



CITY OF FORT LAUDERDALE

**DRAFT**  
**MEETING MINUTES**  
**CITY OF FORT LAUDERDALE**  
**MARINE ADVISORY BOARD**  
**100 NORTH ANDREWS AVENUE**  
**CITY COMMISSION CHAMBERS**  
**8<sup>TH</sup> FLOOR CONFERENCE ROOM**  
**THURSDAY, JANUARY 5, 2023 – 6:00 P.M.**

**Cumulative Attendance**  
**January-December 2023**

Ted Morley, Chair	P	1	0
Steve Witten, Vice Chair	P	1	0
Michael Boyer	P	1	0
Robyn Chiarelli (arr. 6:09)	P	1	0
Barry Flanigan	P	1	0
Robert Franks	P	1	0
Elisabeth George	P	1	0
James Harrison	P	1	0
Brewster Knott	A	0	1
Norbert McLaughlin	P	1	0
Noelle Norvell	P	1	0

As of this date, there are 11 appointed members to the Board, which means 6 would constitute a quorum.

**Staff**

Andrew Cuba, Marine Facilities Manager  
Jonathan Luscomb, Marine Facilities Supervisor  
Sergeant Travis O’Neil, Fort Lauderdale Police Department  
Carla Blair, Recording Secretary, Prototype, Inc.

**Communications to City Commission**

None.

**I. Call to Order / Roll Call**

Chair Morley called the meeting to order at 6:00 p.m. and roll was taken.

**II. Approval of Minutes – December 1, 2022**

**Motion** made by Mr. Harrison, seconded by Vice Chair Witten, to approve. In a voice vote, the **motion** passed unanimously.

### **III. Statement of Quorum**

It was noted that a quorum was present at the meeting.

### **IV. Waterway Crime & Boating Safety Report**

Sergeant Travis O'Neil of the Fort Lauderdale Police Department's Marine Unit reported the following activity from December 2022:

- 67 citations
- 40 calls for service
- A number of burglaries throughout the south end of the City, 4 of which occurred on 15<sup>th</sup> Street

Sgt. O'Neil added that there were no serious issues with the 2022 Winterfest Boat Parade.

Sgt. O'Neil further addressed the burglaries, explaining that the items most commonly stolen are Garmin GPS units. Some owners do not discover they have been burglarized until weeks or months after the theft occurred, as they do not access their boats every day. Arrests have been made in Fort Lauderdale as well as in Miami-Dade County, and investigations are ongoing. Most of the thefts appear to be land-based.

### **V. Dock Waiver – 321 N. Birch Road / Lee J. Engler – Trustee of the Lee J. Engler Qualified Personal Residence Trust & Patt A. Engler, as Trustee of the Patti A Engler Qualified Personal Residence Trust (PH 03), Brenda LaPointe (#901), Robert J. & Mary K. Berard (PH 01), & Robert & Lisa D. Verdun (#803)**

This Item was deferred to a later date.

### **VI. Dock Permit – 1028 Cordova Road / Max Showker**

Frank Mormando, representing the Applicant, provided visuals of the proposed project for the Board members, as well as the clearances and swales the Applicant would maintain. There are no plans to attach any items to the seawall cap.

Mr. McLaughlin commented that work was recently done near Cordova Road to prevent flooding from heavy rain events, king tides, or flood tides. He asked if the Applicant was aware of the location of a drain with a kick plate to prevent this flooding. The probable location of the drain and kick plate were discussed, with Mr. Mormando concluding that he would make the Applicant aware of this infrastructure. Mr. McLaughlin added that the drain will need to be cleaned regularly by the City.

There being no further questions from the Board at this time, Chair Morley opened the public hearing. As there were no individuals wishing to speak on the Item, the Chair closed the public hearing and brought the discussion back to the Board.

Mr. Cuba observed that in other locations, some homeowners have drilled through the new seawall to install conduit holes, or have attached electrical or plumbing infrastructure to the new seawall with screws, neither of which is permitted.

**Motion** made by Mr. Franks, seconded by Ms. George, to approve. In a voice vote, the **motion** passed unanimously.

Chair Morley requested an update on the City's landscaping plan for Cordova Road. Mr. Cuba replied that he has made Code Enforcement aware that there may be landscaping concerns in the same general area where some property owners have drilled into or through seawalls. He concluded that he would get more information on this in the future.

#### **VII. Presentation – Las Olas Marina Update / Eric Metz**

Eric Metz, representing Suntex Marine, provided an overview of the Las Olas Marina, recalling that a request for proposal (RFP) was awarded to Suntex in 2018-2019. Suntex formally broke ground on the marina in 2022. He showed a rendering of the project, which included restaurants and the main services building.

Mr. Metz continued that for the first four months of the project, the primary mission was installing sewer infrastructure, which met with several complications, including identification of existing pipeline and location of utility conduits. To date, Suntex has dredged a portion of the marina's basin which held over 40,000 cubic yards of material. The next phase, which will involve hauling this material away, will begin the following week.

There are roughly 650 to 700 ft. of seawall along the marina. Suntex is building a new pump station for the City, which will handle most of the sanitary sewer needs for a portion of the Fort Lauderdale Beach. Mr. Metz estimated that the new station will be functional by January or February 2023, with the old station to be demolished in March.

Suntex has determined that the soil in the marina area was not in as good condition as originally expected. To address this, they will install 75 ft. batter piles east/west on the site. This is expected to take roughly a month to complete. Suntex has also pulled a significant amount of debris out of the ground on the site. While they hope to remove 2500 to 2700 yards of material per day, they are currently removing approximately 1500 yards per day.

Mr. Metz showed aerial views of the property, including the dredging area. He noted that a seawall which extends south from the property's garage to the Las Olas Bridge is not

in suitable shape, which will require the placement of a new seawall in front of it. This part of the project is currently in the permitting phase.

Another impact will occur to circulation around Las Olas Circle, which will be closed for roughly two and a half months. Suntex is working with the City to determine how this project will go forward, possibly in February or March 2023.

The intent is for the marina's docks to be in place in time for the 2023 Fort Lauderdale International Boat Show, although utilities may not be available by that time. Mr. Metz explained that it is not certain that Florida Power and Light's (FPL's) installation schedule will allow for completion by August or September 2023. Sewer and water utilities are expected to be easier to address within this time frame. The buildings are anticipated to be complete in the first quarter of 2024, with tenant spaces to hopefully be open between April and June 2024.

Mr. Flanigan requested an estimate of the project's total linear footage. Mr. Metz estimated that there will be over 8500 linear ft. of dock space. Mr. Flanigan added that the Marine Advisory Board (MAB) may be able to help Suntex in the event that they need to go before the City Commission to request additional funding.

Mr. Metz continued that the City provided the majority of funding necessary for the new pump station, contributing \$2.5 million. Suntex provided \$400,000 toward this project.

Mr. McLaughlin asked for additional details on the partnership between Suntex and the City regarding the seawall on the south side of the marina. Mr. Metz stated that Suntex is still working to determine the best way to install the new seawall, as they do not want to use batter piles in that area. The City has a force main in the subject area, as well as principal water connections to the barrier island. Other utilities have joint trenches in the area, which could be damaged by a batter pile. Suntex also hopes to assess the potential upland impacts of the proposed seawall before installing it.

Mr. Harrison asked if it is possible to separate the costs of the landward portion of the development from the marina's costs. Mr. Metz estimated that the total cost of the marina, not including expansion costs, is \$67 million, while the upland buildings, not including tenant improvements or build-out, is \$24 million. These estimates do not include "soft" costs.

Mr. Harrison asked if there will be dockage space at the marina for restaurant patrons. Mr. Metz confirmed this.

Mr. Franks noted that a mooring field is located on the south side of the Las Olas Bridge. Mr. Metz advised that activity on that side of the bridge is not associated with Suntex or the marina project.

Mr. Metz noted that once dredging is concluded in the southern portion of the project, including the Las Olas Bridge area, the channel depth will be approximately 17 to 18 ft. low/low and 12 to 14 ft. elsewhere. The north side of the marina will also be dredged all the way to the mouth of the Intracoastal Waterway. He estimated that the total in-water dredge is calculated to be 103,000 cubic yards. Roughly 30,000 cubic yards of material have already been moved with no issues or complaints.

Mr. Metz concluded that the project includes a camera feed that is accessible at [LasOlasMarina.com/camera](http://LasOlasMarina.com/camera). The feed updates every 10 to 12 minutes and allows viewers to look in on the project in real time.

Robert Washington, member of the public, asked for additional information on the installation process for pilings, including batter piles. Mr. Metz replied that Suntex will create a template for the installation of 75 ft. steel sheets. They use full vibration monitoring for the entire site. Because of the condition of the soil, the piles are expected to sink 45 ft. before any vibration is anticipated.

Andrew Cohen, member of the public, asked if dockage will be available for commercial boats. Mr. Metz replied that this has not been considered thus far, as most commercial dockage is focused on the Bahia Mar area. There is not sufficient space at the Las Olas Marina.

### **VIII. Discussion – New River Navigational Concerns**

Chair Morley recalled that discussion of navigational concerns on the New River began at the December 2022 meeting and will continue to be on future Agendas until the Board has developed a communication to the City Commission.

Mr. Harrison commented that he has begun a draft outline for issues to be included in the communication to the City Commission, and distributed copies of the document to the Board members. He noted that the City is currently unable to enforce its existing Code, and that portions of the New River have become federally regulated navigational areas, which are managed by the United States Coast Guard. The Coast Guard and the Florida Inland Navigation District (FIND) measure the width of the New River's channel and encroachment from the edge of the channel to the banks, which is the opposite of the method used by the City.

Mr. Harrison continued that new seawalls can be placed outside of existing seawalls, which potentially encroaches an additional 2 to 3 ft. into the waterway if the measurement is made from the location of the seawall. He noted, however, that seawalls do not necessarily match the location of the property line. These are among the reasons why the Board may wish to request a moratorium on variances along the New River until a closer look can be taken at these issues.

Mr. Harrison noted that at least one dock waiver the Board has opposed will go before the City Commission at their Tuesday, January 10, 2023 meeting. There are also issues with the maximum allowable distance which a dock can extend into the river.

Mr. Harrison continued that a restaurant is proposed for the Huizenga Plaza area, and dockage could be valuable to this business. He continued that the Raintree property is currently under redevelopment, and dock space at this project's marina already extends into the river. It is possible that the property owner may seek a variance to allow these boats to extend further into the waterway.

Mr. Harrison asserted that these examples are among the reasons the Board may ask for a moratorium on variances on the New River. There are also commercial vessels within the City limits which perform illegal operations, such as operating without proper insurance, operating without a licensed captain, or using City docks for pick-up and drop-off activities. He concluded that the City is currently not able to adequately enforce its existing Code.

Other legal issues may include "bare boat" charters, which allow individuals to rent boats that are not chartered. In this case, the individual who rents the boat becomes the disponent owner and assumes legal authority of that vessel. They are responsible for all insurance and liability of the boat during the rental. These boats also pick up passengers at City docks, which means if an injury occurred to a passenger, the City would be the responsible entity.

Mr. Harrison continued that at present, liability for a commercial boat requires that the insurance cover the value of the boat only. A recent bill passed at the federal level will change this requirement, making the commercial boat owner liable for everything, which will raise the cost of insurance for commercial vessels.

Mr. Harrison advised that this and other changes will only heighten the need for the appropriate Code, enforcement, and laws governing commercial vessels. He suggested that the Board consider sending a communication to the City Commission citing a number of concerns and potential issues and recommending a moratorium on variances until these issues can be studied more closely. He emphasized that the moratorium would be limited to the New River corridor, and variances could continue along the City's canals.

Patience Cohn, industry liaison for the Marine Industries Association of South Florida (MIASF), stated that there are additional concerns along the New River, including the location of pilings and continued access to waterfront properties to install new seawalls.

Chair Morley commented that any communication to the City Commission should state the Board's goal of a temporary moratorium until there has been time to analyze the effects of further infringement on the New River.

Ms. George observed that if a communication is submitted to the Commission, their response may be to ask what the Board wishes to be done as well as the timeline for the moratorium. She recommended that the communication include time frames for certain accomplishments to help the process, as well as clarification of some responsibility to be taken by the Board. She concluded that the Commissioners may need to see some of the Board's concerns for themselves, including congestion on the waterway.

Mr. Harrison pointed out that the Board must operate under the restrictions of the Sunshine Law, and may only address these concerns during meetings; however, MIA SF is not limited by this law, and can take a more proactive stance. The Board may then support initiatives brought forward by MIA SF.

Ms. Cohn explained that every Commissioner has been invited to participate in a tour of the New River. The City Manager has also requested a tour for himself and his staff. MIA SF is working on a schedule for these activities. Not all City Commissioners have responded to this suggestion thus far.

Chair Morley commented that part of the issue is the need for education of the City Commissioners, as well as the education of laypersons and the involvement of both homeowners and commercial operators on the New River. He recommended that any communication to the Commission include a suggested "Town Hall" –style meeting which could invite people from all of these groups to participate in the discussion. He emphasized the importance of the river's economic impact on the marine industry, as well as the need for solutions that work for all parties.

Chair Morley continued that the Board's greatest concern is for public safety, noting that the New River is becoming increasingly busy. He emphasized the need for public engagement and education as part of the proposed communication, as the goal is a waterway that can be shared by the public and the marine industry. He echoed Ms. Cohn's earlier concern for the ability of industry professionals to access waterfront properties to install or repair seawalls, docks, and pilings, particularly as homeowners are required to raise their seawalls to a new height. In addition, both commercial and recreational vessels are growing significantly in size.

Mr. McLaughlin expressed concern that homeowners purchasing waterfront properties on the New River may be doing so with the expectation that they can secure a variance and fit a larger boat on their property. Chair Morley added that another issue is the desire of some homeowners on the New River to install multiple docks at the same residence.

Chair Morley asked if Fort Lauderdale's Code Enforcement vessel is regularly staffed. Sgt. O'Neil confirmed that this vessel is actively used by Code Enforcement.

Mr. McLaughlin noted that in the past, homeowners have accepted the limitations the Board has placed on the size of vessels that may be docked at a certain property; however, he asserted that this is not being followed by many of these homeowners, and Code Enforcement may not be aware that these properties are in violation unless they have reviewed the variance permits, particularly if the vessels are within 30% of the width of the waterway. Chair Morley agreed that while the 30% rule may be sufficient for the City's canals, circumstances are different on the New River due to its commercial traffic, and the same rule may contribute to problems there.

Mr. McLaughlin also asked how it is possible to know which properties' construction has been grandfathered, as there may not be records for the installation of structures on a property that were installed prior to the 30% rule. Mr. Cuba advised that most permitting records are on file with the City.

Chair Morley observed that while the average canal in Fort Lauderdale may include noncompliant structures, this is a separate issue from the Board's concerns with the New River, which should be the Board's area of focus.

Mr. McLaughlin recalled that in the past, City Code placed a restriction on how far into the waterway a boat lift may be installed, which led to numerous variance requests before the Board. As a result, the Board developed the solution of placing boat lifts within the same distance as allowed for boats, and submitted this discussion to the Commission, which adopted it.

Chair Morley noted that one of the Board's roles in an advisory capacity is to study issues such as these and make recommendations to the City Commission. Mr. Harrison asked how the Board can move forward between tonight's meeting and the February 2023 meeting to provide input on the proposed communication.

Mr. Cuba stated that while the Sunshine Law prohibits Board members from discussing Board business between themselves outside of meetings, their comments or input can be sent to his office for dissemination. He recommended that the members send him their priorities, which can be consolidated prior to the February 2023 meeting and distributed to the group with the backup materials for that meeting. Chair Morley also suggested that representatives of the marine industry should be encouraged to attend both MAB and City Commission meetings so their concerns are on record.

Mr. Harrison emphasized that the Board remained focused when sending its communication to the City Commission, listing the reasons for the proposed moratorium, what a moratorium would involve, and the expectation that the City will work with the marine industry to develop ideas. He added that the Board should also make it clear that they wish to be part of any advisory groups that might be created to discuss these issues further and possibly work toward crafting any changes to City Ordinances.

Vice Chair Witten advised that it was important for the Board members to meet with the Commissioners who appointed them to explain their concerns. He also emphasized the need to suggest a timeline for the proposed moratorium, as well as the impact of current conditions on commercial operations on the New River. He concluded that it may be necessary to make changes to Code that are not uniform, as the conditions found on the New River are not necessarily problems on the City's canals.

Vice Chair Witten recommended that the proposed moratorium be given a time frame, such as six to nine months, which would allow the Board to further discuss their concerns and possibly arrive at solutions for them.

Chair Morley suggested that a workshop on the New River issues could be scheduled in addition to regular Board meetings. Mr. Cuba pointed out that scheduling another public meeting would require authorization from the City Manager's Office or the Commission.

Ms. Chiarelli suggested that the Board consider scheduling a workshop for further discussion of New River issues. Mr. Cuba advised that a workshop for the purposes of creating a communication to the City Commission would first require Commission or City Manager approval. It was recommended that the New River discussion remain an Agenda Item for the next month so the Board can further discuss and finalize their communication on the topic of a moratorium on waiver requests for the New River.

Mr. McLaughlin noted that on January 10, 2023, a variance request for the New River would go before the City Commission and, if approved, would directly counter the Board's recommendation for a moratorium. Mr. Harrison pointed out that only one member of the MAB may speak on this issue at a Commission meeting, although more members may be in attendance. It was suggested that it may be more useful for members to reach out to their City Commissioners ahead of that meeting to express their concerns.

Chair Morley commented that it is important for the Board not to single out any individual application or applicant, but to convey their concerns about the growing regularity of variance requests on the New River. The Board discussed plans for attendance of the January 10 City Commission meeting, including attendance, restrictions on speakers, and the need to contact City Commissioners in advance of the meeting. Mr. Cuba again clarified that while the full Board membership may attend this upcoming meeting, only one Board member may speak on the item before the Commission. Individuals may also sign up in advance of the meeting to indicate their support for or opposition to any individual items on the Commission's agenda without speaking at the meeting.

Ms. Cohn asked if it would be possible for Board members to attend the MIASF's waterway tour with Commissioners. Mr. Cuba stated that while members may be invited to attend, only one individual may address business on behalf of the Board, in a similar manner to City Commission meetings.

It was confirmed that this discussion would remain an Agenda Item until the Board has finalized its communication to the City Commission. Chair Morley concluded that he would encourage additional public discussion, including both commercial operators and homeowners.

#### **IX. Old / New Business**

Ms. George noted that one item on the upcoming City Commission agenda addresses the replacement of the seawall at Merle Fogg Park. Mr. Cuba explained that the seawall at this location has collapsed. This item did not come before the Board, as it is a Public Works issue.

Ed Rebholz, member of the public, advised that he has submitted a request for appointment to the MAB.

Robert Washington, member of the public, stated that he works in the marine industry and Mr. McLaughlin had invited him to attend tonight's meeting.

#### **X. Adjournment**

There being no further business to come before the Board at this time, the meeting was adjourned at 7:37 p.m.

Any written public comments made 48 hours prior to the meeting regarding items discussed during the proceedings have been attached hereto.

[Minutes prepared by K. McGuire, Prototype, Inc.]

# ITEM V

## MEMORANDUM MF NO. 22-29

DATE: December 8, 2022

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: February 2, 2023 MAB Meeting – Application for Dock Permit – Eric Wiborg / 1029 Cordova Road

Attached for your review is an application from Eric Wiborg / 1029 Cordova Road.

### APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the usage of an existing 45'+/- long x 8'+/- wide marginal dock and access steps extending a maximum distance of 8'+/- from seawall cap on public property abutting the waterway adjacent to 1029 Cordova Road. City Code Section 8-144 authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

### PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

### ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.
4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.

5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock of attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation  
Jonathan Luscomb, Marine Facilities Supervisor

**Marine Advisory Board  
Dock Permit Application**

**Eric J. Wiborg II  
1029 Cordova Road  
Fort Lauderdale, FL 33316**

## Table of Contents

	Pages
1 Narrative	1
2 Application for Waterways Permit	2
3 Resolution No. 19-205	3,4
4 Warranty Deed	5,6
5 Property search ownership page	7,8
6 Color photos of dock	9,10,11
7 Engineering drawings of existing dock	12,13,14,15,16
8 Exhibit "A"	17,18
9 Landscaping sketch	19
10 Aerial photo of Property	20
11 Utility bill	21

To: Marine Advisory Board:

I own the house located at 1029 Cordova Road and am applying for a dock permit..

I do not own a vessel now but will supply evidence of ownership to the City upon purchase. The previous owner built the existing dock with plans that were approved by the city. The dock will be for my personal use.

The City previously approved the landscaping in the public swale area which is attached to this package.

Regards,

Eric J. Wiborg II

**CITY OF FORT LAUDERDALE  
MARINE FACILITIES  
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES**

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

**APPLICATION FORM**  
**(Must be in Typewritten Form Only)**

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: **Eric J. Wiborg II**

TELEPHONE NO: **954-394-5773** EMAIL: [eric@avcplastics.com](mailto:eric@avcplastics.com)  
(home/cellular)

2. APPLICANT'S ADDRESS (if different than the site address): **Same**

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST: **City Dock Permit**

4. SITE ADDRESS: **1029 CORDOVA ROAD, FORT LAUDERDALE, FLORIDA 33316** ZONING: **RS 8**

LEGAL DESCRIPTION AND FOLIO NUMBER: Lot 34 and the South 12.5 feet of lot 33, Rio Vista Isles Unit 3, According to plat thereof, as recorded in the plat book 7, page 47, of the public records of Broward County Florida,

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).

  
Applicant's Signature

12/12/2022  
Date

The sum of \$ \_\_\_\_\_ was paid by the above-named applicant on the \_\_\_\_\_ of \_\_\_\_\_, 20\_\_ Received by: \_\_\_\_\_

City of Fort Lauderdale

=====For Official City Use Only=====

**Marine Advisory Board Action**

Formal Action taken on \_\_\_\_\_

**Commission Action**

Formal Action taken on \_\_\_\_\_

Recommendation \_\_\_\_\_  
Action \_\_\_\_\_

RESOLUTION NO. 19-205

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FORT LAUDERDALE, FLORIDA, ESTABLISHING FEES FOR APPLICATIONS FOR DOCK PERMITS ISSUED UNDER SECTION 8-144 PRIVATE USE OF PUBLIC PROPERTY ABUTTING WATERWAYS, AND PROVIDING FOR SEVERABILITY, RESCISSION OF CONFLICTING RESOLUTION PROVISIONS, AND AN EFFECTIVE DATE.

WHEREAS, it has long been the law in Florida that a reasonable license or permit fee may be charged in an amount sufficient to bear the expense of issuing the permit and the costs of necessary inspections and review connected with the administration of the permit; and

WHEREAS, the City of Fort Lauderdale has established an application process that requires technical and legal review of documents, presentation of the application to the Marine Advisory Board for recommendation, drafting of a dock permit resolution, and presentation to the City Commission for approval, and recording of the resolution; and

WHEREAS, the current administrative fee of \$300 for the dock permit application does not cover the City's costs to process the application; and

WHEREAS, based on a review of the staff resources, an application fee of \$1,500 is recommended; and

WHEREAS, the City Commission of the City of Fort Lauderdale, Florida, wishes to establish the application fee for dock permits issued under Section 8-144 Private Use of Public Property Abutting Waterways at \$1,500 effective October 2, 2019; and

WHEREAS, a number of dock holders on Cordova Road between SE 7th Street and SE 12th Street will be required to submit full applications due to the removal of their docks associated with the reconstruction of the City seawall at that location and amendment of the terms and conditions of the dock permit under Section 8-144; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FORT LAUDERDALE, FLORIDA:

SECTION 1. The City hereby establishes the application fee for dock permits issued under Section 8-144 Private Use of Public Property Abutting Waterways at \$1,500 effective October 2, 2019.

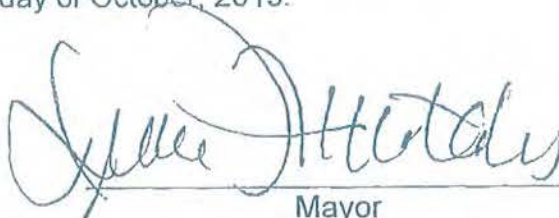
SECTION 2. The application fee for property owners whose docks were removed due to the seawall construction project on Cordova is hereby waived.

SECTION 3. That if any clause, section or other part of this Resolution shall be held invalid or unconstitutional by any court of competent jurisdiction, the remainder of this Resolution shall not be affected thereby, but shall remain in full force and effect.

