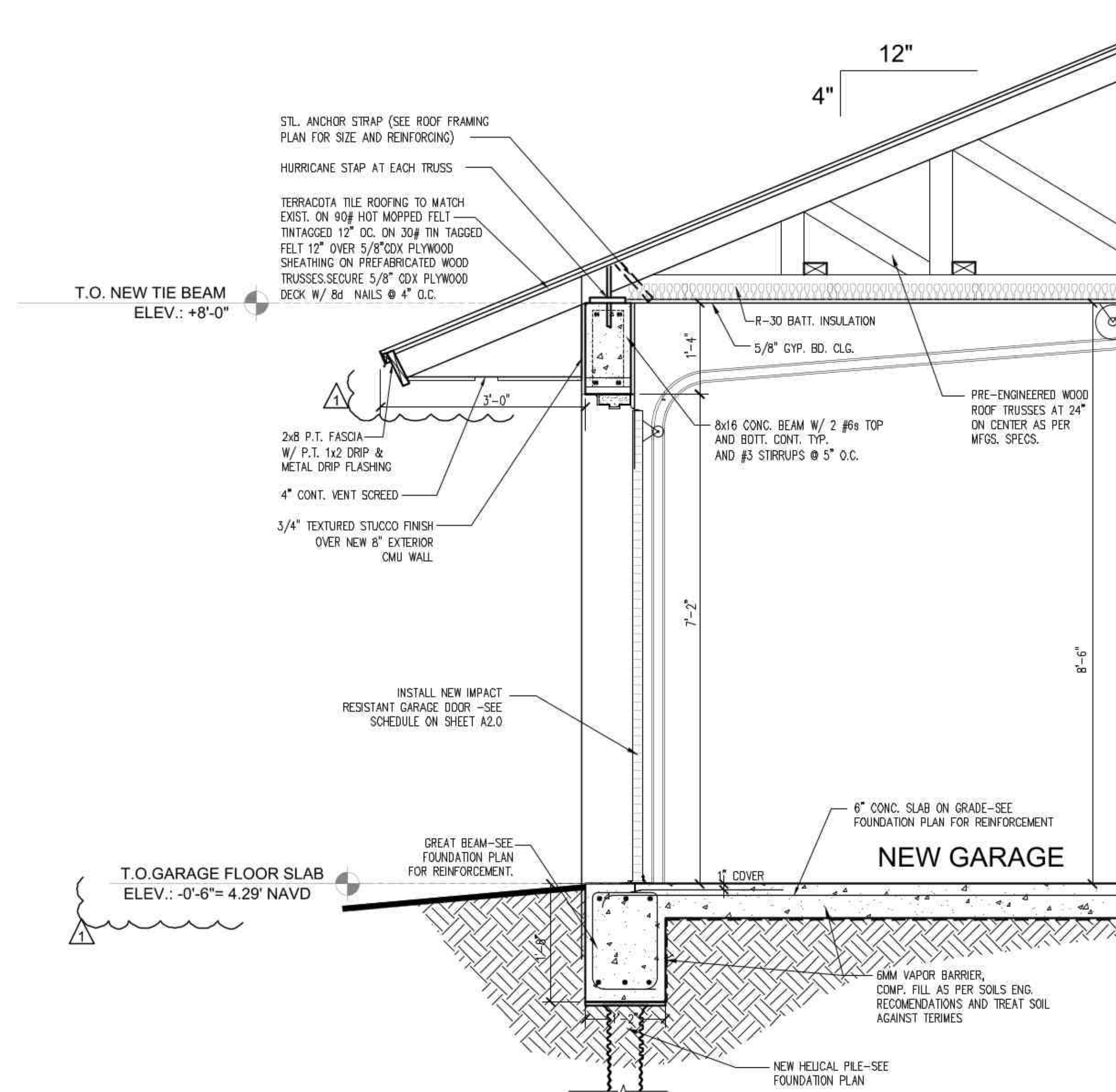
02 NEW ADDITION EAST ELEVATION

SCALE:1/14"=1'-0".

A-1.0



1 NEW EXTERIOR WALL SECTION @ WINDOW
 A3.1 SCALE: 3/4"=1'-0"



2 NEW EXTERIOR WALL SECTION @ GARAGE
 A3.1 SCALE: 3/4"=1'-0"

LEGEND	
TYPE	DESCRIPTION
-----	EXISTING EXTERIOR WALLS/ DOORS / WINDOWS TO REMAIN
	EXISTING EXTERIOR CMU WALL TO REMAIN
=====	NEW CMU EXTERIOR WALL
=====	NEW PARTITION DRYWALL--SEE WALL SECTIONS ON S3.0
-----	EXISTING TO BE REMOVED
⤴	SECTION OR ELEVATION NO.
⤵	SHEET DRAWN ON
⊙	DETAIL NO.
⊙	SHEET DRAWN ON