SECTION 4. That all Resolutions or parts of Resolutions in conflict are hereby repealed.

SECTION 5. That this Resolution shall be in full force and effect upon final passage.

ADOPTED this the 2nd day of October, 2019.



Mayor  
DEAN J. TRANTALIS

ATTEST:



City Clerk  
JEFFREY A. MODARELLI

Prepared by:

Evette Arguinzoni  
Balocco & Abril, PLLC  
4332 East Tradewinds Avenue  
Lauderdale By The Sea, FL 33308  
(954) 530-4731  
File No 2022-1001-1001

Return to:

Colonial Title of Plantation, Inc.  
2929 E Commercial Boulevard  
Suite PH-C  
Fort Lauderdale, FL 33308

Parcel Identification No. 504211-18-1920

[Space Above This Line For Recording Data]

## WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 10<sup>th</sup> day of November, 2022 between Lori Jean Sisko, a married woman, f/k/a Lori Jean Marcellino, whose post office address is 1500 SE 13<sup>th</sup> Street, Fort Lauderdale, FL 33316, of the County of Broward, State of Florida, and Miles Austin Forman, a married man, whose post office address is 1804 SE 9<sup>th</sup> Street, Fort Lauderdale, FL 33316, of the County of Broward, State of Florida, collectively the Grantor, to Eric J. Wiborg, II, a single man, whose post office address is 1029 Cordova Road, Fort Lauderdale, FL 33316, of the County of Broward, State of Florida, Grantee:

WITNESSETH, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

The South 12.5 feet of Lot 33 and all of Lot 34, Block 22, RIO VISTA ISLES UNIT 3, according to the Plat thereof, recorded in Plat Book 7, Page 47, of the Public Records of Broward County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

SUBJECT TO land use designation, zoning restrictions, prohibitions and other requirements imposed by governmental authority, none of which are hereby reimposed; restrictions, easements and matters appearing on the Plat or otherwise common to the subdivision, none of which are hereby reimposed; and taxes for the year of closing and subsequent years.

Grantor hereby certifies that the above-described real property is not now nor has it ever been the homestead or the primary residence of Grantor nor has it been adjacent to or contiguous to the homestead or primary residence of Grantor.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2021.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

*Etette Arguinzoni*  
WITNESS  
PRINT NAME: Etette Arguinzoni

*Lori Jean Sisko*  
Lori Jean Sisko f/k/a Lori Jean Marcellino

*Joe Bellocq*  
WITNESS  
PRINT NAME: Joe Bellocq

*Miles Austin Forman*  
Miles Austin Forman

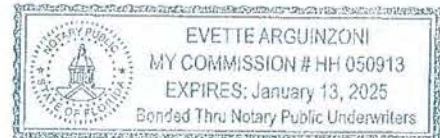
*Joe Bellocq*  
WITNESS  
PRINT NAME: Joe Bellocq

*Patrick McTigue*  
WITNESS  
PRINT NAME: Patrick McTigue

STATE OF FLORIDA  
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 10<sup>th</sup> day of November, 2022, by Lori Jean Sisko f/k/a Lori Jean Marcellino and Miles Austin Forman.

*Etette Arguinzoni*  
Signature of Notary Public  
Print, Type/Stamp Name of Notary



Personally Known:  OR Produced Identification:   
Type of Identification \_\_\_\_\_  
Produced: \_\_\_\_\_



**PROPERTY SUMMARY**

<b>Tax Year:</b> 2023	<b>Property Use:</b> 01-01 Single Family	<b>Deputy Appraiser:</b> Residential Department
<b>Property ID:</b> 504211181920	<b>Millage Code:</b> 0312	<b>Appraisers Number:</b> 954-357-6831
<b>Property Owner(s):</b> WIBORG, ERIC J II	<b>Adj. Bldg. S.F:</b> 2202	<b>Email:</b> <a href="mailto:realprop@bcpa.net">realprop@bcpa.net</a>
<b>Mailing Address:</b> 1029 CORDOVA ROAD FORT LAUDERDALE, FL 33316	<b>Bldg Under Air S.F:</b> 1861	<b>Zoning :</b> RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
<b>Physical Address:</b> 1029 CORDOVA ROAD FORT LAUDERDALE, 33316-1449	<b>Effective Year:</b> 1959	<b>Abbr. Legal Des.:</b> RIO VISTA ISLES UNIT 3 7-47 B LOT 33 S 12.5,34 BLK 22
	<b>Year Built:</b> 1954	
	<b>Units/Beds/Baths:</b> 1 / 2 / 2.5	

**PROPERTY ASSESSMENT**

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2023	\$307,120	\$712,140	0	\$1,019,260	\$1,019,260	
2022	\$307,120	\$712,140	0	\$1,019,260	\$910,500	\$18,113.79
2021	\$307,120	\$520,610	0	\$827,730	\$827,730	\$15,921.84

**EXEMPTIONS AND TAXING AUTHORITY INFORMATION**

	County	School Board	Municipal	Independent
Just Value	\$1,019,260	\$1,019,260	\$1,019,260	\$1,019,260
Portability	0	0	0	0
Assessed / SOH	\$1,019,260	\$1,019,260	\$1,019,260	\$1,019,260
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$1,019,260	\$1,019,260	\$1,019,260	\$1,019,260

**SALES HISTORY FOR THIS PARCEL**

Date	Type	Price	Book/Page or Cin
11/10/2022	Warranty Deed Qualified Sale	\$1,800,000	118516152
12/16/2011	Warranty Deed Qualified Sale	\$515,000	48422 / 207
10/29/2002	Quit Claim Deed	\$100	34056 / 702
10/13/1997	Quit Claim Deed	\$100	27371 / 879
07/22/1997	Order Determining Homestead		27128 / 327

**LAND CALCULATIONS**

Unit Price	Units	Type
\$40.00	7,678 SqFt	Square Foot

**RECENT SALES IN THIS SUBDIVISION**

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504211181920	11/10/2022	Warranty Deed	Qualified Sale	\$1,800,000	118516152	1029 CORDOVA RD FORT LAUDERDALE, FL 33316
504211182460	11/03/2022	Warranty Deed	Qualified Sale	\$995,000	118512425	708 SE 9 ST FORT LAUDERDALE, FL 33316
504211181310	10/26/2022	Multi Special Warranty Deed	Excluded Sale	\$2,950,000	118490629	1130 S FEDERAL HWY FORT LAUDERDALE, FL 33316
504211181330	10/26/2022	Multi Special Warranty Deed	Excluded Sale	\$2,950,000	118490629	S FEDERAL HWY FORT LAUDERDALE, FL 33316
504211181340	10/26/2022	Multi Special Warranty	Excluded Sale	\$2,950,000	118490629	1140 S FEDERAL HWY FORT LAUDERDALE,

**SPECIAL ASSESSMENTS**

<b>Fire</b>	<b>Garb</b>	<b>Light</b>	<b>Drain</b>	<b>Impr</b>	<b>Safe</b>	<b>Storm</b>	<b>Clean</b>	<b>Misc</b>
Ft Lauderdale Fire-rescue (03) Residential (R) 1						(F1)  1.00		

**SCHOOL**

**Harbordale Elementary: A**  
**Sunrise Middle: C**  
**Fort Lauderdale High: A**

**ELECTED OFFICIALS**

<b>Property Appraiser</b>	<b>County Comm. District</b>	<b>County Comm. Name</b>	<b>US House Rep. District</b>	<b>US House Rep. Name</b>
Marty Kiar	4	Lamar P. Fisher	22	Ted Deutch
<b>Florida House Rep. District</b>	<b>Florida House Rep. Name</b>	<b>Florida Senator District</b>	<b>Florida Senator Name</b>	<b>School Board Member</b>
93	Chip LaMarca	34	Gary M. Farmer, Jr.	Sarah Leonardi

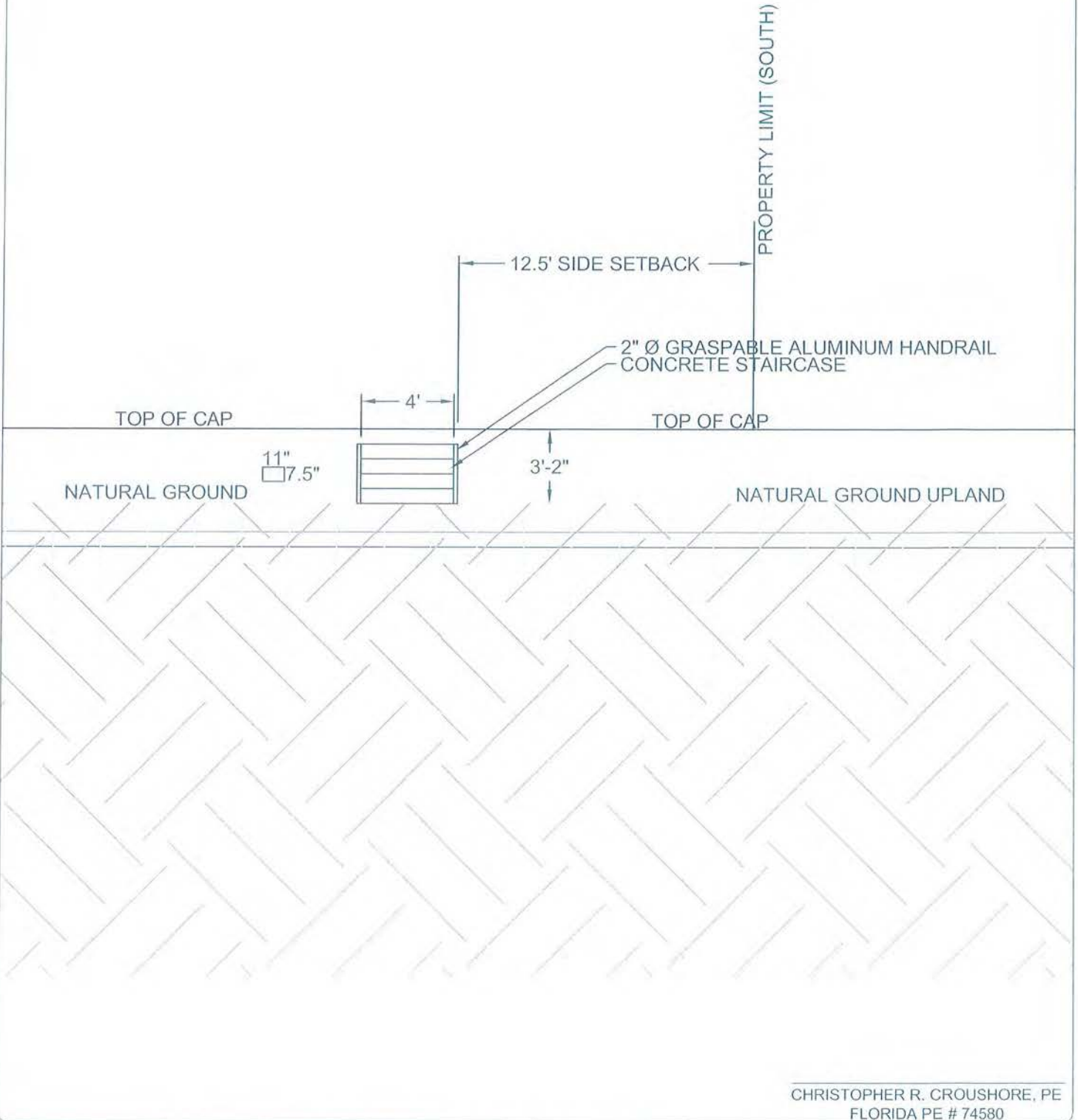






\*\*\*NOTES\*\*\*

- CONCRETE 5000 PSI AFTER 28 DAYS
- STAIRCASE SYSTEM IS NOT ATTACH TO, CONNECT TO, OR BE IN DIRECT CONTACT WITH THE CITY OF FT LAUDERDALE SEAWALL OR SEAWALL CAP
- ALL HARDWARE MARINE GRADE 316 SS
- ALL ALUMINUM THAT COMES IN CONTACT OR CLOSE TO ANY STEEL HARDWARE OR REBAR, POLYMER COATED



CHRISTOPHER R. CROUSHORE, PE  
FLORIDA PE # 74580

**Croushore Marine Engineering Inc.**

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461  
PH (561) 951-6036  
FL CERT OF AUTH #30254

SCALE: 1" = 6'
DATE: 08.26.20
REVISED: 01.04.21
DRAWN BY: CRC

1029 CORDOVA STREET  
FORT LAUDERDALE, FL

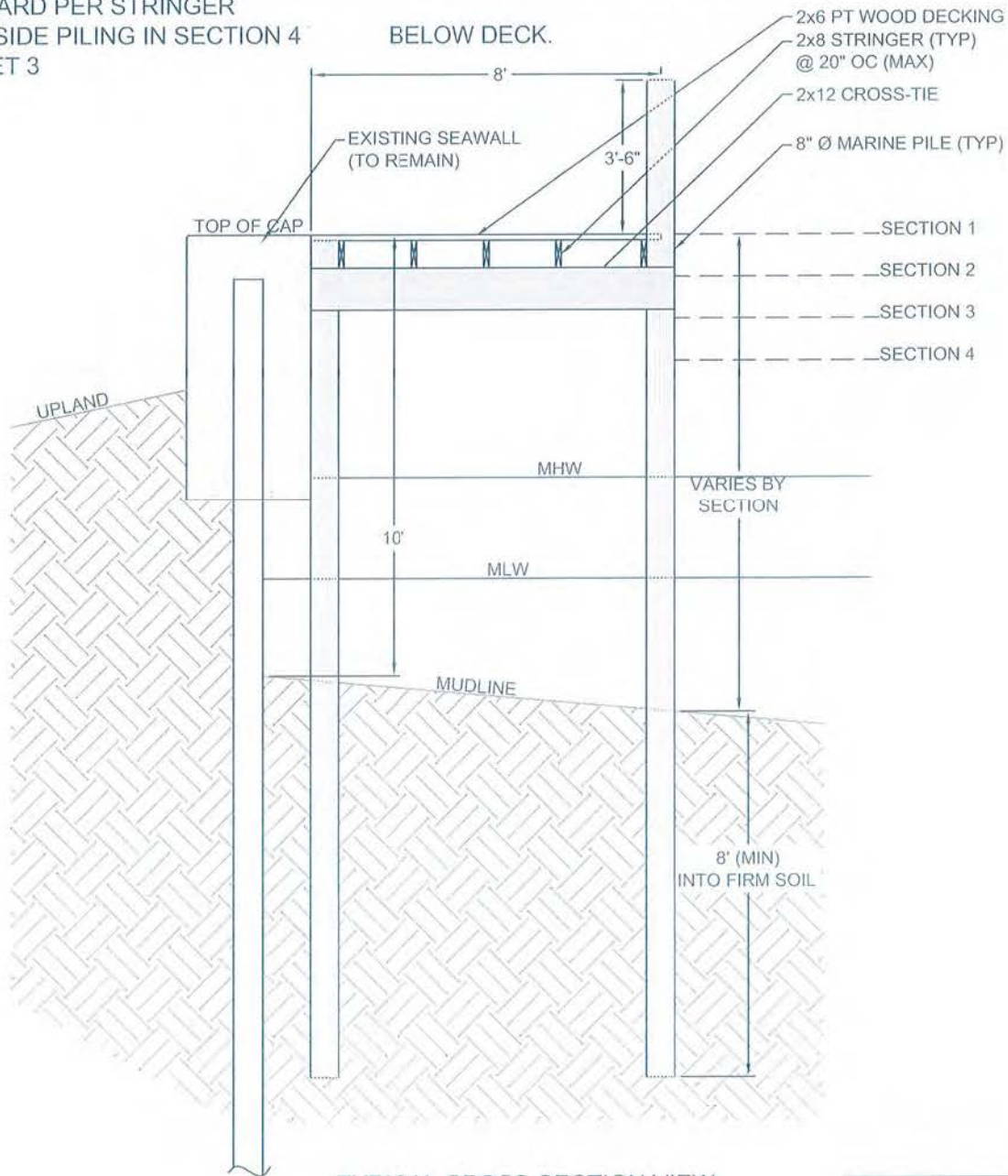
PROPOSED STAIRCASE  
CROSS-SECTION VIEW

**CS-2**

SHEET 4 OF 4

\*\*\*NOTES\*\*\*

- ALL WOOD GRADE #1 OR BETTER
- MARINE PILES 2.50 CCA, SUB-FRAMING 0.60 CCA, DECK BOARDS TO BE 0.40 ACQ (OR EQUAL)
- DOCK SYSTEM IS NOT ATTACH TO, CONNECT TO, OR BE IN DIRECT CONTACT WITH THE CITY OF FT LAUDERDALE SEAWALL OR SEAWALL CAP
- ALL HARDWARE 316 SS
- 2x12 CROSS-TIES CONNECTED TO 8" MARINE PILES W/ (2) 5/8" BOLT ASSEMBLY KITS PER CROSS-TIE PER PILE
- 2x8 EDGE STRINGERS CONNECTED TO 8" MARINE PILES W/ (1) 5/8" LAG BOLT PER EXTERIOR STRINGER PER PILE ALONG SIDE CLOSEST TO SEAWALL
- 2x8 INTERIOR STRINGERS CONNECTED TO 2x12 CROSS-TIE W/ SIMPSON H2.5A HURRICANE STRAP
- 2x6 DECK BOARD CONNECTED TO 2x8 STRINGERS W/ #10 DECK SCREWS.
- 2 PER BOARD PER STRINGER
- 1 WATER-SIDE PILING IN SECTION 4
- SEE SHEET 3



TYPICAL CROSS-SECTION VIEW  
SCALE 1" = 4'

CHRISTOPHER R. CROUSHORE, PE  
FLORIDA PE # 74580

Croushore Marine Engineering Inc.

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461  
PH (561) 951-6036  
FL CERT OF AUTH #30254

SCALE: 1" = 4'  
DATE: 08.26.20  
REVISED: 01.04.21  
DRAWN BY: CRC

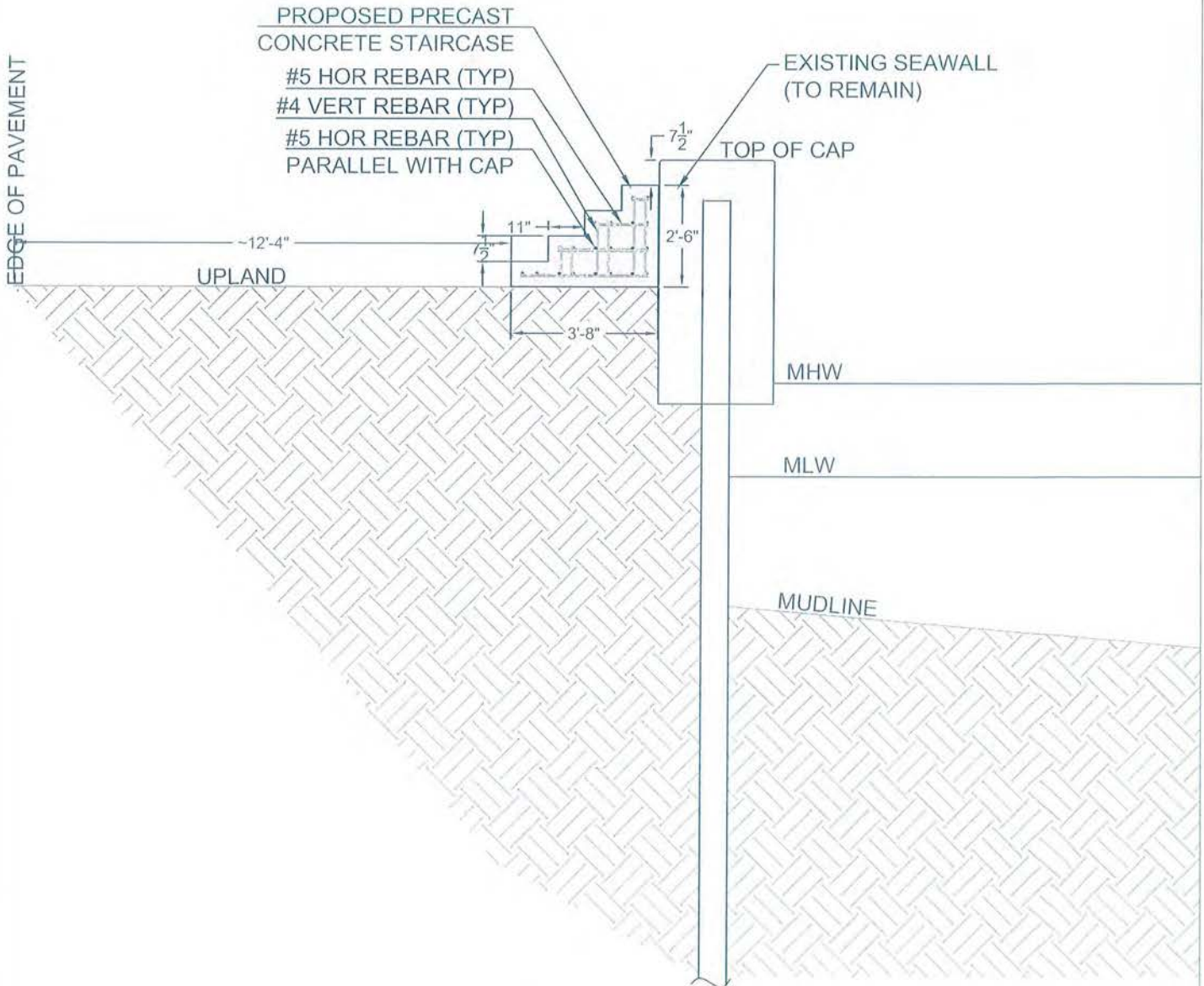
1029 CORDOVA STREET  
FORT LAUDERDALE, FL  
PROPOSED DOCK  
TYPICAL CROSS-SECTION VIEW

CS-1

SHEET 3 OF 4

\*\*\*NOTES\*\*\*

- STAIR SYSTEM IS NOT ATTACH TO, CONNECT TO, OR BE IN DIRECT CONTACT WITH THE CITY OF FT LAUDERDALE SEAWALL OR SEAWALL CAP
- ALL CONCRETE 5000 PSI AFTER 28 DAYS, WITH CORROSION INHIBITOR
- ALL REBAR 7 GRADE 60 PER ASTM A-615
- ALL REBAR 7 3" (MIN) CONCRETE COVER
- AFTERMARKET 2"Ø GRASPABLE HANDRAIL 36" TALL ABOVE STEP. NOT SHOWN FOR CLARITY
- ALL HARDWARE MARINE GRADE 316 SS
- AFTERMARKET 2"Ø GRASPABLE HANDRAIL ATTACHED
- ANY PORTION OF ALUMINUM THAT COMES IN CONTACT OR NEAR ANY STEEL, POLYMER COATED IN AREAS TO MINIMIZE DISSIMILAR METALS CONTACT



SCALE 1" = 4'

CHRISTOPHER R. CROUSHORE, PE  
FLORIDA PE # 74580

Croushore Marine Engineering Inc.

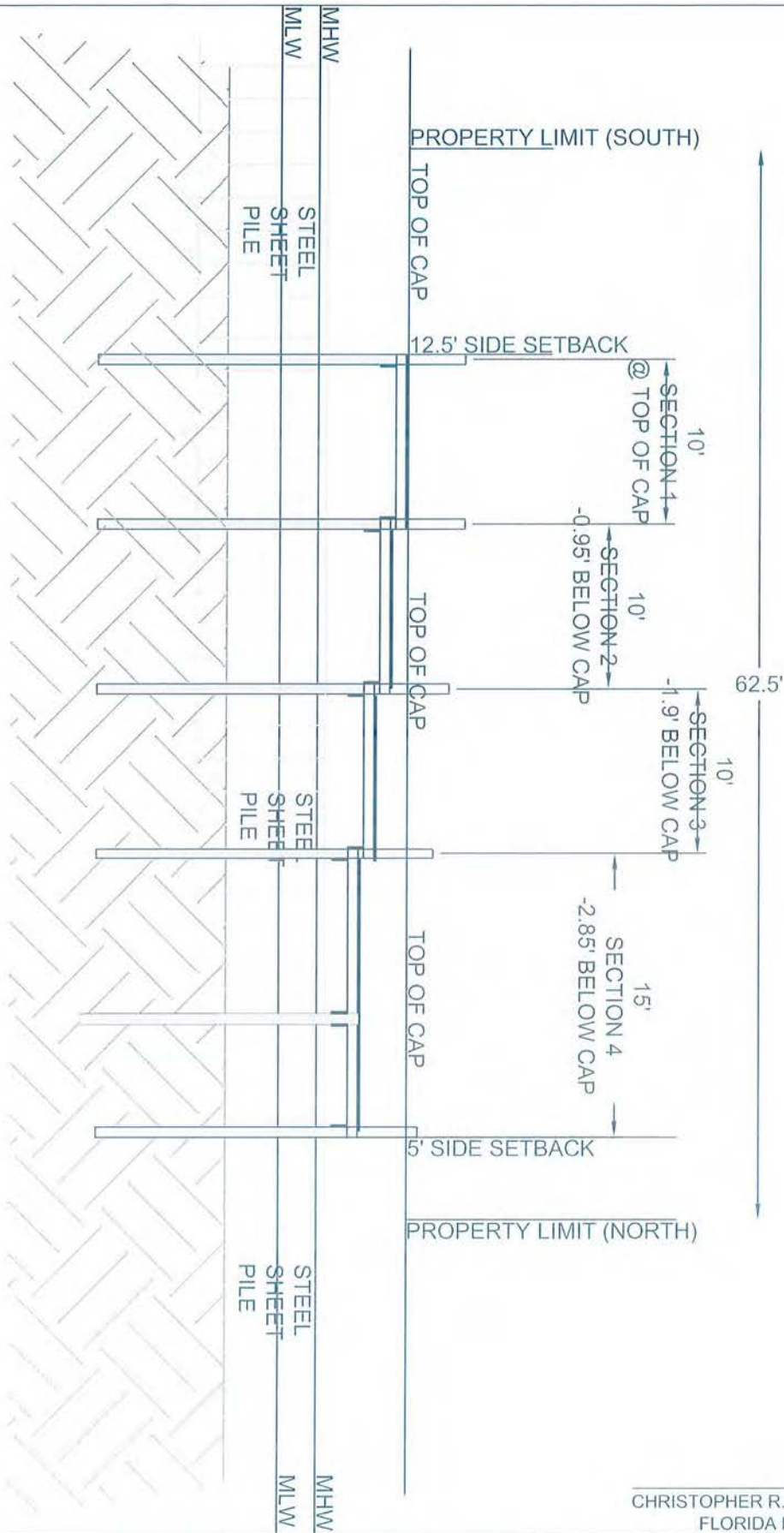
100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461  
PH (561) 951-6036  
FL CERT OF AUTH #30254

SCALE: 1" = 4'  
DATE: 08.26.20  
REVISED: 01.04.21  
DRAWN BY: CRC

1029 CORDOVA STREET  
FORT LAUDERDALE, FL  
PROPOSED STAIRCASE PLATFORM  
PROFILE VIEW

PR-2

SHEET 4 OF 4



CHRISTOPHER R. CROUSHORE, PE  
FLORIDA PE # 74580

### Croushore Marine Engineering Inc.

100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461  
PH (561) 951-6036  
FL CERT OF AUTH #30254

SCALE: 1" = 10'  
DATE: 08.26.20  
REVISED: 01.04.21  
DRAWN BY: CRC

1029 CORDOVA STREET  
FORT LAUDERDALE, FL

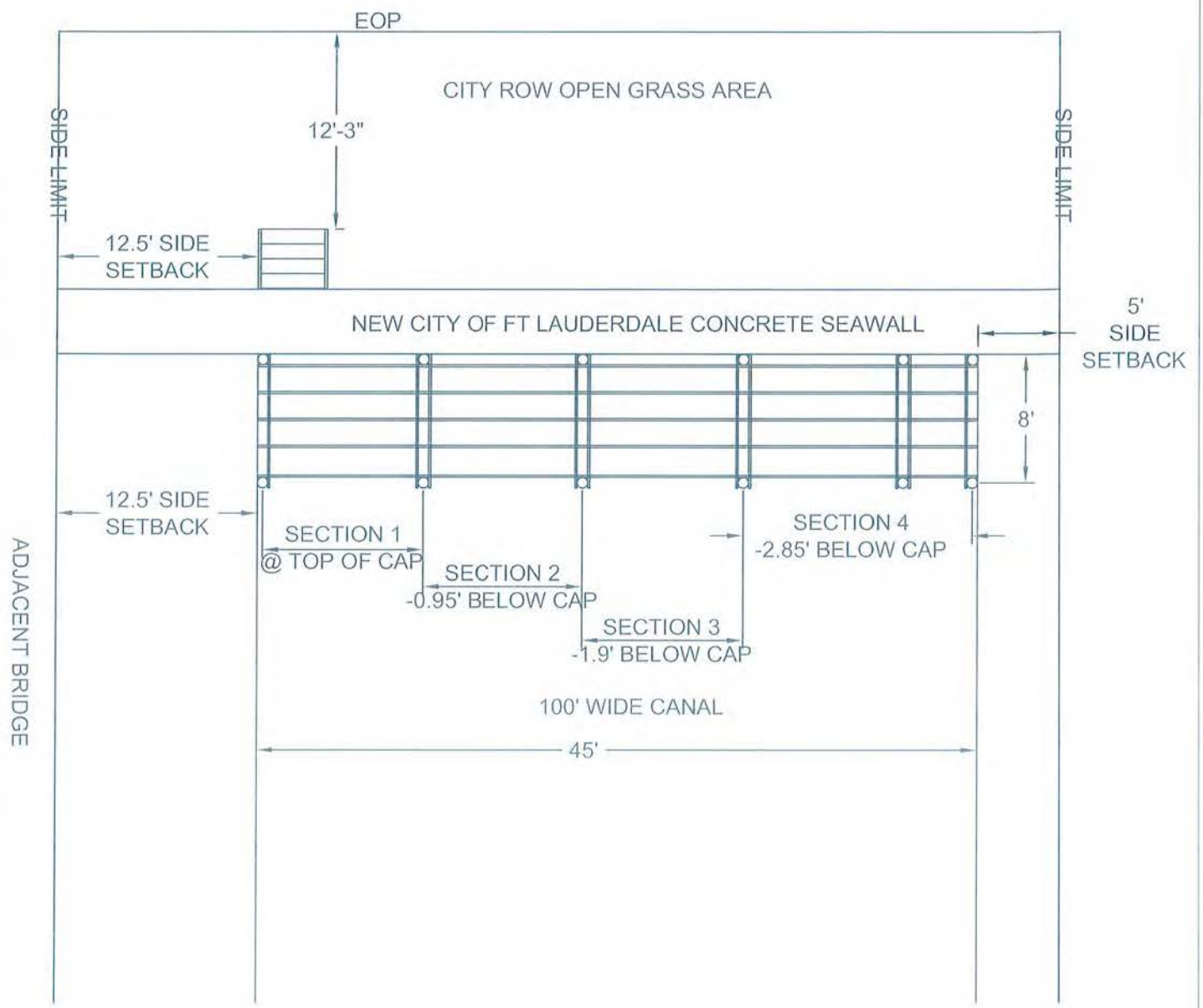
PROPOSED DOCK  
PROFILE VIEW

PR-1

SHEET 1 OF 4



CL CORDOVA ROAD



CHRISTOPHER R. CROUSHORE, PE  
FLORIDA PE # 74580

**Croushore Marine Engineering Inc.**  
 100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461  
 PH (561) 951-6036  
 FL CERT OF AUTH #30254

SCALE: 1" = 10'  
 DATE: 08.26.20  
 REVISED: 01.04.21  
 DRAWN BY: CRC

1029 CORDOVA STREET  
 FORT LAUDERDALE, FL  
 PROPOSED STAIRCASE & DOCK  
 DETAILED PLAN VIEW

P-2  
 SHEET 2 OF 8

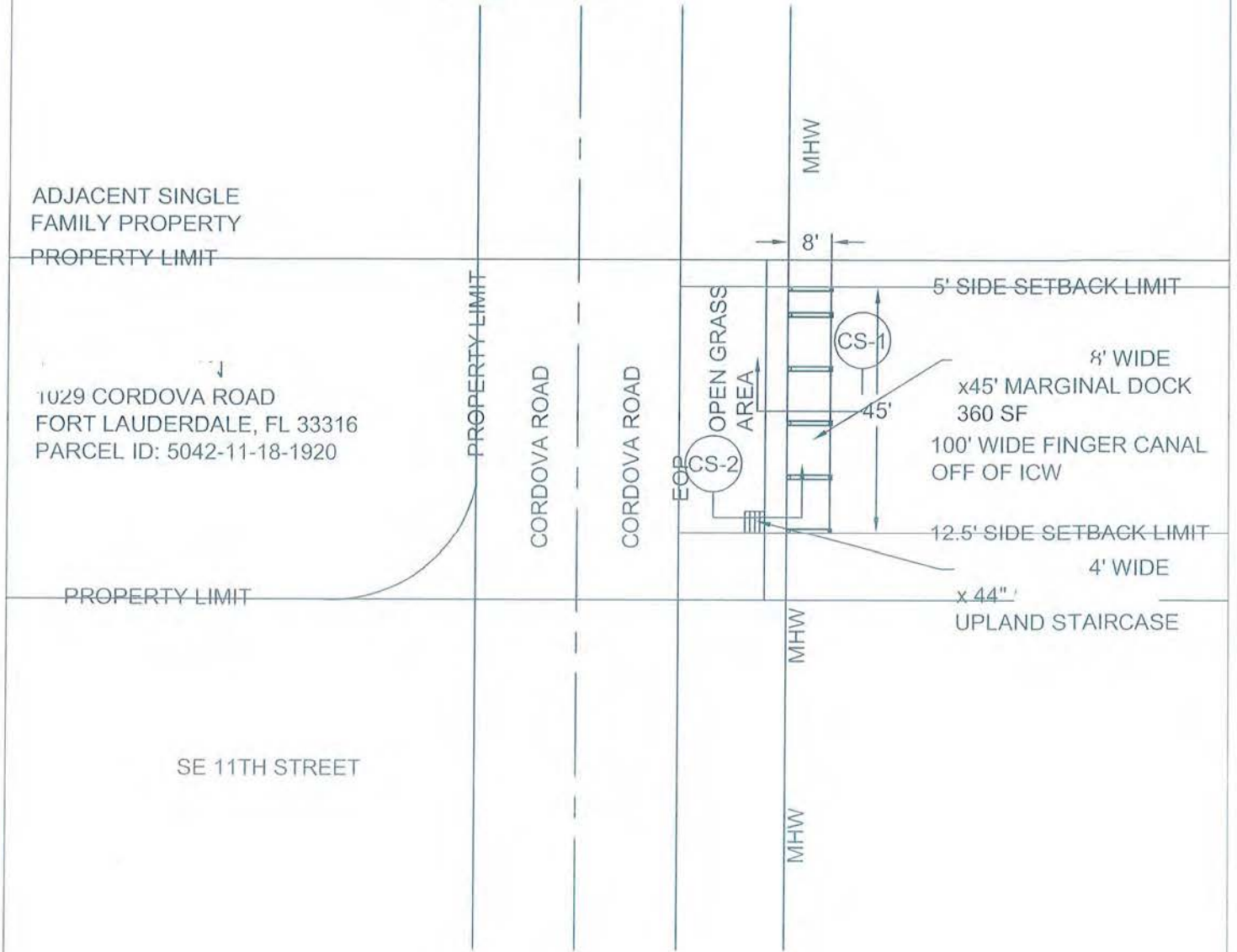


\*\*\*NOTES\*\*\*

- LAYOUT PER BROWARD COUNTY PROPERTY APPRAISER MAP
- NEW DOCK AND UPLAND STAIRCASE TO BE ADJACENT TO NEW SEAWALL
- DOCK WITHIN 25% OF CANAL WIDTH
- TURBIDITY CURTAIN TO BE USED DURING PILE INSTALLATION
- NO SEAGRASS IN AREA
- DOCK DECKBOARD AND STRINGERS NOT SHOWN FOR CLARITY
- DOCK TO BE 25' SETBACK FROM ADJACENT BRIDGE



"EXHIBIT A"



ADJACENT SINGLE FAMILY PROPERTY  
PROPERTY LIMIT  
1029 CORDOVA ROAD  
FORT LAUDERDALE, FL 33316  
PARCEL ID: 5042-11-18-1920

5' SIDE SETBACK LIMIT  
8' WIDE  
x45' MARGINAL DOCK  
360 SF  
100' WIDE FINGER CANAL  
OFF OF ICW  
12.5' SIDE SETBACK LIMIT  
4' WIDE  
x 44'  
UPLAND STAIRCASE

PROPOSED DOCK  
PLAN VIEW  
SCALE 1" = 30'

CHRISTOPHER R. CROUSHORE, PE  
FLORIDA PE # 74580

Croushore Marine Engineering Inc.

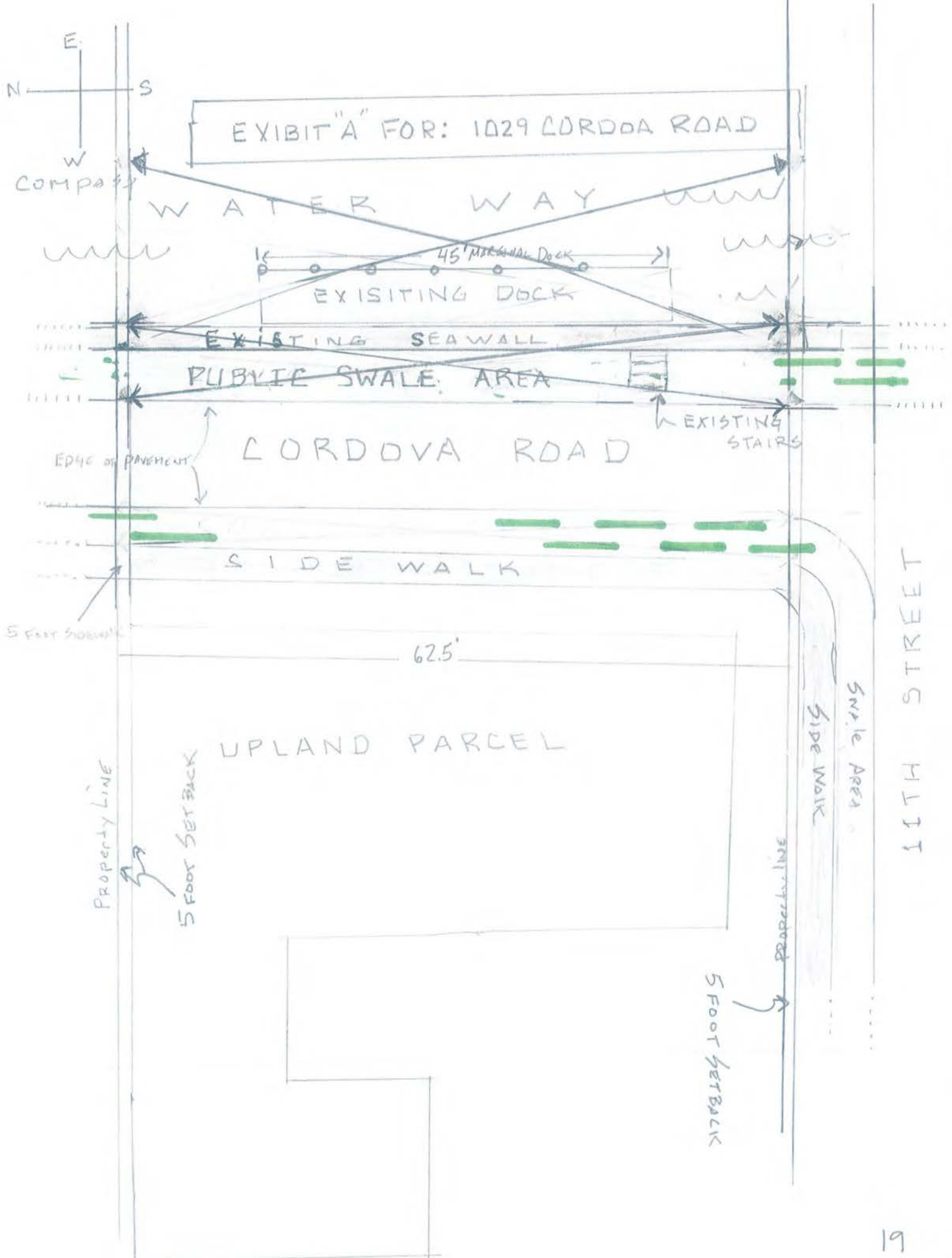
100 ANDROS ROAD, PALM SPRINGS, FLORIDA 33461  
PH (561) 951-6036  
FL CERT OF AUTH #30254

SCALE: 1" = 30'
DATE: 08.26.20
REVISED: 01.04.21
DRAWN BY: CRC

1029 CORDOVA STREET  
FORT LAUDERDALE, FL  
PROPOSED STAIRCASE & DOCK  
PLAN VIEW

P-1

SHEET 1 OF 6



**LEGEND**



ST. AUGUSTINE SOD,  
TIGHT SEAMS, FULL COVERAGE



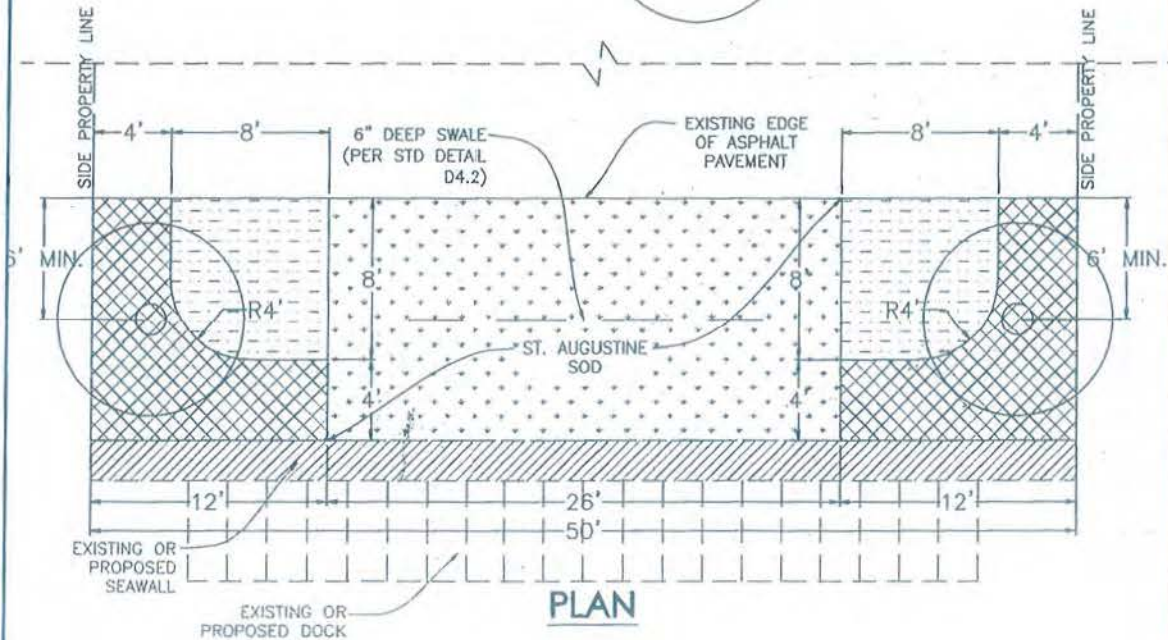
MUHLY GRASS:  
18" - 24" TALL  
18" - 24" ON CENTER



INDIAN HAWTHORN:  
12' - 18" TALL  
12' - 18' ON CENTER



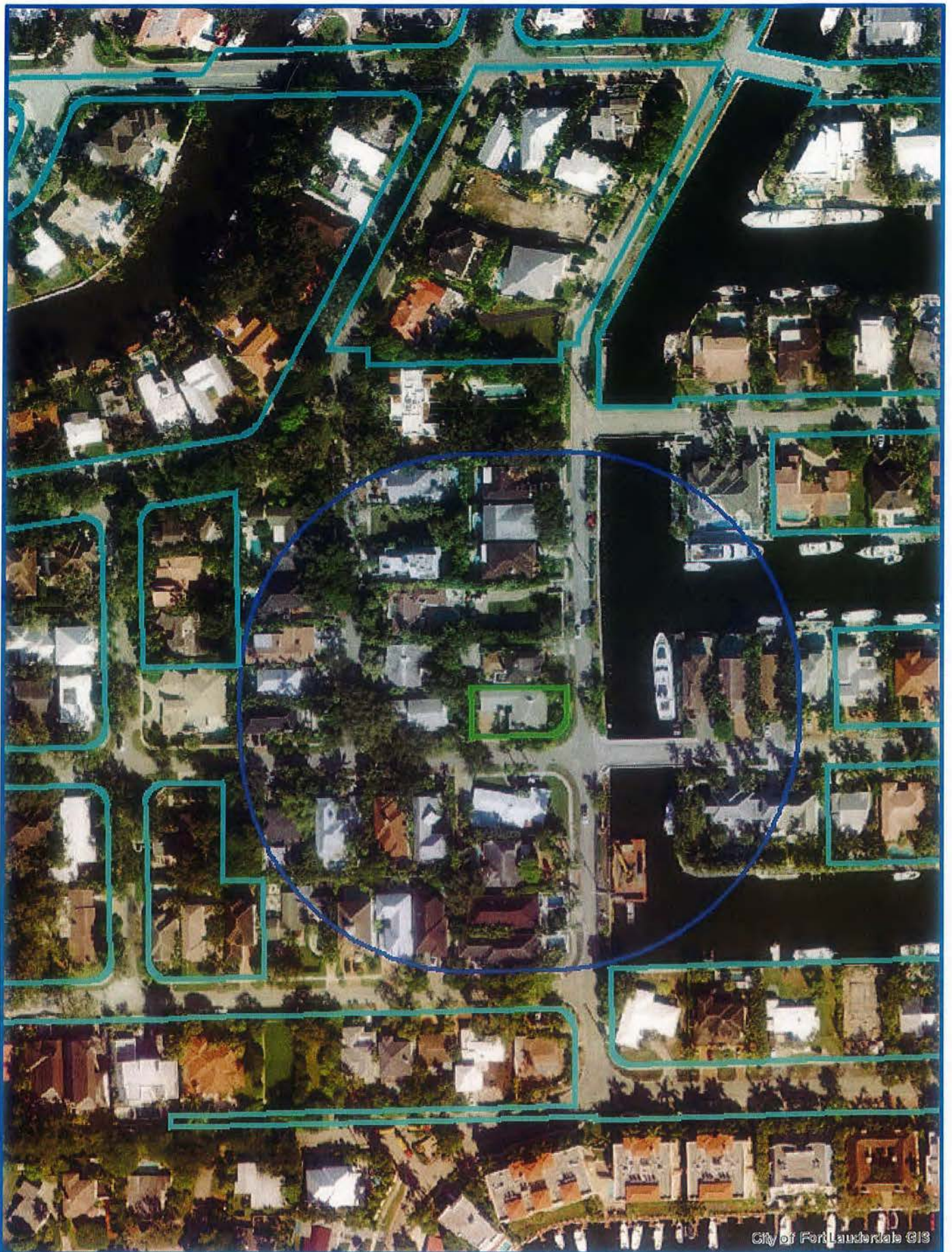
12' SILVER BUTTWOOD TREE,  
MULTI



**GENERAL NOTES:**

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED: 2/2015		CITY OF FORT LAUDERDALE DEPT. OF SUSTAINABLE DEVELOPMENT		
REVISED:		URBAN DESIGN & PLANNING ENGINEERING DIVISION	LANDSCAPING PLAN (ROW)	SCALE: 1"=10'



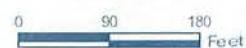
City of Fort Lauderdale GIS



CITY OF FORT LAUDERDALE

Map Created by GIS Mailer

1029 Cordova Road



**GIS**

Fort Lauderdale

Printed on: 11/7/2022



**Electric Bill Statement**

**For:** Nov 14, 2022 to Dec 2, 2022 (18 days)

**Statement Date:** Dec 2, 2022

**Account Number:** 04612-50441

**Service Address:**

1029 CORDOVA RD  
FORT LAUDERDALE, FL 33316

Hello Eric J Wiborg II,  
Here's what you owe for this billing period.