Ognian Hristov
 Registered Architect AR94161
 1600 S. Ocean Dr. #12-J
 Hollywood, FL 33019
 Phone: 754-204-3055

Revisions:
 06/12/2022 BUILDING DEP. COMMENTS

PROJECT NAME
 EXISTING HOUSE ADDITION
 2861 NE 23rd STREET,
 FT. LAUDERDALE FL 33305,

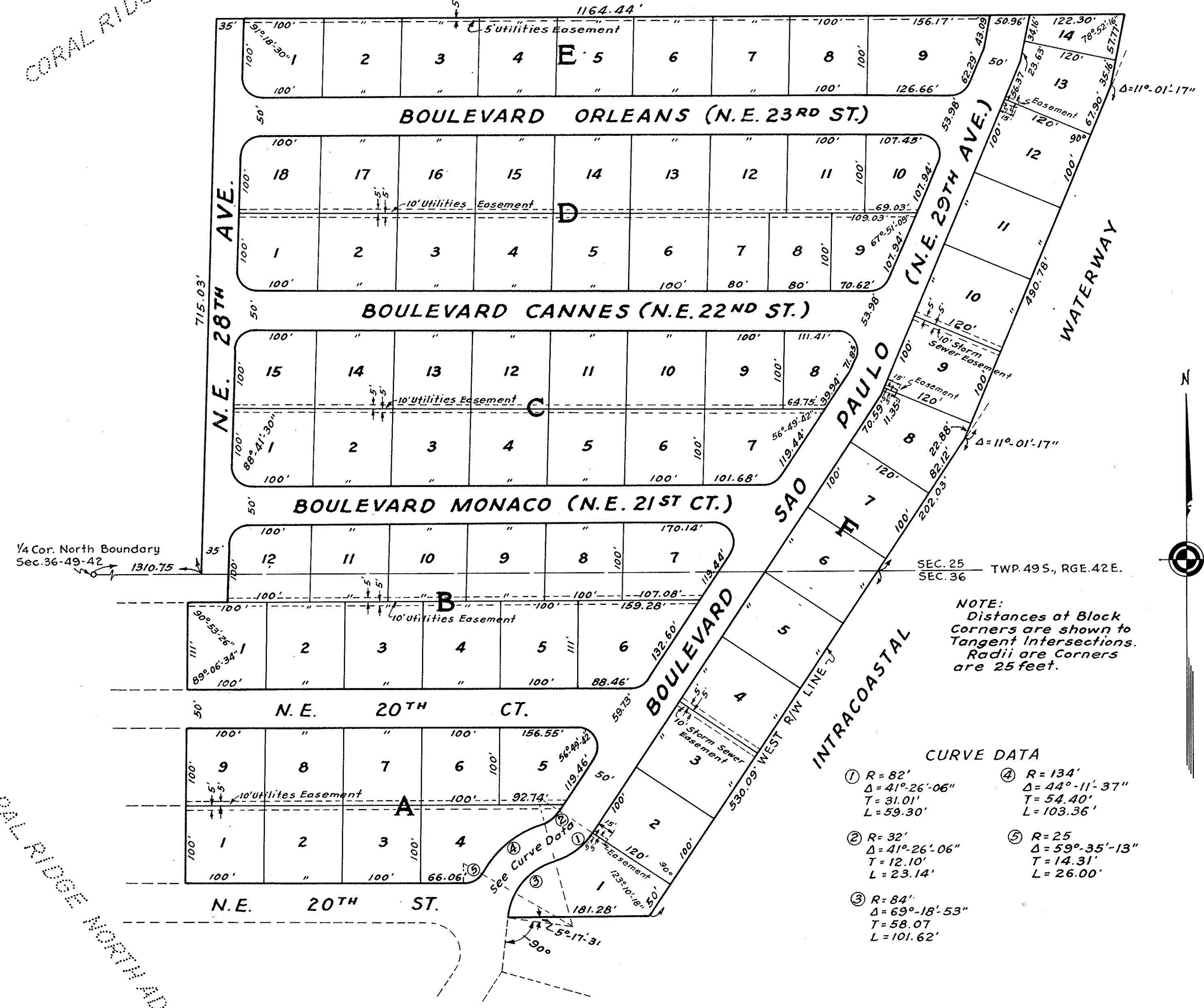
scale: AS NOTED
 date: Feb 2, 2022
 drawn: O. Hristov

Drawing Title:
 NEW ADDITION EXTERIOR WALL
 SECTIONS AND DETAILS

Sheet No:

CORAL RIDGE GALT ADDITION

CORAL RIDGE NORTH ADDITION



CORAL RIDGE NORTH

SEC. 25 AND SEC. 36, TWP. 49 S., RGE. 42 E.