**CURRENT BILL**

**\$77.47**

TOTAL AMOUNT YOU OWE

**Dec 27, 2022**

NEW CHARGES DUE BY

**KEEP IN MIND**

- Thank you for enrolling in the FPL E-Mail Bill program. Now that you are participating, THIS WILL BE THE LAST PAPER BILL YOU RECEIVE FROM FPL. You will be notified of future bills by e-mail.
- Payments received after December 27, 2022 are considered late; a late payment charge, the greater of \$5.00 or 1.5% of your past due balance will apply. Your account may also be billed a deposit adjustment.
- This billing period is less than a month; bill factors are available upon request.
- We've installed a smart meter on your property and it's ready to give you information--by the month, day and hour--about your energy use. For more information about the benefits, including how the smart meter will be read remotely, visit [www.FPL.com/smartmeter](http://www.FPL.com/smartmeter).
- The Service/Initial Charge is a one-time charge to defray administrative costs required to start your electric service or to make a change to your account at your request.

**BILL SUMMARY**

Balance before new charges	0.00
Total new charges	77.47
<b>Total amount you owe</b>	<b>\$77.47</b>

(See page 2 for bill details.)

The Florida Public Service Commission is reviewing proposed rates that would take effect on Jan. 1, 2023. Learn more at [FPL.com/Rates](http://FPL.com/Rates).

Customer Service: (954) 797-5000  
Outside Florida: 1-800-226-3545

Report Power Outages: 1-800-4OUTAGE (468-8243)  
Hearing/Speech Impaired: 711 (Relay Service)



/ 27

7102046125044197477000000

0003 0004 050811

ERIC J WIBORG II  
1029 CORDOVA RD  
FORT LAUDERDALE FL 33316-1449

The amount enclosed includes the following donation:  
**FPL Care To Share:** \_\_\_\_\_

Make check payable to FPL in U.S. funds and mail along with this coupon to:

FPL  
GENERAL MAIL FACILITY  
MIAMI FL 33188-0001

22

Visit [FPL.com/PayBill](http://FPL.com/PayBill) for ways to pay.

04612-50441

ACCOUNT NUMBER

\$77.47

TOTAL AMOUNT YOU OWE

Dec 27, 2022

NEW CHARGES DUE BY

\$

AMOUNT ENCLOSED



# ITEM VI

## MEMORANDUM MF NO. 23-01

DATE: January 18, 2023

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: February 2, 2023 MAB Meeting – Application for Dock Permit – 817 RIO LLC / 817 Cordova Road

Attached for your review is an application from 817 RIO LLC / 817 Cordova Road.

### APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the usage of a proposed 47'+/- long x 8'+/- wide marginal dock and access steps extending a maximum distance of 8'+/- from the seawall cap on public property abutting the waterway adjacent to 1410 SE 11 Street. City Code Section 8-144 authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

### PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

### ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.
4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.

5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock of attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation  
Jonathan Luscomb, Marine Facilities Supervisor

817 Cordova Rd

Fort Lauderdale, FL 33316

Cabot Edewaard, Owner

# TABLE OF CONTENTS

	Page Number
A. Application Form.....	3
B. Summary Descriptive/Narrative.....	4
C. Warranty Deed and BCPA Ownership Page.....	5
D. Property Survey of Upland Parcel.....	8
E. Color Photos of the Dock Area.....	9
F. Applicant Vessel Information.....	12
G. Plans for the Dock.....	14
H. Landscaping Plan.....	18
I. EXHIBIT A – Dock Area and Public Swale Area.....	19
J. Aerial View of Property.....	20



January 5, 2023

Dear Marine Advisory Board,

I desire to have a dock at 817 Cordova Road, Fort Lauderdale, FL 33301. The plans are for a dock measuring 8' x 47' on 12 wood piles, to be built respecting all applicable guidelines. No construction has started.

I do not own a boat at the moment.

Respectfully,

A handwritten signature in black ink, appearing to read "CC Edewaard". The signature is fluid and cursive, with the initials "CC" being prominent.

Cabot C Edewaard, Managing Director of 817 Rio LLC

Prepared by:

Leonard & Morrison Attorneys at Law  
2817 E. Oakland Park Blvd., Suite 201-A  
Fort Lauderdale, Florida 33306

File Number: 21-PERRY TRUST

### General Warranty Deed

Made this 21<sup>st</sup> day of May, 2021 A.D. By Alfred H. Perry, a married man, individually and as trustee of Living Trust Agreement dated the 12th day of December, 2002, more specifically known as the Perry Family Trust Agreement, dated December 12, 2002 whose address is: 13 Rocky Ridge Road, Smith Parrish, Bermuda HS02, , hereinafter called the grantor, to 817 Rio, LLC, a Florida limited liability company, whose post office address is: PO BOX 21830, Fort Lauderdale, Florida 33335, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of \$10.00, (Ten Dollars and no/100ths) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Broward County, Florida, viz:

**Lot 53 and 54, Block 30, Rio Vista Isles, Unit 3, according to the plat thereof as recorded in Plat Book 7, Page 47, Public Records of Broward County, Florida.**

Parcel ID Number: 504211183700

**Subject** to real estate taxes for the year 2021 and all subsequent years; conditions, restrictions, limitations and easements of record, if any, provided that this shall not serve to reimpose the same; and all applicable building and zoning regulations and ordinances imposed by applicable governmental authorities.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2020.

**\*\*\*Said Property Is Not The Homestead Of The Grantor Under The Laws And Constitution Of The State Of Florida, Grantor resides at 13 Rocky Ridge Road, Smith Parrish, Bermuda, HS02.\*\*\***

Prepared by:

Leonard & Morrison Attorneys at Law  
2817 E Oakland Park Blvd., Suite 201-A  
Fort Lauderdale, Florida 33306


File Number: 21-PERRY TRUST

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered in our presence:*

  
\_\_\_\_\_  
Witness Printed Name: J. SORIA

Living Trust Agreement dated the 12th day of December, 2002

 (Seal)  
\_\_\_\_\_  
Alfred H. Perry, Individually and as Trustee  
Address: 13 Rocky Ridge Road, Smith Parrish, Bermuda HS02,

  
\_\_\_\_\_  
Witness Printed Name: STEPHEN COOK


State of BERMUDA

County of \_\_\_\_\_

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 18<sup>TH</sup> day of May, 2021, by **Alfred H. Perry, individually and as trustee of Living Trust Agreement dated the 12th day of December, 2002**, who is/are personally known to me,  who has produced USA PASSPORT # 530445206 as identification.

SEAL



  
\_\_\_\_\_  
Notary Public  
Print Name: STEPHEN P. COOK  
My Commission Expires: DOES NOT EXPIRE

STEPHEN P. COOK  
2 REID ST.  
HAMILTON  
BERMUDA  
441-292-8603  
Steve@cook.bm



**MARTY KIAR**  
**BROWARD COUNTY**  
**PROPERTY APPRAISER**

Site Address	817 CORDOVA ROAD, FORT LAUDERDALE FL 33301	ID #	5042 11 18 3700
Property Owner	817 RIO LLC	Millage	0312
Mailing Address	PO BOX 21830 FORT LAUDERDALE FL 33335	Use	00
Abbr Legal Description	RIO VISTA ISLES UNIT 3 7-47 B A POR OF LOTS 53 & 54, BLK 30, DESC AS: BEG AT NE COR OF SAID LOT 53, SW ALG ELY/L OF SAID LOTS 53 & 54, 71.74 TO P/C, SWLY & WLY ALG CUR 26.47, W 49.32 NE 103.24, SE 75.38 TO POB		

**The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).**

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023	\$558,810		\$558,810	\$558,810	
2022	\$558,810		\$558,810	\$558,810	\$10,432.72
2021	\$527,800	\$953,730	\$1,481,530	\$1,481,530	\$28,048.38

2023 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$558,810	\$558,810	\$558,810	\$558,810
Portability	0	0	0	0
Assessed/SOH	\$558,810	\$558,810	\$558,810	\$558,810
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$558,810	\$558,810	\$558,810	\$558,810

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
5/18/2021	WD*-D	\$1,300,000	117292030	\$90.00	6,209	SF
12/12/2002	D	\$100	34408 / 1092			
8/1/1979	WD	\$167,500	8373 / 224			
1/1/1970	WD	\$44,500				
12/1/1965	WD	\$26,000				
				<b>Adj. Bldg. S.F.</b>		

\* Denotes Multi-Parcel Sale (See Deed)

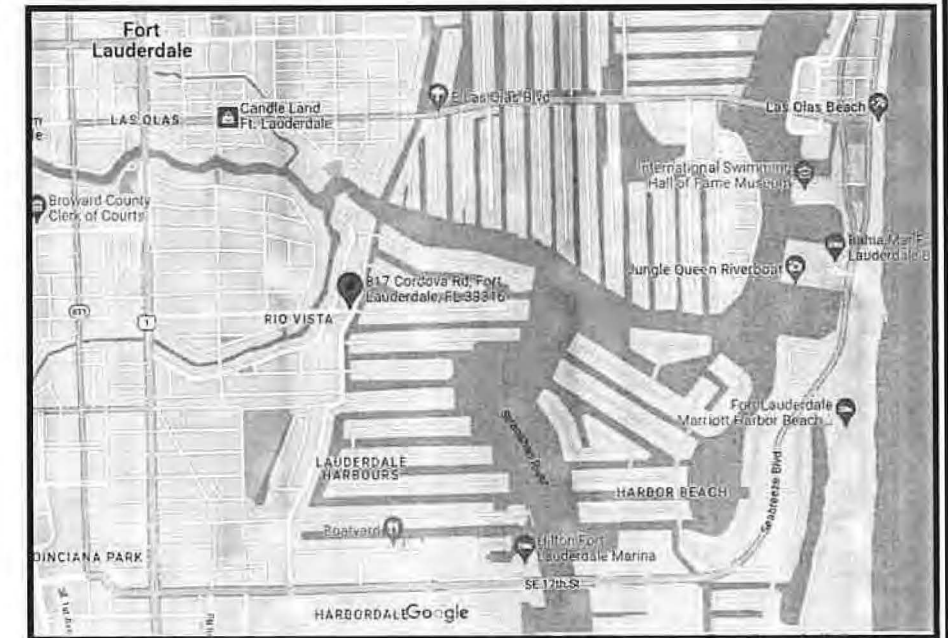
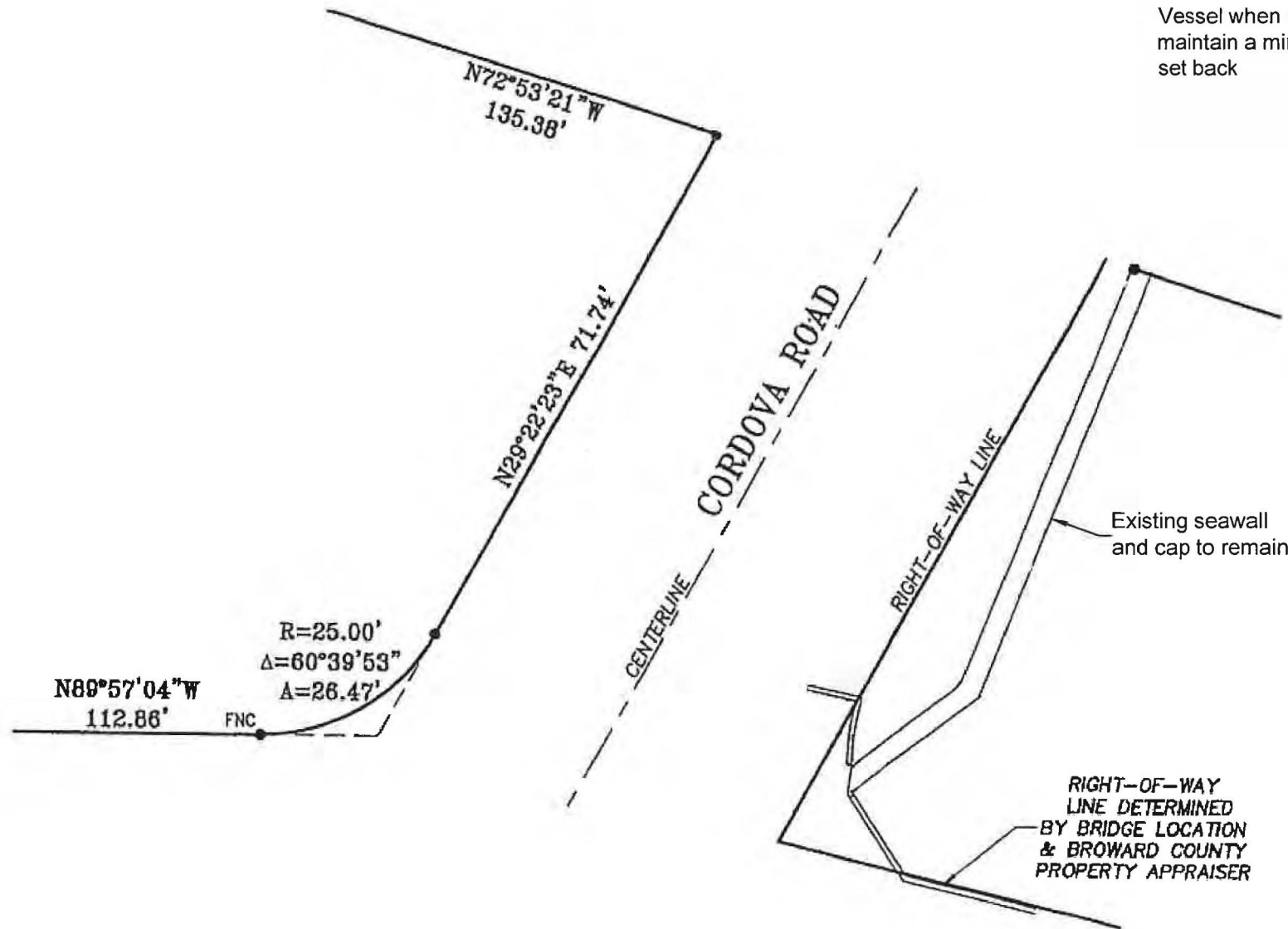
Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						6209		

See attached survey supplied by owner for exact property information.

Site Address	817 CORDOVA ROAD, FORT LAUDERDALE FL 33301	ID #	5042 11 18 3700
Property Owner	817 RIO LLC	Millage	0312
Mailing Address	PO BOX 21830 FORT LAUDERDALE FL 33335	Use	00
Abbr Legal Description	RIO VISTA ISLES UNIT 3 7-47 B A POR OF LOTS 53 & 54, BLK 30, DESC AS: BEG AT NE COR OF SAID LOT 53, SW ALG ELY/L OF SAID LOTS 53 & 54, 71.74 TO P/C, SWLY & WLY ALG CUR 26.47, W 49.32 NE 103.24, SE 75.38 TO POB		

ZONING DESCRIPTION:

RS-8  
Vessel when moored on dock will maintain a minimum 5' side yard set back



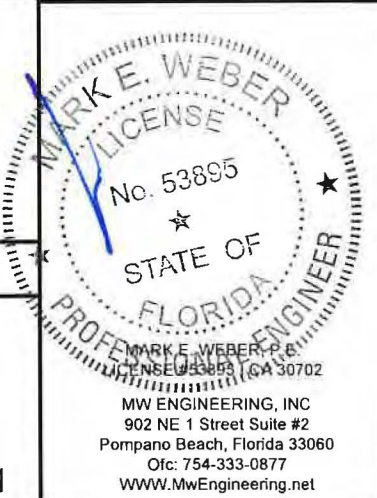
Location Map

Existing Site Plan

Scale: 1" = 20'

DEC 15 2022

Sheet 1 of 4



PREPARED FOR:  
MORRISON CONTRACTORS INC  
3000 SW 26 Terrace  
Dania Beach, FL 33312  
(954) 583-8500

Project:  
Proposed Dock  
817 RIO LLC  
817 Cordova Road  
Fort Lauderdale, Florida 33361

MARK E. WEBER, P.E.  
LICENSE NO. 53895 (FLA 30702)  
MW ENGINEERING, INC  
902 NE 1 Street Suite #2  
Pompano Beach, Florida 33060  
Ofc: 754-333-0877  
WWW.MwEngineering.net







January 5, 2023

Dear Marine Advisory Board,

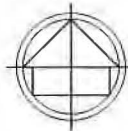
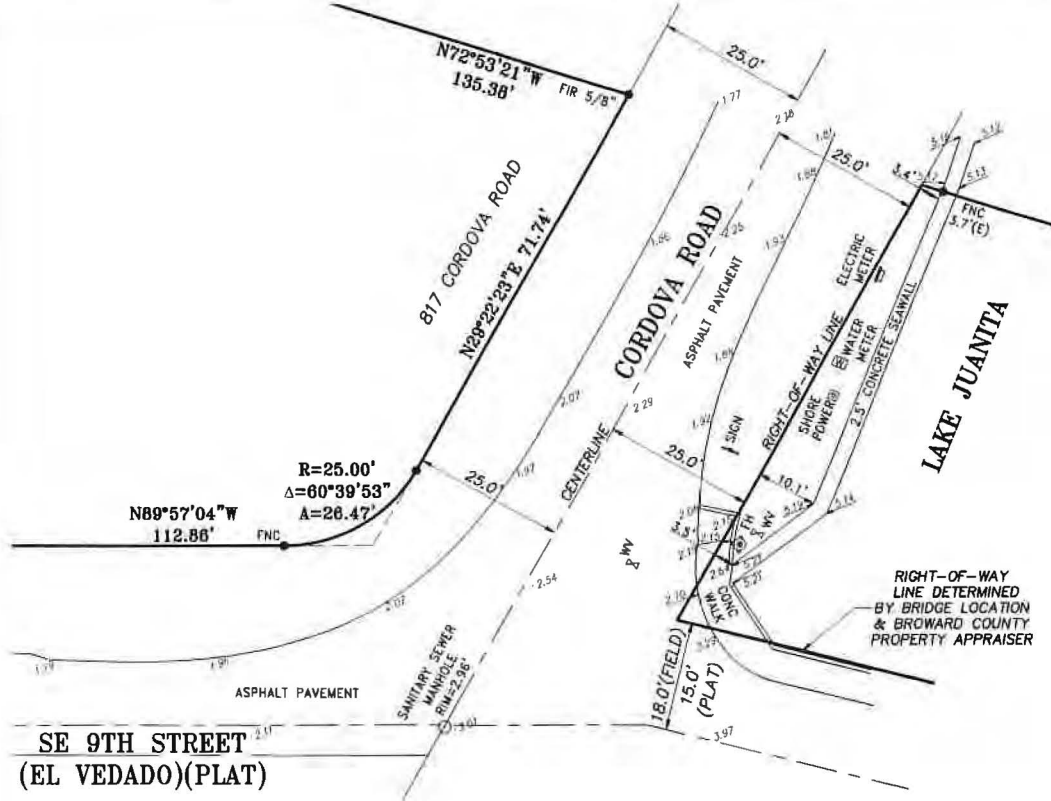
I desire to have a dock at 817 Cordova Road, Fort Lauderdale, FL 33301. The zoning is RS-8. The plans are for a dock measuring 8' x 47' on 12 wood piles, to be built respecting all applicable guidelines. No construction has started.

Respectfully,

A handwritten signature in blue ink, appearing to read "CC Edewaard".

Cabot C Edewaard, Managing Director of 817 Rio LLC

# SPECIFIC PURPOSE SURVEY



**LEGEND:**

- |        |                               |
|--------|-------------------------------|
| CKD    | CHECKED BY                    |
| CONC   | CONCRETE                      |
| DWN    | DRAWN BY                      |
| FB/PG  | FIELD BOOK AND PAGE           |
| SIR    | SET 5/8" IRON ROD & CAP #6448 |
| SNC    | SET NAIL & CAP #6448          |
| FIR    | FOUND IRON ROD                |
| FIP    | FOUND IRON PIPE               |
| FNC    | FOUND NAIL & CAP              |
| FND    | FOUND NAIL & DISK             |
| PRM    | PERMANENT REFERENCE MARKER    |
| P.B.   | PLAT BOOK                     |
| B.C.R. | BROWARD COUNTY RECORDS        |
| WM     | WATER METER                   |
| WV     | WATER VALVE                   |
| FH     | FIRE HYDRANT                  |
| 0.00   | ELEVATIONS                    |
| R      | RADIUS                        |
| Δ      | DELTA ANGLE                   |
| A      | ARC DISTANCE                  |

**NOTES:**

1. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
3. THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
4. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
5. UNDERGROUND IMPROVEMENTS NOT SHOWN.
6. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
7. BENCHMARK DESCRIPTION: BRASS DISK AT INTERSECTION OF CORDOVA ROAD & SE 10TH STREET AT SW CORNER OF BRIDGE, ELEVATION = 4.40' (NAVD88)

I HEREBY CERTIFY THAT THE "SPECIFIC PURPOSE SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN APRIL, 2022. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARD OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES, THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: *Richard E. Cousins*

RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 04/05/22

**LAND DESCRIPTION:**

LOTS 53 AND 54, BLOCK 30 OF "RIO VISTA ISLES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**COUSINS SURVEYORS & ASSOCIATES, INC.**

3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954)689-7766 FAX (954)689-7799  
EMAIL: OFFICE@CSASURVEY.NET

PROJECT NUMBER: 9777-22

CLIENT :  
JOE KOLLING

REVISIONS	DATE	FB/PG	DWN	CKD
SPECIFIC PURPOSE SURVEY FOR SEAWALL	03/31/22	SKETCH	JD	REC
REVISED BOUNDARY LINE	04/05/22	SKETCH	JD	REC

<b>FLOOD ZONE INFORMATION</b>	
COMMUNITY NUMBER	125105
PANEL NUMBER	0557H
ZONE	AE
BASE FLOOD ELEVATION	5
EFFECTIVE DATE	08/18/14

<b>PROPERTY ADDRESS:</b>	817 CORDOVA ROAD
<b>SCALE:</b>	1" = 20'
<b>SHEET</b>	1 OF 1

N29°22'23" E 71.74'

CORDOVA ROAD

CENTERLINE

RIGHT-OF-WAY LINE

Existing seawall and cap to remain

Existing wetface

Propose 47' x 8' (416sf) wood dock on (12) 12"Ø wood piles (511 sq ft over water)

Wood steps

LAKE JUANITA  
(95' RW)

9'-10" from wetface

RIGHT-OF-WAY LINE DETERMINED BY BRIDGE LOCATION & BROWARD COUNTY PROPERTY APPRAISER

DEC 15 2006

Sheet 2 of 4



Existing Site Plan

Scale: 1" = 10'

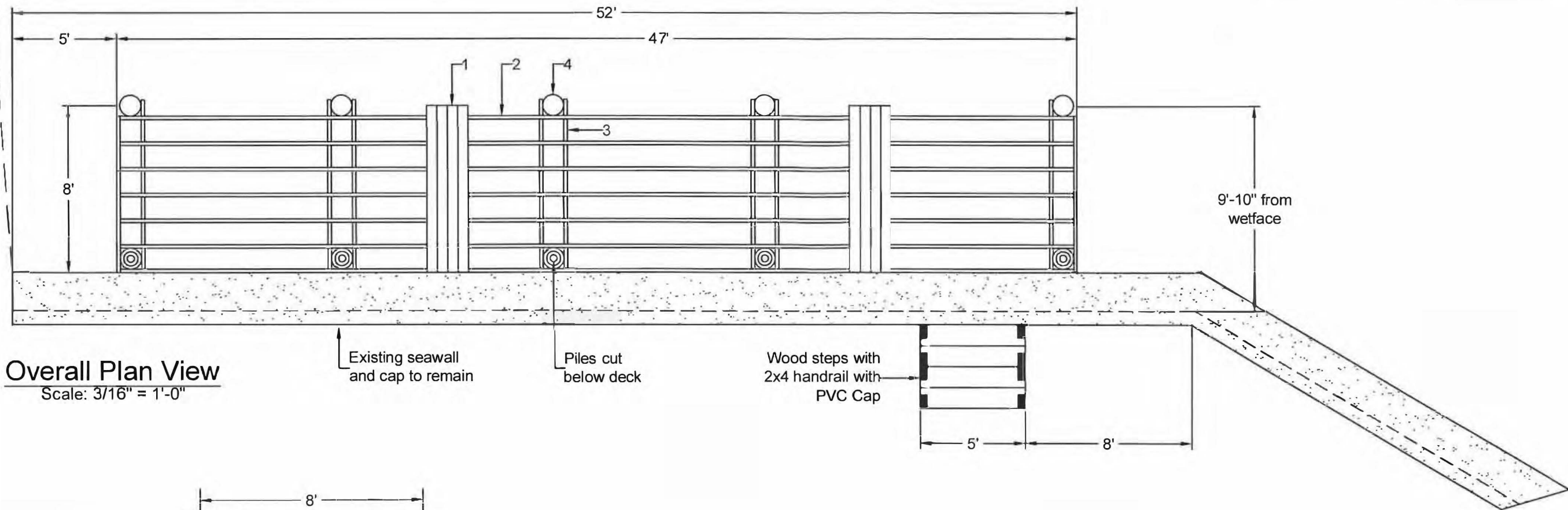
PREPARED FOR:

MORRISON CONTRACTORS INC  
3000 SW 26 Terrace  
Dania Beach, Fl 33312  
(954) 583-8500

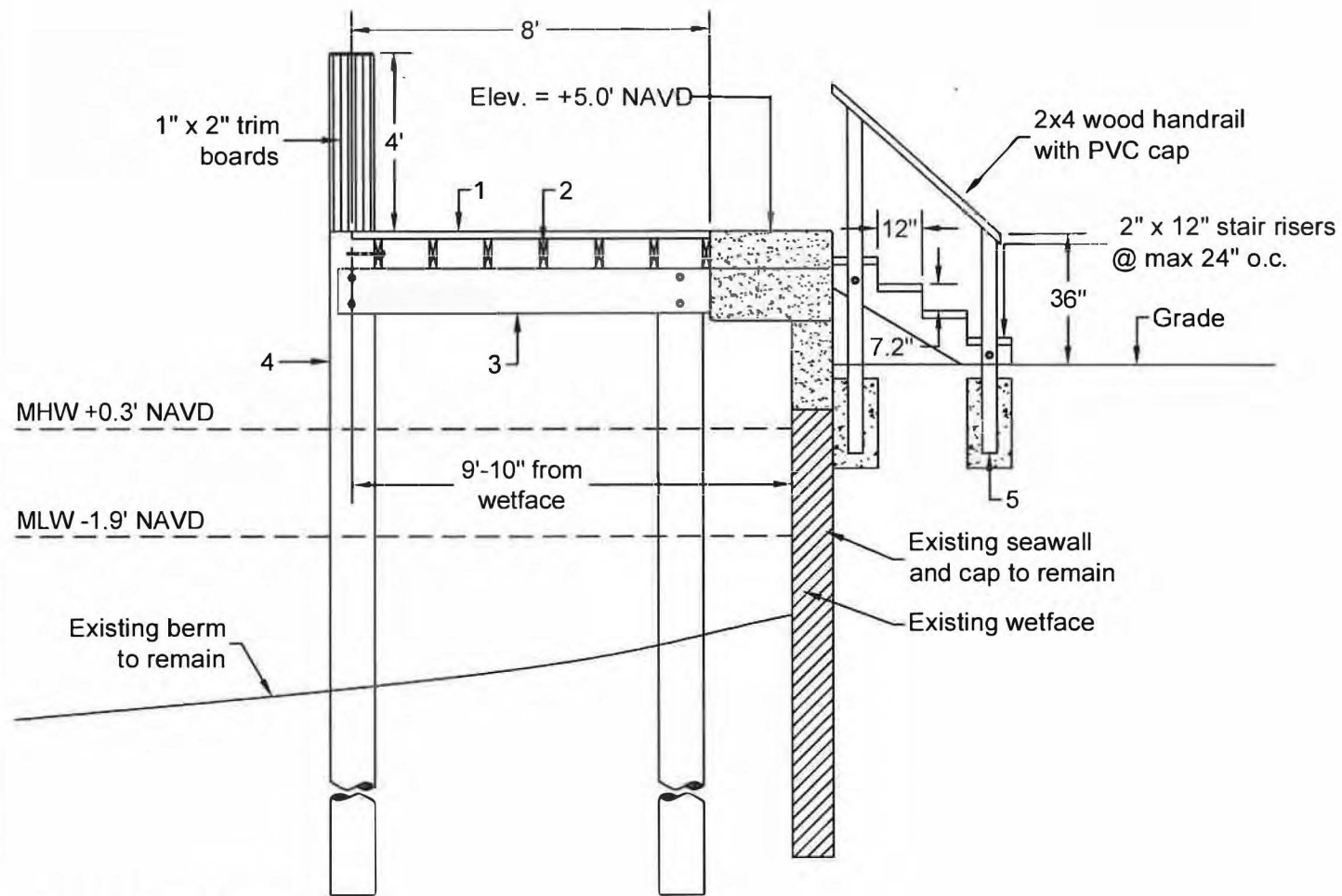
Project:

Proposed Dock  
817 RIO LLC  
817 Cordova Road  
Fort Lauderdale, Florida 33361

MW ENGINEERING, INC  
902 NE 1 Street Suite #2  
Pompano Beach, Florida 33060  
Tel: 754-335-0877  
WWW.MWEngineering.net



**Overall Plan View**  
Scale: 3/16" = 1'-0"



**Dock Section**  
Scale 1/4" = 1'-0"

1. 1x6 "Trex" PVC decking with (2) #7x2 1/2" trim head deck screws per stringer
2. 2x8 stringers @ 16" max spacing with (2) #10 x 3" s.s. screws into substringers
3. 2x12 substringer with (2) 5/8"Ø thru bolts into wood dock piles
4. New 12"Ø wood piles
5. 4x4 posts set in 18"Ø x 24" deep earth formed with redi mix type concrete

Sheet 3 of 3

DEC 15 2022

MARK E. WEBER  
LICENSE  
No. 53395  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

MARK E. WEBER, P.E.  
902 NE 1 Street Suite #2  
Pompano Beach, Florida 33060  
Ofc: 754-333-0877  
WWW.MwEngineering.net

PREPARED FOR:  
**MORRISON CONTRACTORS INC**  
3000 SW 26 Terrace  
Dania Beach, FL 33312  
(954) 583-8500

Project:  
Proposed Dock  
817 RIO LLC  
817 Cordova Road  
Fort Lauderdale, Florida 33361

GENERAL NOTES:

1. Construction to follow the Florida Building Code 7th Edition (2020) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each appertaining circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

PILE DRIVING:

1. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
2. Piles shall be driven to a minimum allowable bearing capacity of 10 tons for wood, and 25 tons for concrete, a minimum of 8' into berm or refusal.
3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
4. Piles shall be driven with a variation of not more than  $\frac{1}{4}$  inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

PILE NOTES:

1. Wood piles to be 2.5 lb. CCA treated in accordance with AWPA standard C18.
2. Wood piles shall be a minimum diameter of 10", Miami Dade County requires minimum diameter of 12".

WOOD DOCK NOTES:

1. All materials to be pressure treated pine unless otherwise noted.
2. All frame work materials to be Southern Pine Grade #1
3. All Decking materials to be grade #1 unless otherwise noted.
4. All hardware to be Stainless Steel or Galvanized unless otherwise noted.

Sheet 4 of 4

PREPARED FOR:  
**MORRISON CONTRACTORS INC**  
3000 SW 26 Terrace  
Dania Beach, FL 33312  
(954) 583-8500

Project:  
**Proposed Dock**  
817 RIO LLC  
817 Cordova Road  
Fort Lauderdale, Florida 33361



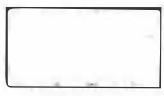
**LEGEND**



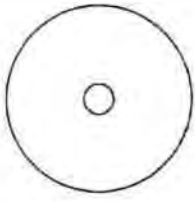
ST. AUGUSTINE SOD,  
TIGHT SEAMS, FULL COVERAGE



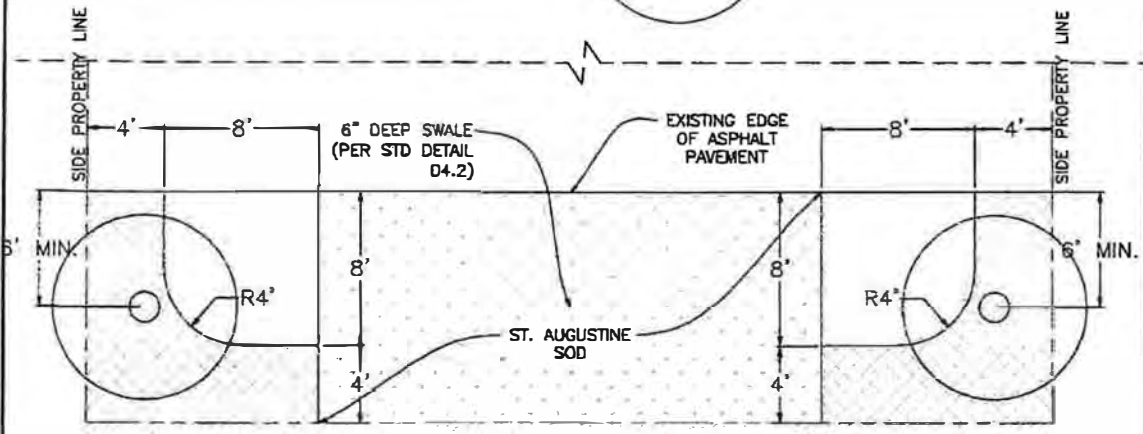
MUHLY GRASS:  
18" - 24" TALL  
18" - 24" ON CENTER



INDIAN HAWTHORN:  
12" - 18" TALL  
12" - 18" ON CENTER



12' SILVER BUTTONWOOD TREE  
MULTI



**PLAN**

**GENERAL NOTES:**

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED:  
2/2015



CITY OF FORT LAUDERDALE  
DEPT. OF SUSTAINABLE DEVELOPMENT

REVISED:

URBAN DESIGN & PLANNING  
ENGINEERING DIVISION

LANDSCAPING PLAN (ROW)

SCALE:  
1"=10'

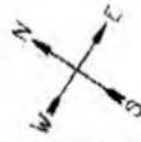


Exhibit "A"

817 Cordova Rd. Fort Lauderdale FL, 33316

Property Line

Side yard setback line

UPLAND PARCEL

Side yard setback line

Property Line

CORDOVA ROAD PAVEMENT

EDGE OF PAVEMENT

80'  
Public Swale Area

SEAWALL

STEPS DOWN

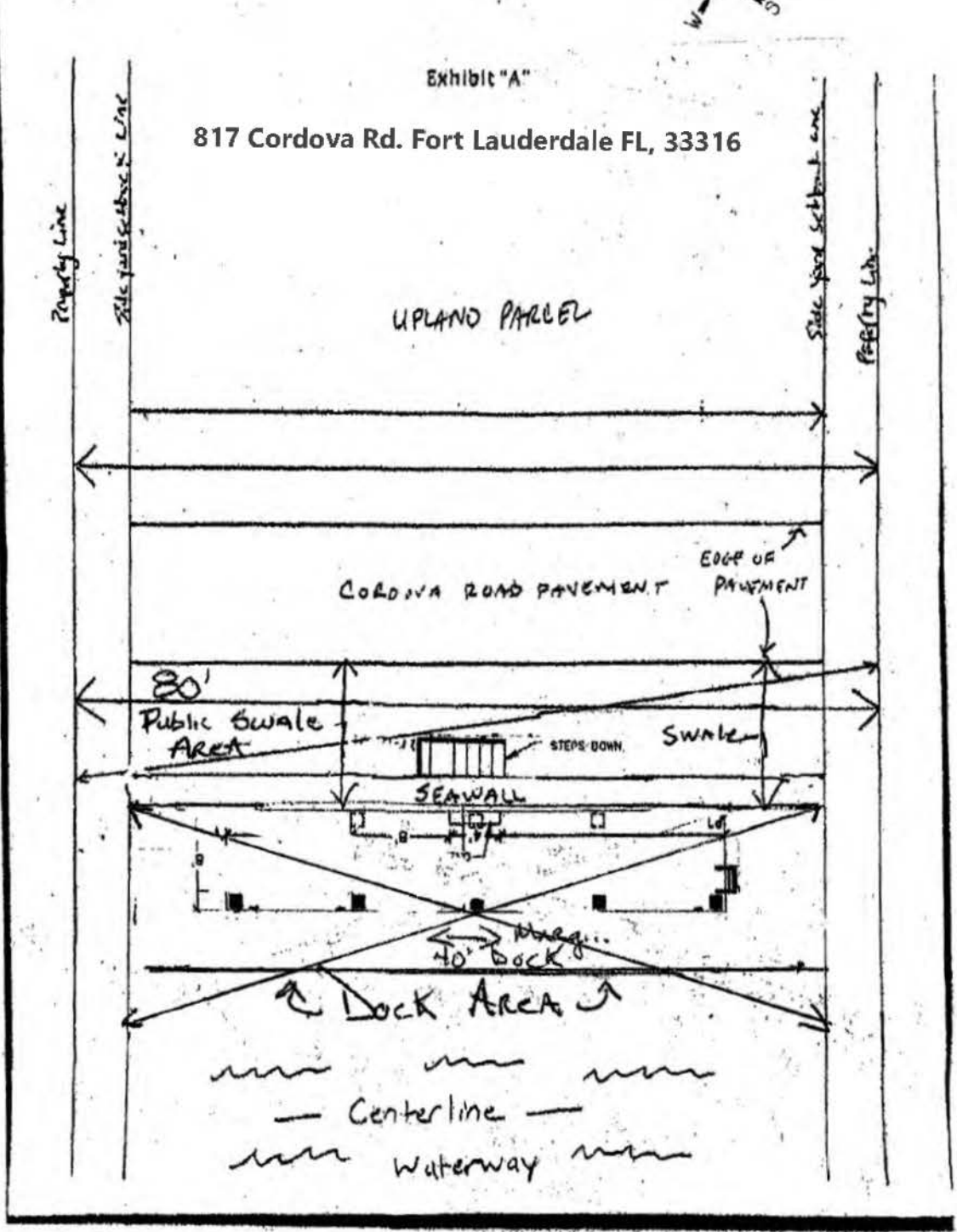
SWALE

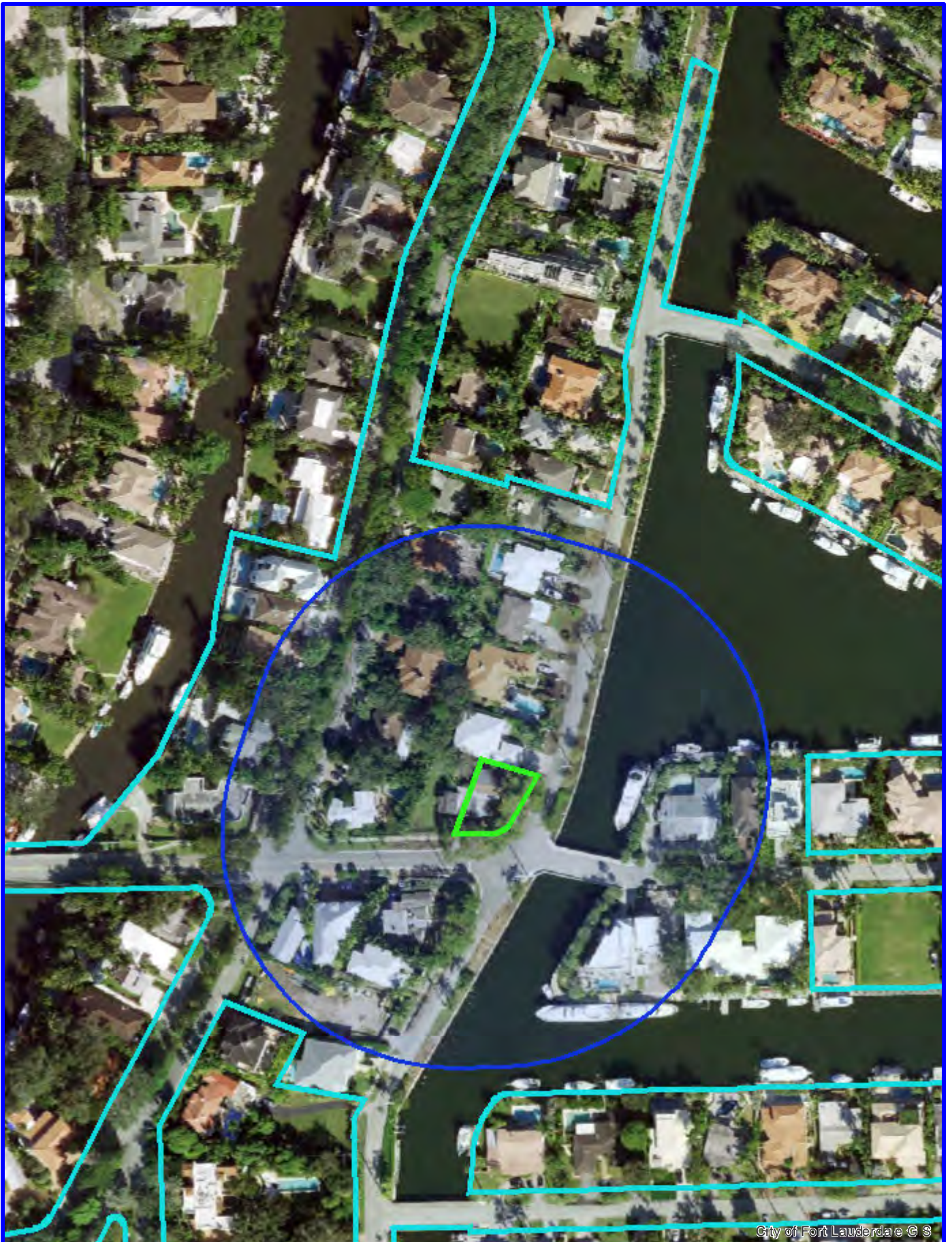
40' DOCK

Lock Area

Centerline

Waterway



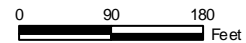


City of Fort Lauderdale © S



CITY OF FORT LAUDERDALE

817 Cordova Road



**GIS**  
Fort Lauderdale

# ITEM VII

## MEMORANDUM MF NO. 22-33

DATE: December 27, 2022  
TO: Marine Advisory Board Members  
FROM: Andrew Cuba, Marine Facilities Manager  
RE: February 2, 2023 MAB Meeting - Dock Waiver of Distance Limitations – Stefani Green REV TR ETL; Robert Saporiti / 1208 Seminole Drive

Attached for your review is a revised application from – Stefani Green REV TR ETL; Robert Saporiti / 1208 Seminole Drive.

### APPLICATION AND BACKGROUND INFORMATION

The applicant is requesting approval for the installation of one (1) finger pier and three (3) mooring piles extending a maximum distance of 56.4'+/- into Sunrise Bay. The proposed structures encroach more than 25' from the property line into the adjacent Sunrise Bay, requiring Dock Waivers of Distance Limitations, as summarized in Table 1 below:

**TABLE 1**

<b>PROPOSED STRUCTURES</b>	<b>STRUCTURE DISTANCE FROM PROPERTY LINE</b>	<b>PERMITTED DISTANCE WITHOUT WAIVER</b>	<b>AMOUNT OF DISTANCE REQUIRING WAIVER</b>
<b>Finger Pier</b>	<b>36.4'+/-</b>	<b>25'</b>	<b>11.4'+/-</b>
<b>Inner Mooring Pile</b>	<b>36.2'+/-</b>	<b>25'</b>	<b>11.2'+/-</b>
<b>Outer Mooring Pile #1</b>	<b>56.2'+/-</b>	<b>25'</b>	<b>31.2'+/-</b>
<b>Outer Mooring Pile #2</b>	<b>56.4'+/-</b>	<b>25'</b>	<b>31.4'+/-</b>

The City's Unified Land and Development Regulations (UDLR) Sec. 47-19.3.C. limits the distance of mooring structures to 25' or 25% of the width of the waterway, whichever is less, and mooring piles to 25' or 30%, whichever is less, from the property line. Section 47-19.3.E authorizes the City Commission to waive that limitation based on a finding of extraordinary circumstances. The applicant Narrative Summation indicates that the proposed structures are necessary for safely mooring resident's vessel especially during high winds, tidal surges and severe weather, and serve to protect resident's vessel from excessive boat wakes.

### PROPERTY LOCATION AND ZONING

The property is located within the RS 4.4 Residential Single Family / Low Density District, resulting in a 10 foot vessel side yard setback

DOCK PLAN AND BOATING SAFETY

Marine Facilities' records reflect there have been fourteen (14) Waivers of Limitation approved by the City Commission within close proximity to 1208 Seminole Drive (**Table 2**).

**TABLE 2**

<b>DATE</b>	<b>ADDRESS</b>	<b>MAXIMUM DISTANCE</b>
<b>1979</b>	<b>1280 Seminole Drive</b>	<b>42'</b>
<b>1980</b>	<b>1224 Seminole Drive</b>	<b>40'</b>
<b>1984</b>	<b>1224 Seminole Drive</b>	<b>51'</b>
<b>1985</b>	<b>1240 Seminole Drive</b>	<b>46'</b>
<b>1990</b>	<b>2701 East Sunrise Blvd</b>	<b>487.4'</b>
<b>1990</b>	<b>2800 Yacht Club Blvd</b>	<b>120'</b>
<b>1994</b>	<b>1256 Seminole Drive</b>	<b>33'</b>
<b>1995</b>	<b>1272 Seminole Drive</b>	<b>40'</b>
<b>2009</b>	<b>1256 Seminole Drive</b>	<b>58'</b>
<b>2009</b>	<b>1224 Seminole Drive</b>	<b>50'</b>
<b>2011</b>	<b>1200 Seminole Drive</b>	<b>50'</b>
<b>2013</b>	<b>1100/1120 Seminole Drive</b>	<b>54.7'</b>
<b>2021</b>	<b>1207 Seminole Drive</b>	<b>48.8'</b>
<b>2022</b>	<b>1215 Seminole Drive</b>	<b>39'</b>

RECOMMENDATIONS

Should the Marine Advisory recommend approval of the application, the resolution under consideration by the City Commission should include at least the following as prescribed in the ULDR and City Code of Ordinances:

1. The applicant is required to comply with all applicable building and zoning regulations as well as any other Federal and State laws and permitting requirements including the Broward County Environmental Protection and Growth Management Department, the Florida Department of Environmental Protection and the U.S. Army Corps of Engineers.
2. As a general condition of approval and in order to review for final consistency with construction of facilities in accord with this application and City building permits the applicant is required to provide the City's Marine Facilities Supervisor with copies of "As Built" drawings from a certified and licensed contractor.

AC  
Attachment

cc:  
Enrique Sanchez, Deputy Director of Parks and Recreation  
Jon Luscomb, Marine Facilities Supervisor

**CITY OF FORT LAUDERDALE  
MARINE FACILITIES  
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES**

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

**APPLICATION FORM  
(Must be in Typewritten Form Only)**

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: Stefani Green REV TR ETL; Saporiti, Robert

TELEPHONE NO: 786-202-8912 EMAIL: Greenissa@yahoo.com  
(home/cellular)

2. APPLICANT'S ADDRESS (if different than the site address): 2772 NE 37<sup>th</sup> Dr, FTL, FL 33308

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST: Waiver of limitations for a 17' x 6' finger pier and mooring pilings

4. SITE ADDRESS: 1208 SEMINOL DR, FTL, FL 33308 ZONING: RS 4-4

LEGAL DESCRIPTION AND FOLIO NUMBER: Beach Way Heights Unit B-25-27 B Lot 72  
494236080690

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).