FORT LAUDERDALE

BROWARD COUNTY · FLORIDA

J.W. M^cLAUGHLIN CIVIL ENGINEER
SCALE: 1" = 100' OCTOBER 1951

DESCRIPTION

THAT PART OF THE SOUTH 715 FEET LYING WEST OF THE WEST RIGHT-OF-WAY LINE OF THE INTRACOASTAL WATERWAY OF GOVERNMENT LOT 7, SEC. 25, TWP. 49 SOUTH, RGE. 42 EAST; LOTS 7, 8, 9 AND 10 BLOCK 4, LOT 7 OF BLOCK 5, LOT 8 OF BLOCK 6, OF CORAL RIDGE NORTH ADDITION, PLAT BOOK 24, PAGE 5 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BEGINNING AT THE INTERSECTION OF THE NORTH BOUNDARY OF SEC. 36, TWP. 49 SOUTH, RGE. 42 EAST, AND THE WEST RIGHT-OF-WAY LINE OF THE INTRACOASTAL WATERWAY, THENCE SOUTH ALONG SAID RIGHT-OF-WAY LINE 430.09 FEET, THENCE WEST AND PARALLEL TO SAID NORTH BOUNDARY 368.88 FEET, THENCE NORTHERLY AT A RIGHT ANGLE A DISTANCE OF 30 FEET, THENCE WEST AND PARALLEL WITH THE NORTH BOUNDARY 183 FEET, THENCE NORTH AT A RIGHT ANGLE A DISTANCE OF 330 FEET TO AN INTERSECTION WITH SAID NORTH BOUNDARY OF SEC. 36, TWP. 49 SOUTH, RGE. 42 EAST, THENCE EAST 787.20 FEET, TO POINT OF BEGINNING, (M. S. A. 76), AS SHOWN ON PLAT OF CORAL RIDGE NORTH ADDITION.

STATE OF FLORIDA }
COUNTY OF BROWARD } ss

KNOW ALL MEN BY THESE PRESENTS, That CORAL RIDGE INC., a corporation organized under the laws of the State of Florida, owners of the hereon described lands, has caused to be made this plat, for the purpose of subdividing the lands in the manner shown hereon. All streets and avenues are dedicated to the perpetual use of the public in fee simple forever.

IN WITNESS WHEREOF: CORAL RIDGE INC., has caused this instrument to be signed by its duly authorized officers and its corporate seal to be here affixed this 5 day of January 1952.

WITNESSES

CORAL RIDGE INC.
BY *Josephine Weigel*
PRESIDENT
BY *Robert A. Hoffman*
SECRETARY

STATE OF FLORIDA }
COUNTY OF BROWARD } ss

I HEREBY CERTIFY, that on this day personally appeared before me an officer duly authorized to administer oaths and take acknowledgements, JAMES S. HUNT, and STEPHEN A. CALDER, President and Secretary respectively of CORAL RIDGE INC., and they acknowledged before me that they executed the foregoing dedication as officers of said CORAL RIDGE INC.

WITNESS my hand and official seal at Fort Lauderdale, in the County of Broward, State of Florida this 5th day of January 1952.

Joseph P. Taravella
NOTARY PUBLIC
STATE OF FLORIDA
MY COMMISSION EXPIRES
March 30, 1955

This is to certify that the City Planning Board of Fort Lauderdale, Florida, approved and accepted this plat by resolution adopted this 9th day of OCT 1951.

Paul W. Jones
SECRETARY

STATE OF FLORIDA }
COUNTY OF BROWARD } ss

This is to certify that this plat has been approved and accepted for record by the City Commission of the City of Fort Lauderdale, Florida, in and by ordinance No. 2724 adopted by said City Commission on the 6th day of NOVEMBER 1951.

IN WITNESS WHEREOF, the said City Commission has caused these presents to be attested by its Auditor and Clerk and the corporate seal of said City to be here affixed this 21st day of February 1952.

St. Marshall
CITY AUDITOR AND CLERK

STATE OF FLORIDA }
COUNTY OF BROWARD } ss

I hereby certify this plat complies with the provisions of "AN ACT TO REGULATE THE MAKING OF SURVEYS AND FILING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA", Approved by the GOVERNOR, June 11, 1925.

Ted Cabot
CLERK OF THE CIRCUIT COURT
BY *Madelaine Parkhurst*
DEPUTY CLERK

This instrument filed for record this 28 day of February 1952, and recorded in Book 28 of Plats at Page 37, RECORD VERIFIED.

Ted Cabot
CLERK OF THE CIRCUIT COURT
BY *Madelaine Parkhurst*
DEPUTY CLERK

STATE OF FLORIDA }
COUNTY OF BROWARD } ss

I hereby certify that this plat is a true and correct representation of a survey made by me and that permanent reference monuments have been set as indicated.

Dated at Fort Lauderdale, Florida, this 11th day of Jan. 1952.

J.W. McLaughlin
REG. ENGINEER No. 1713
REG. SURVEYOR No. 167
STATE OF FLORIDA

Approved for record
J.W. McLaughlin
COUNTY ENGINEER

Approved for record
E. L. Patterson
CITY ENGINEER