See Attached

  
Applicant's Signature

12/23/22  
Date

The sum of \$ \_\_\_\_\_ was paid by the above-named applicant on the \_\_\_\_\_ of \_\_\_\_\_, 20\_\_\_\_ Received by: \_\_\_\_\_

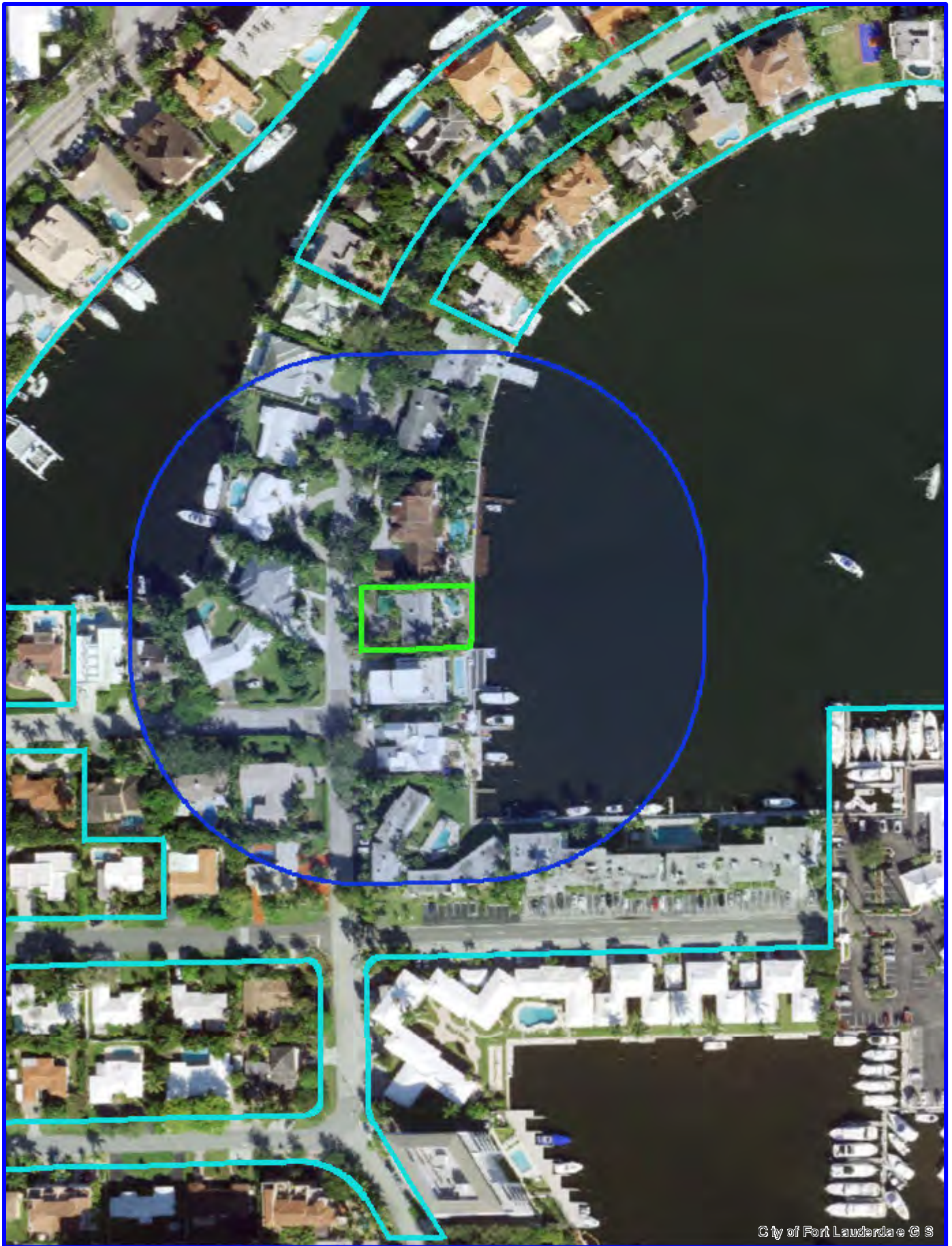
City of Fort Lauderdale

=====For Official City Use Only=====

**Marine Advisory Board Action**  
Formal Action taken on \_\_\_\_\_

**Commission Action**  
Formal Action taken on \_\_\_\_\_

Recommendation \_\_\_\_\_  
Action \_\_\_\_\_

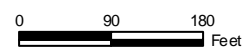


City of Fort Lauderdale GIS



CITY OF FORT LAUDERDALE

1208 Seminole Drive



**GIS**  
Fort Lauderdale

## Table of Contents

Exhibit	Page
Application	i
Aerial Photograph	ii
Table Of Contents	iii
Narrative Summation (2 pages)	1-2
Survey, 11x17 (1 page)	3
Site Plans showing Existing and Proposed Conditions, including specific dimensions and distances of proposed facilities, 11x17 (3 pages)	4-6
Cross Sectional Detail Drawing of Structures, 11x17 (7 pages)	7-13
Proof of ownership (2 pages)	14-15
Broward County General License permit, including State of Florida authorization (26 pages)	16-41
Army Corps of Engineers authorization (10 pages)	42-51

December 23, 2022

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

Re: Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

We are requesting waivers of limitations to install a new finger pier and new mooring piles at a single-family site. The existing seawall and existing concrete dock will remain. The dock was previously and recently approved by the city. The dock did not require a waiver of limitations. The current project and subject of this waiver request includes the installation of a new 17' x 6' concrete finger pier and associated concrete pier piles and 3 new single wood mooring piles.

Waterward extension of marine structures is proscribed by The City's Unified Land and Development Regulations (UDLR) Section 47-19.3. Paragraph c allows mooring structures, including docks and piers, to extend from the property line a maximum of 25% of the waterway width or 25 feet, whichever is less. Paragraph d allows mooring piles to extend from the property line a maximum of 30% of the waterway width or 25 feet, whichever is less

The property lies adjacent to Sunrise Bay, which is approximately 960 feet in width from this property to the edge of the Intracoastal. This would limit the finger pier and mooring piles to a maximum extension of 25 feet from the property line. The designed structural layout shows the pier extending 36.4' from the rear property line, the inner mooring pile extending 36.2', one outer mooring pile extending 56.2' and a second outer mooring pile extending 56.4'. These structures would require waivers of 11.4' for the pier, 11.2' for the inner mooring pile, 31.2' for the first outer mooring pile, and 31.4' for the second outer mooring pile.

STRUCTURE	REQUEST DISTANCE	MAXIMUM DISTANCE ALLOWED	VARIANCE DISTANCE REQUIRED
PIER	36.4'	25'	11.4'
INNER MOORING PILE	36.2'	25'	11.2'
OUTER MOORING PILE #1	56.2'	25'	31.2'
OUTER MOORING PILE #2	56.4'	25'	31.4'

The vessel is to be moored between the pier and the mooring piles and alongside the existing marginal dock. The pier and the mooring piles must extend far enough out to safely tie the vessel for its full length.

These structures have been approved by the Army Corps of Engineers, Broward County Environmental Protection and Growth Management, and the State of Florida Department of Environmental Protection (DEP approval was issued through Broward County)

This request for a waiver of limitations is justified as follows -

- The structures will not exceed the respective 25% and 30% limits
- Since 1979, there have been 13 waivers of limitation approved, with the maximum waterward distance ranging from 33 feet to 58 feet, and 2 others with approved distances of 120 feet and 487.4 feet. The requested distances in this application are typical for this area and body of water
- The requested distances will not cause or allow the structures or the vessels to encroach into any navigational channel or traffic.
- The requested pier and mooring piles are necessary to safely moor the resident's vessel, especially during times of high winds, tidal surges, and other severe weather.
- The requested pier and mooring piles are necessary to protect the resident's vessel from high wave energies generated from excessive boat wakes in Sunrise Bay and the Intracoastal Waterway.

We respectfully request that this waiver of limitation be approved as it is necessary to safely moor the vessel and is typical to the previous waivers that have been approved for this area.

Sincerely,



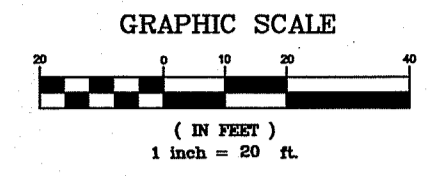
David Nutter  
B & M Marine Construction Inc.



prepared by:  
**McLAUGHLIN ENGINEERING COMPANY (LB#285)**  
 1700 N.W. 64th STREET, SUITE 400  
 FORT LAUDERDALE, FLORIDA 33309  
 PHONE: (954) 763-7611, FAX: (954) 763-7615  
 WEB SITE: MECO400.COM, EMAIL: INFO@MECO400.COM

# RECORD LAND SURVEY

## LOT 72, BEACH WAY HEIGHTS, UNIT "B", PLAT BOOK 25, PAGE 27, B.C.R.



### TREE SYMBOLS

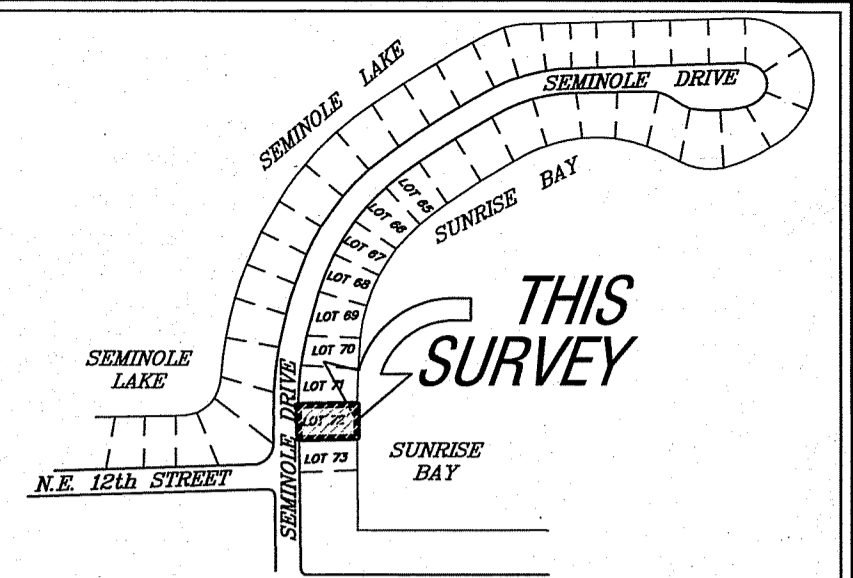
- INDICATES DIAMETER (D.B.H.)
- GUMBO LIMBO
- PALM TREE
- PALM CLUSTER
- POINSETTIA
- UNKNOWN TREE

### LEGEND

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>A = CENTRAL ANGLE (DELTA)</li> <li>A/C = AIR CONDITIONING</li> <li>A.K.A. = ALSO KNOWN AS</li> <li>A.L.P. = ALUMINUM LIGHT POLE</li> <li>ALTA = AMERICAN LAND TITLE ASSOCIATION</li> <li>A OR L = ARC LENGTH</li> <li>B.C.R. = BROWARD COUNTY RECORDS</li> <li>B.F.P. = BACK FLOW PREVENTER</li> <li>B.H. = BULKHEAD</li> <li>B = BASE LINE</li> <li>C.A.T.V. = CABLE TV TERMINAL OR BOX</li> <li>CALC. = CALCULATED</li> <li>C.B.S. = CONCRETE BLOCK AND STUCCO</li> <li>C = CENTERLINE OF RIGHT-OF-WAY</li> <li>CH = CHORD</li> <li>CH.BRG. = CHORD BEARING</li> <li>C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE</li> <li>C.L.F. = CHAIN LINK FENCE</li> <li>C.L.P. = CONCRETE LIGHT POLE</li> <li>C.P.L.P. = CONCRETE POWER LIGHT POLE</li> <li>C.P.P. = CONCRETE POWER POLE</li> <li>CO. = COMPANY</li> <li>CONC. = CONCRETE</li> <li>C/O = CLEAN OUT</li> <li>D.B. = DEED BOOK</li> <li>DESC. = DESCRIPTION FROM FORMER DESCRIPTION</li> <li>DIA. = DIAMETER</li> <li>D.B.H. = DIAMETER AT BREAST HEIGHT</li> <li>ELEC. = ELECTRIC</li> <li>ELEV. OR EL. = ELEVATION</li> <li>FL = FEET</li> <li>F.H. = FIRE HYDRANT</li> <li>F.D.O.T. = FLORIDA DEPARTMENT OF TRANSPORTATION</li> <li>F.N.A. = FORMERLY KNOWN AS</li> <li>F.L.L. = FLORIDA POWER AND LIGHT CO.</li> <li>GV = GAS VALVE</li> <li>G.T.M. = GREASE TRAP MANHOLE</li> <li>H.H. = HAND HOLE</li> <li>I.C.V. = IRRIGATION CONTROL VALVE</li> <li>INV. = INVERT</li> <li>L.P.G. = LIQUID PROPANE GAS</li> <li>LB. = LICENSED BUSINESS</li> <li>MAG. = MAGNETIC</li> <li>M.D.C.R. = MIAMI DADE COUNTY RECORDS</li> <li>MEAS. = FIELD MEASURE</li> </ul> | <ul style="list-style-type: none"> <li>M.H.W. = MEAN HIGH WATER</li> <li>MISC. = MISCELLANEOUS</li> <li>M.L.P. (S) = METAL LIGHT POLE</li> <li>± = MORE OR LESS</li> <li>MW = MONITORING WELL</li> <li>N.S. = NATIONAL GEODETIC SURVEY</li> <li>NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS</li> <li>NGVD29 = NATIONAL GEODETIC VERTICAL DATUM (1929)</li> <li>NAVD88 = NORTH AMERICA VERTICAL DATUM (1988)</li> <li>N.S.I.D. = NORTH SPRINGS IMPROVEMENT DISTRICT</li> <li>NO. = NUMBER</li> <li>O.R.B. = OFFICIAL RECORDS BOOK</li> <li>O/S = OFFSET</li> <li>O/W = OVERHEAD UTILITY LINES</li> <li>PC = PAGE</li> <li>P.B. = PLAT BOOK</li> <li>P.B.C.R. = PALM BEACH COUNTY RECORDS</li> <li>P.C. = POINT OF CURVE</li> <li>P.C.D. = POLLUTION CONTROL DEVICE</li> <li>P.I. = POINT OF INTERSECTION</li> <li>P.I.V. = POST INDICATOR VALVE</li> <li>P.O.B. = POINT OF BEGINNING</li> <li>P.O.C. = POINT OF COMMENCEMENT</li> <li>P.R.C. = POINT OF REVERSE CURVE</li> <li>P.R.M. = PERMANENT REFERENCE MONUMENT</li> <li>R = RADIUS</li> <li>R.C.P. = REINFORCED CONCRETE PIPE</li> <li>R/W = RIGHT-OF-WAY</li> <li>S.B.T. = SOUTHERN BELL TELEPHONE</li> <li>SE = SEWER VALVE</li> <li>S.H.W. = SEASONAL HIGH WATER LINE</li> <li>SQ./FT. = SQUARE FEET</li> <li>S.T.L. = SURVEY TIE LINE</li> <li>TAN. = TANGENT BEARING</li> <li>TAN.BRG. = TANGENT BEARING</li> <li>T.O.B. = TOP OF BAFFLE</li> <li>W.M. = WATER METER</li> <li>W.V. = WATER VALVE</li> <li>W.B.H. = WET FACE OF BULKHEAD</li> <li>W/F = WET FACE OF CAP</li> <li>W.L.P. = WOOD STREET LIGHT POLE</li> <li>W.P.L.P. = WOOD POWER STREET LIGHT POLE</li> <li>W.P.P. = WOOD POWER POLE</li> <li>W/McL. CAP. = WITH McLAUGHLIN ENGINEERING CO. CAP</li> <li>W/W.C. = WITH WITNESS CAP # 285</li> </ul> |
|---|---|

### NOTES:

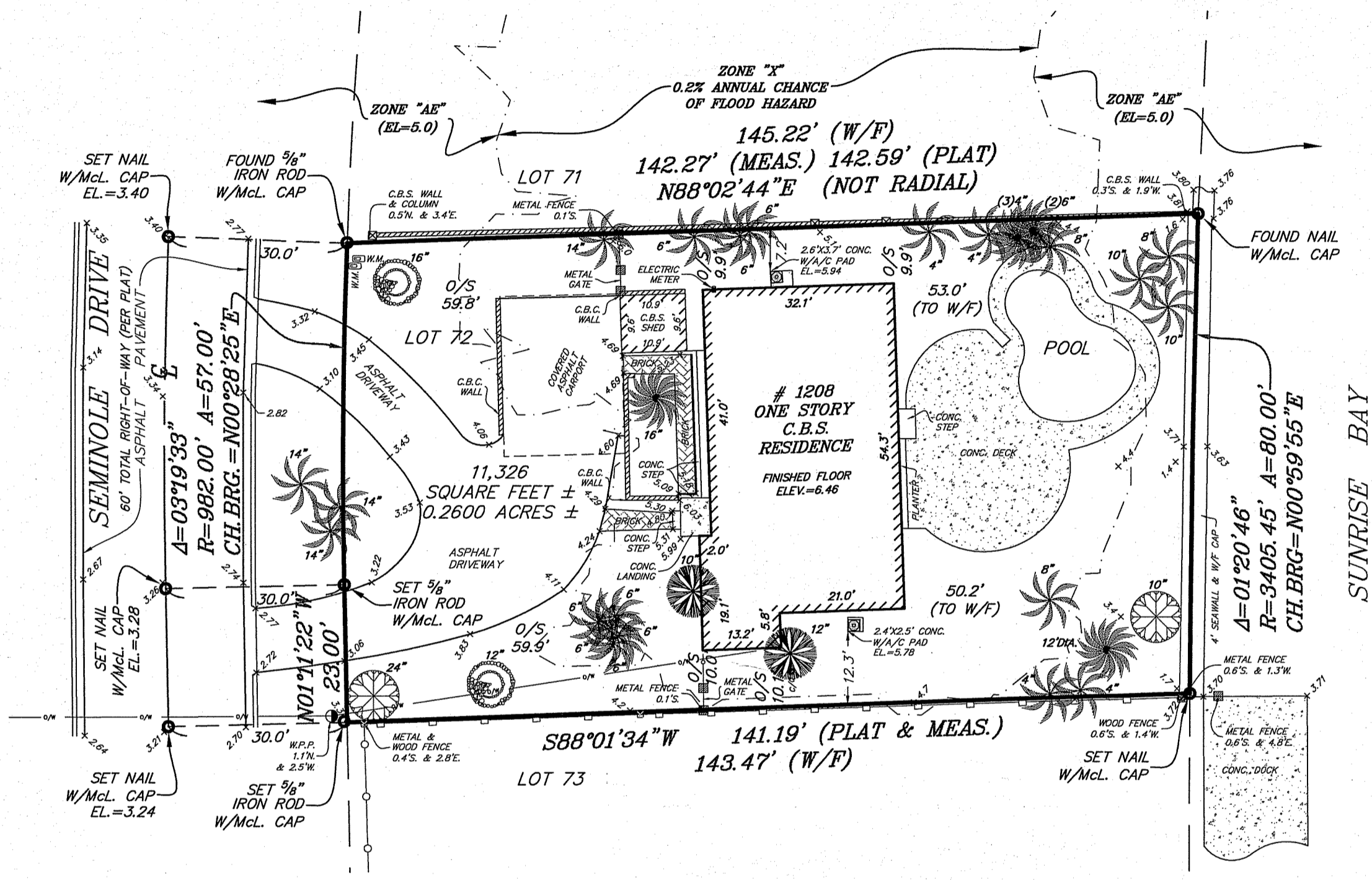
- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an authorized surveyors seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) All iron rods 5/8", unless otherwise noted.
- 6) Reference Bench Mark: City of Fort Lauderdale, BM # NE 856, Elevation= 3.025 (NAVD88).
- 7) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus:  $\pm$  Elev. = 3.40
- 8) This property lies in Flood Zones "AE", Elev.=5.0 and "X", 0.2% Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0308 H, Dated: August 18, 2014. Community Panel No. 125105.
- 9) Underground Utility locations shown hereon, if any, are based upon point marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.
- 10) Bearings shown hereon refer to record plat (25/27) and assume the East Right-of way line of Seminole Drive as North 01°11'22" West.
- 11) Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from <http://www.tech.army.mil/>



Location Sketch  
Not To Scale

### Legal Description

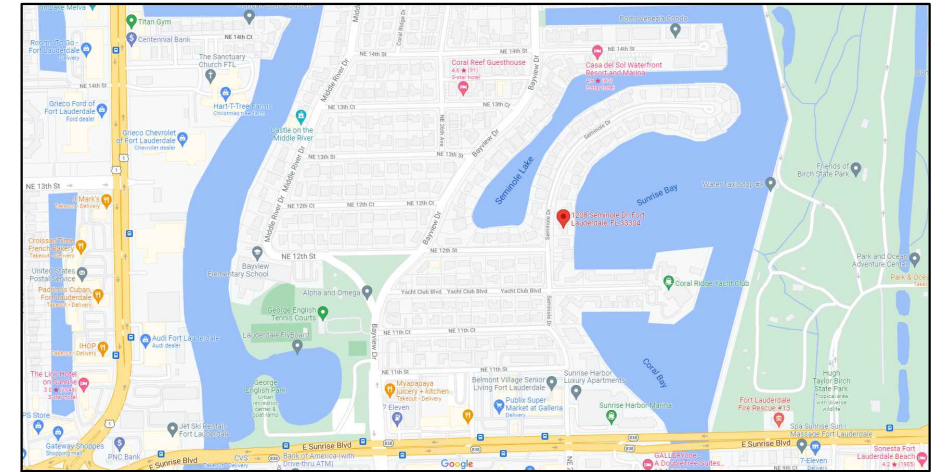
Lot 72, BEACH WAY HEIGHTS, Unit "B", according to the plat thereof, as recorded in Plat Book 25, Page 27, of the public records of Broward County, Florida.  
 Said land situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 11,326 square feet or 0.2600 acres, more or less.



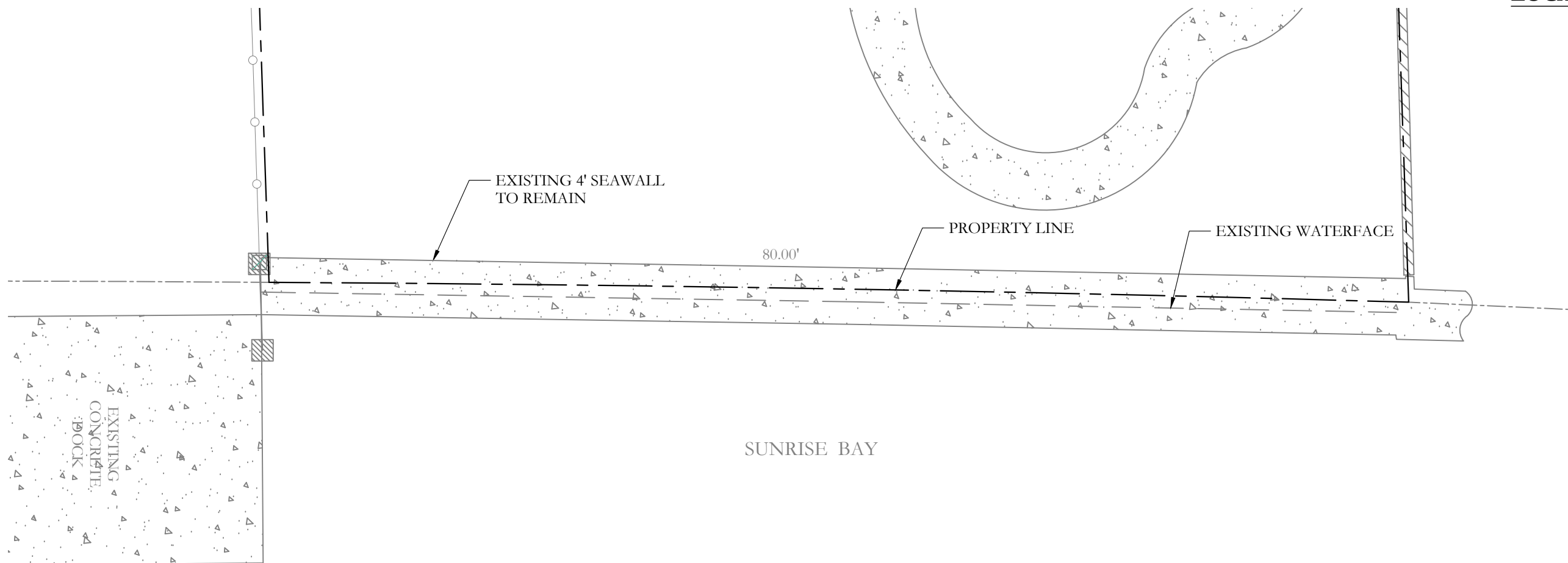
### CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
 Dated at Fort Lauderdale, Florida, this 8th day of September, 1953.  
 Resurveyed and elevations taken this 30th day of April, 1997.  
 Resurveyed and trees located this 9th day of April, 2021.

McLAUGHLIN ENGINEERING COMPANY  
 JERALD McLAUGHLIN  
 Registered Land Surveyor No. 5269  
 State of Florida.



**LOCATION MAP**



**EXISTING CONDITIONS**

SCALE: 1/8" = 1'-0"

**SHEET 1 OF 10**

**PREPARED FOR:**

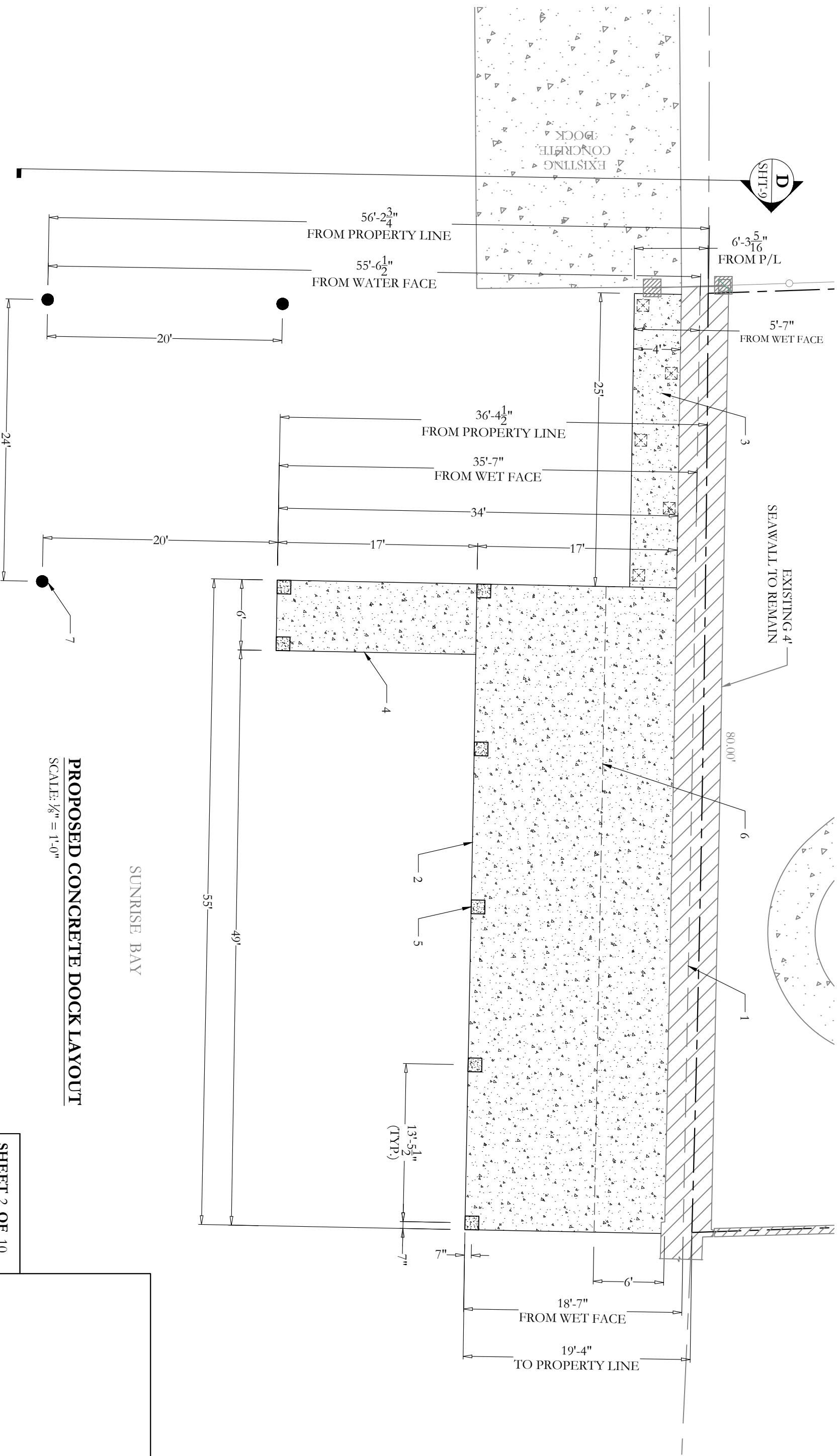
B&M MARINE CONSTRUCTION, INC.  
1211 S. MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

**PROJECT:**

Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET



**IDENTIFICATION:**

1. EXISTING WET FACE
2. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
3. PROPOSED 25' X 4' CONCRETE DOCK (5'-7" FROM WET FACE, 100 SQ. FT.)
4. PROPOSED 17' X 6' CONCRETE FINGER PIER (375" FROM WETFACE, 102 SQ. FT.)
5. PROPOSED 14" SQ. PILASTER, 48" TAIL ABOVE DOCK
6. PROPOSED 1' - 3' RIP RAP BOULDERS @2:1 SLOPE; 55L X 6W X 3H; 350 SQ. FT.; 18.33 CY
7. PROPOSED 12" DIA. WOOD MOORING PILES (TYP OF 3)

**PROPOSED CONCRETE DOCK LAYOUT**  
SCALE: 1/8" = 1'-0"

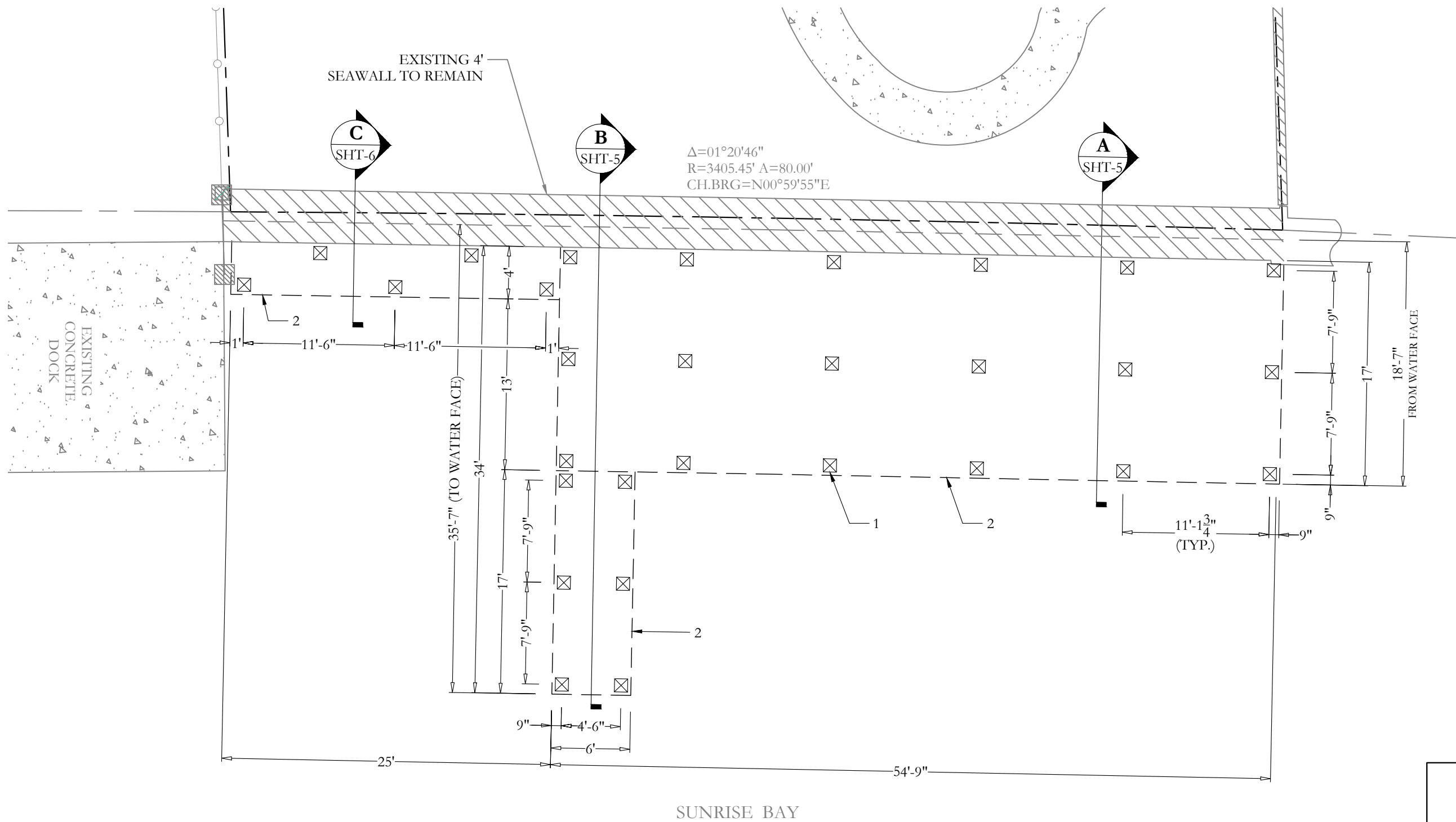
SUNRISE BAY

SHEET 2 OF 10

**PREPARED FOR:**  
B&M MARINE CONSTRUCTION, INC.  
1211 S. MILITARY TRAIL, SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

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WEBSITE: MWENGINEERING.NET



**PROPOSED CONCRETE DOCK STRUCTURAL LAYOUT**

SCALE: 1/8" = 1'-0"

SHEET 3 OF 10

**IDENTIFICATION:**

1. (27) PROPOSED 12" X 12" X 20' CONC. DOCK PILE
2. PROPOSED CONCRETE DOCK - SEE SHT 4, 5, & 6 FOR DETAILS.

**PREPARED FOR:**

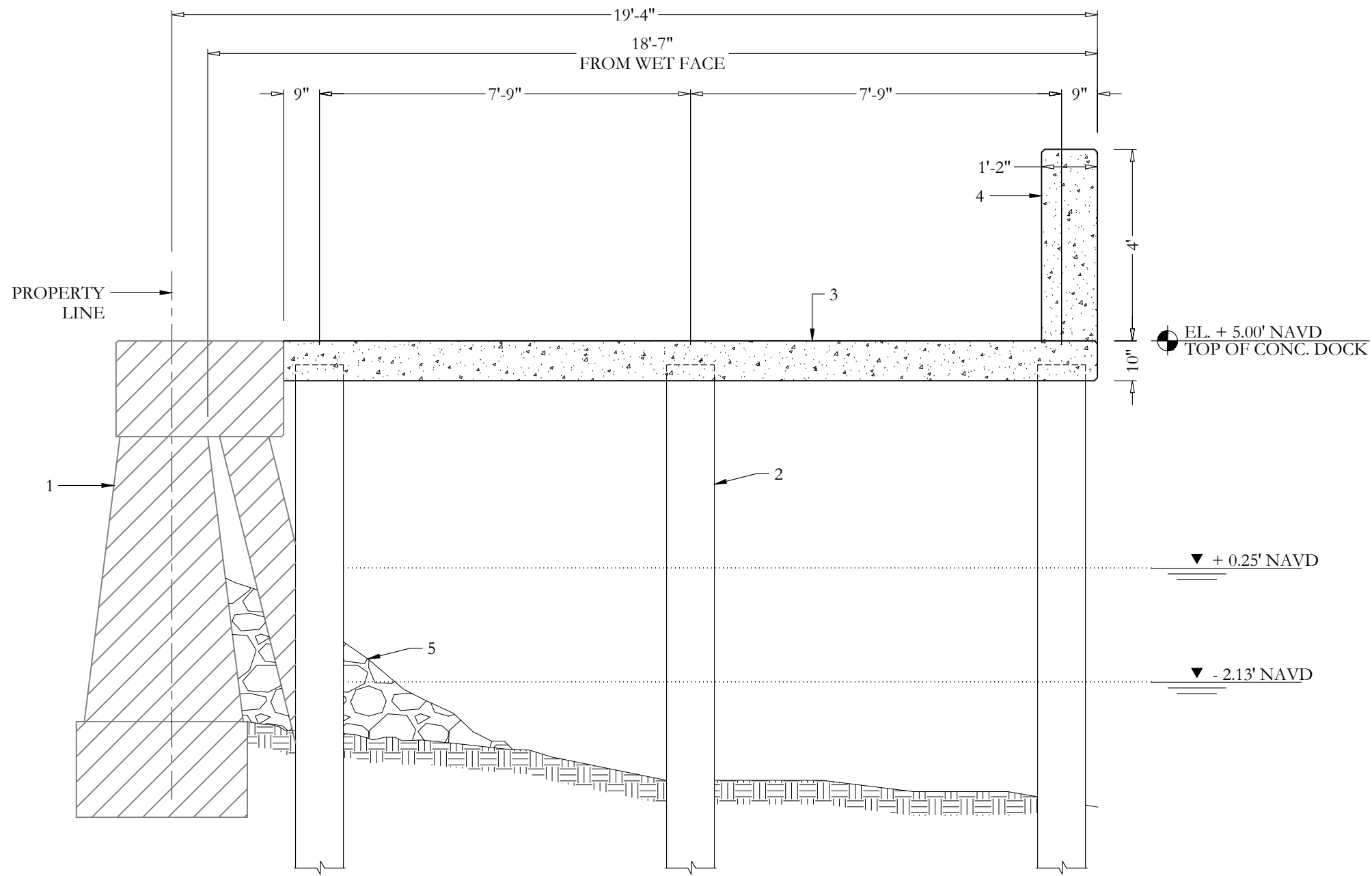
B&M MARINE CONSTRUCTION, INC.  
 1211 S. MILITARY TRAIL SUITE #200  
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**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET



**A SECTION A**  
 SHT-5 SCALE: 1/2" = 1'-0"

**SECTION A IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONC. DOCK PILE
3. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
4. PROPOSED 14" SQ. PILASTER, 48" TALL ABOVE DOCK
5. PROPOSED 1' - 3' RIP RAP BOULDERS @2:1 SLOPE; 55'L X 6'W X 3'H; 350 SQ. FT.; 18.33 CY.

SHEET 4 OF 10

**PREPARED FOR:**

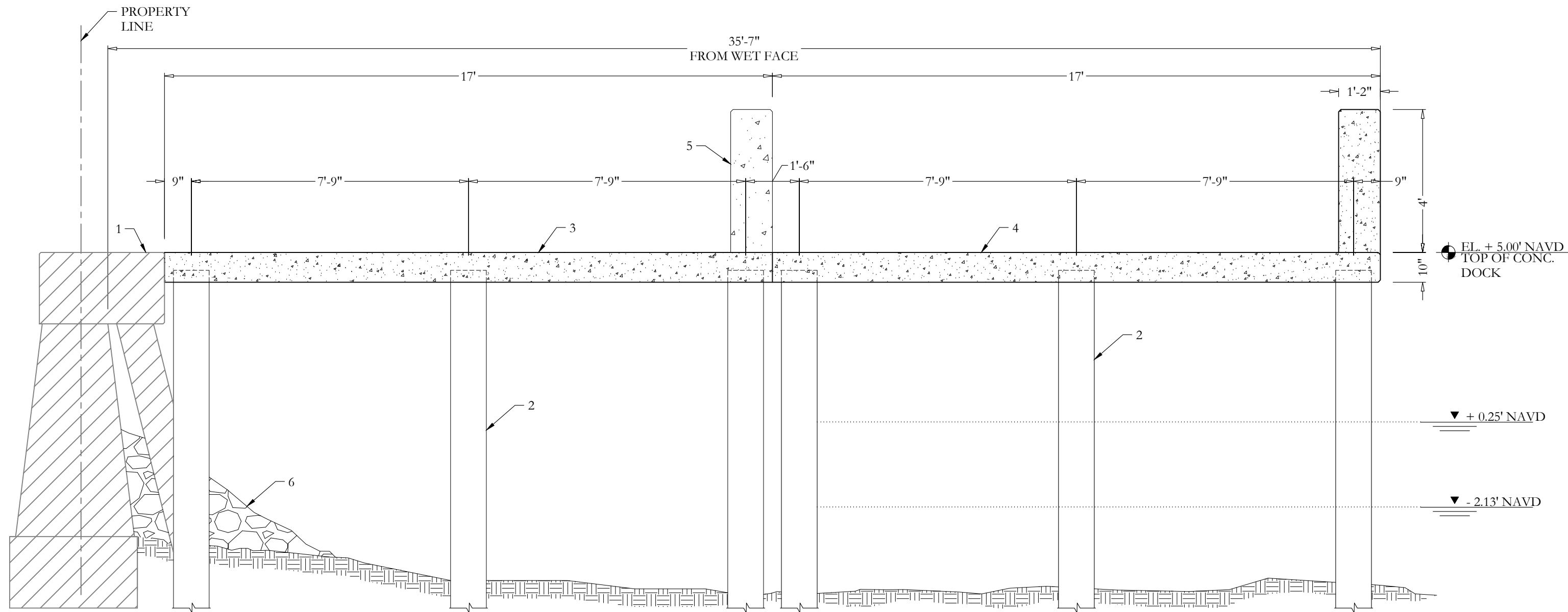
B&M MARINE CONSTRUCTION, INC.  
 1211 S. MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**

Proposed Concrete Dock for  
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**MARK WEBER, P.E.**  
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**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET



**B SECTION B**  
 SHT-5 SCALE:  $\frac{3}{8}'' = 1'-0''$

**SECTION B IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONC. DOCK PILE
3. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
4. PROPOSED 17' X 6' CONCRETE FINGER PIER (37'5" FROM WET FACE, 102 SQ. FT.)
5. PROPOSED 14" SQ. PILASTER, 48" TALL ABOVE DOCK
6. PROPOSED 1' - 3' RIP RAP BOULDERS @2:1 SLOPE; 55'L X 6'W X 3'H; 350 SQ. FT.; 18.33 CY.

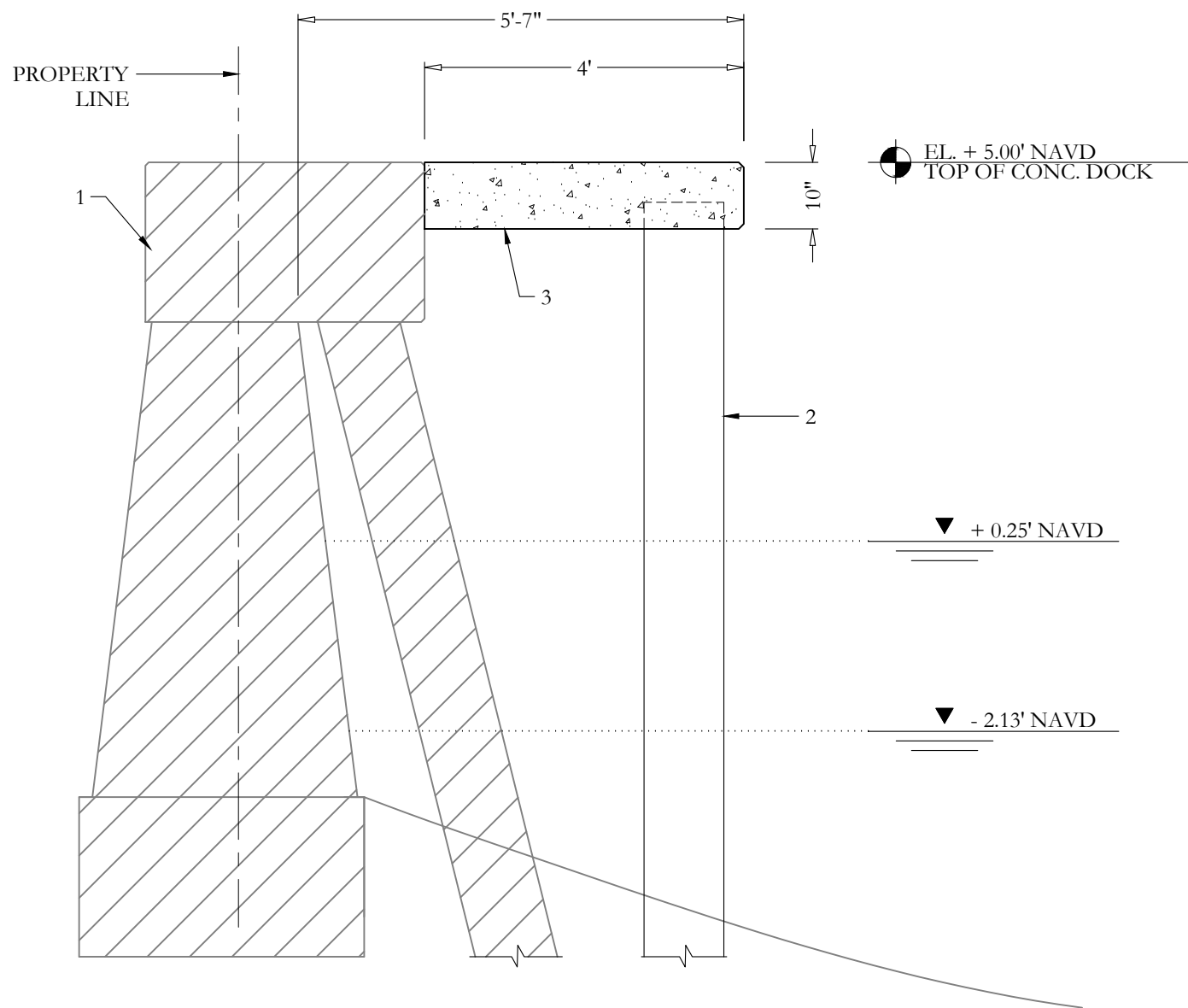
SHEET 5 OF 10

**PREPARED FOR:**  
 B&M MARINE CONSTRUCTION, INC.  
 1211 S. MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**  
 Proposed Concrete Dock for  
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 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702

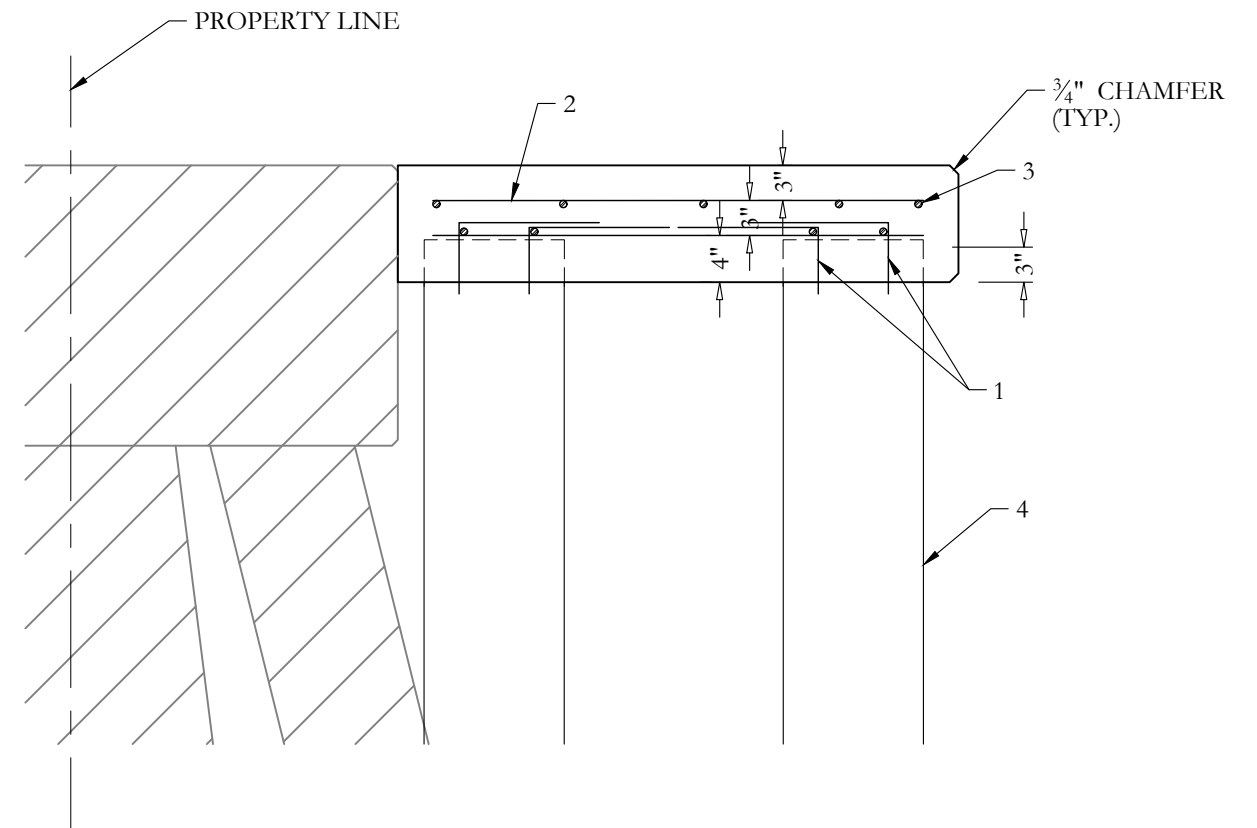
**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET



**C SECTION C**  
SHT-6 SCALE: 1/2" = 1'-0"

**SECTION C IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONC. DOCK PILE
3. PROPOSED 25' X 4' CONCRETE DOCK (5'-7" FROM WET FACE, 100 SQ. FT.)



**CONCRETE DOCK STEEL DETAIL - SECTION C**  
SCALE: 3/4" = 1'-0"

**IDENTIFICATION:**

1. SEE CONCRETE PILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. (2)#5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
4. PROPOSED 12" X 12" X 20' CONC. DOCK PILE

SHEET 6 OF 10

**PREPARED FOR:**

B&M MARINE CONSTRUCTION, INC.  
1211 S. MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

**PROJECT:**

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902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET

1. SEE CONCRETE PILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. #3 HOOPS @ 10" O.C. & (4) #5 BARS HOOKED INTO DOCK SLAB
4. (2)#5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
5. PROPOSED 12" X 12" X 20' CONC. DOCK PILE

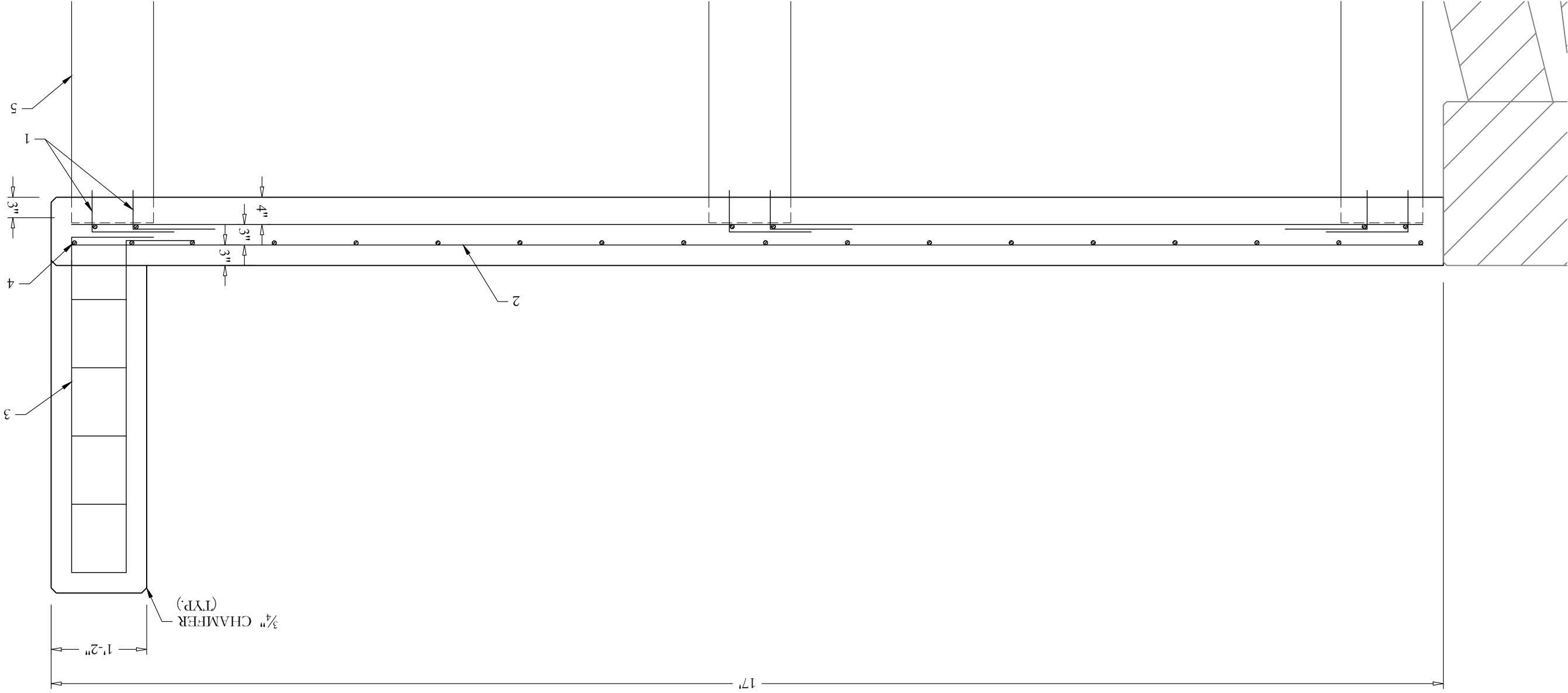
**CONCRETE DOCK STEEL IDENTIFICATION:**

10 of 51

**PREPARED FOR:**  
 B&M MARINE CONSTRUCTION, INC.  
 1211 S. MILITARY TRAIL, SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

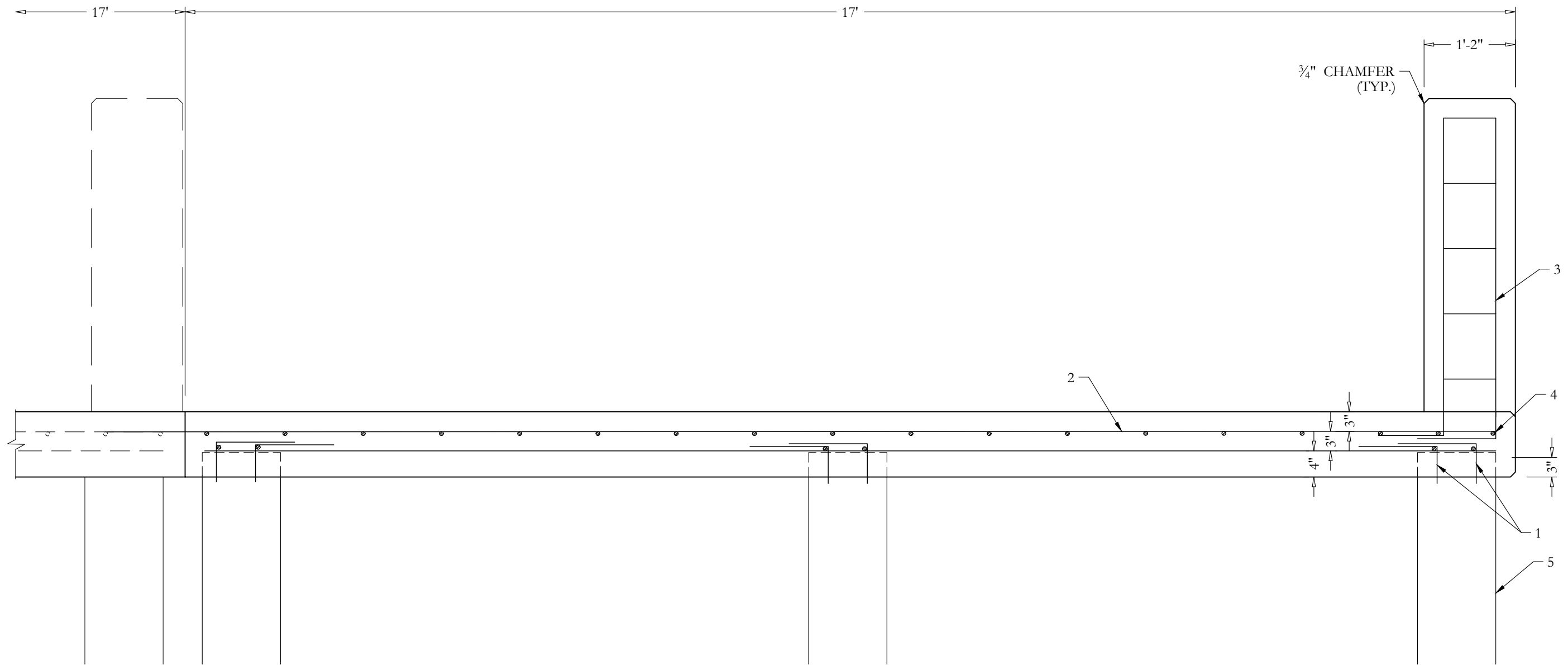
**PROJECT:**  
 Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**CONCRETE DOCK STEEL DETAIL - SECTION A**  
 SCALE: 3/4" = 1'-0"



SHEET 7 OF 10

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702  
**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET



**CONCRETE DOCK STEEL DETAIL - SECTION B**

SCALE: 3/4" = 1'-0"

**CONCRETE DOCK STEEL IDENTIFICATION:**

1. SEE CONCRETE PILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. #3 HOOPS @ 10" O.C & (4) #5 BARS HOOKED INTO DOCK SLAB
4. (2)#5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
5. PROPOSED 12" X 12" X 20' CONC. DOCK PILE

SHEET 8 OF 10

**PREPARED FOR:**

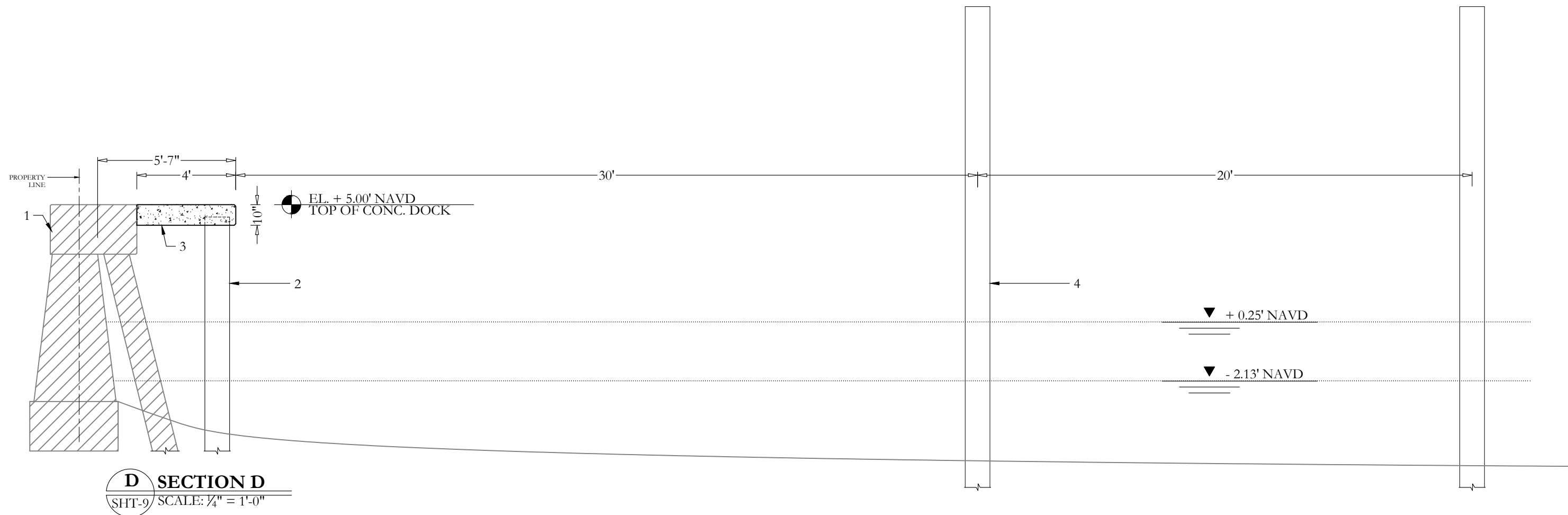
B&M MARINE CONSTRUCTION, INC.  
1211 S. MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

**PROJECT:**

Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET



**D SECTION D**  
 SHT-9 SCALE: 1/4" = 1'-0"

SHEET 9 OF 10

**SECTION C IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONC. DOCK PILE
3. PROPOSED 25' X 4' CONCRETE DOCK (5'-7" FROM WETFACE, 100 SQ. FT.)
4. PROPOSED MOORING 12" DIA. WOOD PILES (TYP OF 3)

**PREPARED FOR:**  
 B&M MARINE CONSTRUCTION, INC.  
 1211 S. MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**  
 Proposed Concrete Dock for  
 Stefani Green  
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 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET

**GENERAL NOTES:**

1. Construction to follow the Florida Building Code 7th Edition (2020) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each appertaining circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

**PILE DRIVING: (IF NEW PILES ARE INSTALLED)**

1. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
2. All pilings shall be driven to develop a minimum allowable bearing capacity of 10 tons and shall penetrate a minimum of 8' into yielding material or 2' min. penetration into rock is required.
3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
4. Piles shall be driven with a variation of not more than 1/4 inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

**CONCRETE NOTES: (IF CONCRETE STRUCTURES ARE INSTALLED)**

1. Concrete shall conform to ACI 318-14 and shall be regular weight, sulfate resistant, with a design strength of 5000 psi at 28 days with a maximum water-cementitious materials ratio, by weight aggregate concrete of 0.40.
2. Owner shall employ and pay for testing services from an independent testing laboratory for concrete sampling and testing in accordance with ASTM.
3. Licensed contractor is responsible for the adequacy of forms and shoring and for safe practice in their use and removal.
4. Concrete cover shall be 3" unless otherwise noted on the approved drawings.
5. Reinforcing steel shall be in conformance with the latest version of ASTM A615 Grade 60 specifications. All reinforcement shall be placed in accordance with ACI 315 and ACI Manual of Standard Practice.
6. Splices in reinforcing bars shall be not be less than 48 bar diameters and reinforcing shall be continuous around all corners and changes in direction. Continuity shall be provided at corners or changes in direction by bending the longitudinal steel around the corner 48 bar diameters.
7. Defective, cracked or loose concrete areas must be cut out, the rebar must be cleaned, coated with zinc and repaired with at least 3" of epoxy-concrete mix or gunnite concrete with sulfate-resistant cement.
8. For cap overpours, dowel and epoxy #5 bars or L-bars into top and/or front of existing cap, staggered @ 24" o.c., min. 4" embedment.

**CONCRETE PILE NOTES: (IF CONCRETE PILES ARE INSTALLED)**

1. Concrete piles shall attain 5000 psi compressive strength in 28 days.
2. Concrete piles shall be reinforced with four - 7/16"Ø lo-lax strands, 270 kips, and 5 ga. spiral ties.
3. Concrete piles shall be 12"x12" square, minimum length of 20'.
4. Concrete piles shall be cut to leave strands exposed a min. of 18" and tied to dock or cap steel.
5. For all prestressed pilings, extend pilings strands a min. of 18" into cap/dock slab steel or cut strands even w/ top of pilings & dowel & epoxy (2) #5 L-bars, 12" long w/ 12" bend, into top of pilings, w/ a min. of 4" embedment.
6. New batter and vertical pilings and panels to have a minimum 4" penetration into the new cap form. New dock pilings to have a minimum 3" penetration into the new dock slab form.

**WOOD PILES NOTES: (IF WOOD PILES ARE INSTALLED)**

1. Wood piles to be 2.5lb CCA treated in accordance with AWPA Standard C18.
2. Wood piles shall be a minimum diameter of 10"; Miami Dade County requires minimum diameter of 12".

**WOOD DOCK/PIER NOTES: (IF WOOD STRUCTURES ARE INSTALLED)**

1. All materials to be pressure treated pine unless otherwise noted.
2. All frame work materials to be Southern Yellow Pine Grade #1, Fb=1200 PSI and Fv=175 PSI.
3. All decking materials to be grade #1 unless otherwise noted.
4. All hardware to be Stainless Steel or Galvanized unless otherwise noted.

SHEET 10OF 10

**PREPARED FOR:**

B&M MARINE CONSTRUCTION, INC.  
1211 S. MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

**PROJECT:**

Proposed Concrete Dock for  
Stefani Green  
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**MARK WEBER, P.E.**  
LICENSE #53895 CA30702

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902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET

Prepared by:

**Kenneth V. Hemmerle, II, P.A.**  
1322 NE 4th Avenue, Suite E  
Fort Lauderdale, FL 33304  
(954) 768-9116

After Recording Return to:  
Law Offices of Tyler A. Gold, P.A.  
Tyler A. Gold, Esq.  
1250 S. Pine Island Rd. #200  
Plantation, FL 33324

\_\_\_\_\_  
[Space Above This Line For Recording Data]

## Warranty Deed

**This Warranty Deed** made this 7 day of May, 2021 between **Brian Kilcullen, a single man**, whose post office address is 1208 Seminole Drive, Fort Lauderdale, FL 33304, grantor, and **Stefani Green, as Trustee of The Stefani Green Revocable Trust, Dated October 5, 2017 and Robert Saporiti, a single man, as Tenants in Common**, whose post office address is 2772 NE 37 Drive, Fort Lauderdale, FL 33308, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida** to-wit:

**Lot 72, of BEACH WAY HEIGHTS – UNIT "B", according to the plat thereof recorded in Plat Book 25, Page 27, of the Public Records of Broward County, Florida.**

**Also known as 1208 Seminole Drive, Fort Lauderdale, FL 33304.**

**Subject to taxes for 2021 and subsequent years, covenants, conditions, restrictions, easements, reservations and limitations of record, if any, without intending to reimpose same.**

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

*Kenneth V. Hemmick*  
Witness  
Printed Name: Kenneth V. Hemmick, #

*Karolyn Quiantha*  
Witness  
Printed Name: Karolyn Quiantha

By: *Brian Kilcullen*  
Brian Kilcullen

State of Florida  
County of Broward

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 7 day of May, 2021 by **Brian Kilcullen** who  is personally known or  has produced a driver's license as identification.

[Seal]

*Karolyn Quiantha*  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_





Resilient Environment Department

**ENVIRONMENTAL PERMITTING DIVISION**

1 North University Drive, Mailbox 201, Plantation, Florida 33324 • 954-519-1483 • FAX 954-519-1412

**FLORIDA STATE ENVIRONMENTAL RESOURCE PROGRAM  
EXEMPTION VERIFICATION, GENERAL PERMIT and  
BROWARD COUNTY ENVIRONMENTAL RESOURCE LICENSE**

**PERMITTEE/LICENSEE:**

Stefani Green Revocable Trust and Robert Saporiti  
c/o Stefani Green  
2772 NE 37th Drive  
Fort Lauderdale, Florida 33308  
E-mail: [greenissa@yahoo.com](mailto:greenissa@yahoo.com)

FDEP Permit No.: 06-0362260-003,004  
EPGMD License No.: DF21-1389 Date of Issue: 02/09/22  
Expiration Date of Construction Phase: 02/09/27  
Project: Dock and Riprap Installation

This exemption verification, general permit and license is issued under the authority of Part IV of Chapter 373, F.S., and Title 62, Florida Administrative Code (F.A.C.). The activity is not exempt to operating agreements executed among the Department of Environmental Protection, Broward County, and the South Florida Water Management District, as outlined in a document entitled "Delegation Agreement Among the Florida Department of Environmental Protection, the South Florida Water Management District, and Broward County," the Resilient Environment Department is responsible for reviewing and taking final agency action on this activity.

This project has also been reviewed in accordance with the provisions of Chapter 27, Article XI Sec. 27-331 through 27-341 of the Broward County Code. This license is issued under the provision of Chapter 27 of the Broward County Code of Ordinances also cited as Broward County Natural Resource Protection Code hereinafter called the Code. The above-named application hereinafter called the licensee, is hereby authorized to perform the work or operate the facility shown on the approved drawing(s), plans, documents, and specifications as submitted by applicant, and made a part hereof and specifically described as follows:

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

**DESCRIPTION OF WORK**

This project involves: (1) construction of a new 25' by 4' marginal dock along the south of the property; and (2) construction of a new 17' by 55' marginal dock; and (3) construction of a new 6' by 12' finger pier adjoining the 17' wide dock. Total width of the proposed dock over water will be 5.6' to 35.6' as measured from the waterward face of the seawall panel to the waterward edge of the proposed 12-inch dock pilings, and the total area of all over water structures, including the seawall cap, shall not exceed 1,263.4 square feet. Boulder riprap will be placed at a 2:1 slope against the seawall under 55 linear feet of the proposed dock. This license does not authorize dredging, nor does it authorize impacts to seagrasses or any other natural resources.

## **LOCATION OF WORK**

This project is located at 1208 Seminole Drive along the eastern bank of Sunrise Bay, Section 36, Township 49 South, Range 43 East, in the City of Fort Lauderdale, Florida. Folio Number: 494236080690.

Construction shall be in accordance with the ERL application received on December 13, 2021, the ERP application received on December 13, 2021, all additional information submitted, plans stamped by the Department (attached) and with all General and Specific Conditions of this license.

Your request has been reviewed to determine whether it qualifies for (1) regulatory exemption, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal approval that may be necessary for work in wetlands or waters of the United States.

Your project did not qualify for the federal review portion of this verification request. **Additional authorization must be obtained prior to commencement of the proposed activity.** This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

### **1. Regulatory Review – Verified and Approved**

Based on the information submitted, the Department has verified that the activity as proposed is exempt under Chapter 62-330.051(12)(a), Florida Administrative Code, from the need to obtain a regulatory permit under part IV of Chapter 373 of the Florida Statutes.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification may not be valid if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. In the event you need to re-verify the exempt status for the activity, a new request and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required.

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached), and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration. Authority for review- Part IV of Chapter 373, F.S., Title 62, F.A.C. and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

### **2. Proprietary Review – Not required**

The activity does not appear to be located on sovereign submerged lands, and does not require further authorization under Chapter 253 of the Florida Statutes, or Chapters 18-20 or 18-21 of the Florida Administrative Code.

### 3. Federal Review – Not approved

Your proposed activity as outlined on your application and attached drawings does not qualify for Federal authorization pursuant to the State Programmatic General Permit and a SEPARATE permit or authorization shall be required from the Corps. You must apply separately to the Corps using the appropriate federal application form (ENG 4345). More information about Corps permitting may be found online in the Jacksonville District Regulatory Division Sourcebook.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection, or Duly Authorized Designee, State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

#### STATE GENERAL PERMIT

Your intent to use a general permit has been reviewed by Department staff for three types of authorizations: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

#### RED/EPGMD GENERAL CONDITIONS:

- (1) The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and enforceable by EPGMD pursuant to this chapter. EPGMD will review this license periodically and may revoke the license, initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives or principals.
- (2) This license is valid only for the specific uses set forth in the license application, and any deviation from the approved uses may constitute grounds for revocation and enforcement action by EPGMD.
- (3) In the event the licensee is temporarily unable to comply with any of the conditions of the license, the licensee shall notify EPGMD within twelve (12) hours. Within five (5) working days of the event, the licensee shall submit a written report to EPGMD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention toward repair, replacement, and reconstruction of destroyed facilities, and a schedule of action leading toward operation within the license conditions.
- (4) The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
- (5) This license must be available for inspection on the licensee's premises during the entire life of the license.
- (6) By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, that are submitted to EPGMD, may be used by EPGMD as evidence in any enforcement proceeding arising under Chapter 27, except where such use is prohibited by § 403.111, F.S.
- (7) The licensee agrees to comply with Chapter 27, as amended.
- (8) Any new owner of a licensed facility shall apply by letter for a transfer of license within thirty days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license

Page 3 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporrini  
Permit No.: 06-0362260-003,004  
ERL No.: DF21-1389

until the transferee applies for, and is granted the transfer of license. The transferee shall also be liable for performance in accordance with the license.

(9) The licensee, by acceptance of this license, specifically agrees to allow access to the licensed source at reasonable times by EPGMD personnel for the purposes of inspection and testing to determine compliance with this license and this Chapter 27.

(10) This license does not constitute a waiver or approval of any other license that may be required for other aspects of the total project.

(11) If the licensee wishes to renew a license or extend its term, the licensee shall make application sixty (60) days prior to its expiration. Expired licenses are not renewable.

(12) In addition to the general conditions set forth above, each license issued by EPGMD shall contain specific conditions determined by site conditions and requirements pursuant to the regulations as determined by the director of EPGMD. The licensee agrees that specific conditions are enforceable by EPGMD for any violation thereof.

(13) Enforcement of the terms and provisions of this license shall be at the reasonable discretion of EPGMD, and any forbearance on behalf of EPGMD to exercise its rights hereunder in the event of any breach by the licensee, shall not be deemed or construed to be a waiver of EPGMD's rights hereunder.

#### **RED SPECIFIC CONDITIONS:**

##### **A. STANDARD CONDITIONS**

(1) **Notify the Department in writing a minimum of 48 hours prior to project commencement and a maximum of 48 hours after project completion.** Commencement notification should include such information as the intended start date, estimated duration of construction, and the name and contact information of the firm contracted to do the work. **Failure to comply with this condition will result in enforcement action.**

(2) Any project caused environmental problem(s) shall be reported immediately to the Department's Environmental Response Line at 954-519-1499.

(3) All project generated solid waste and/or spoil material must be disposed of in a suitable approved manner at an upland location.

(4) All watercraft associated with the construction and use of the permitted structure shall only operate within waters of sufficient depth so as to preclude bottom scouring or prop dredging. **Specifically, there shall be a minimum 12-inch clearance between the deepest draft of the vessel (with the motor in the down position) and the top of any submerged resources or canal bottom at mean low water.**

(5) Turbidity screens, silt fences, or equivalent shall be properly employed and maintained as necessary to effectively contain suspended sediments and/or runoff during construction activities. **Dredging, filling, excavation, seawall removal, seawall construction, and other projects which result in similar degrees of disturbance to wet sediments shall in all cases employ turbidity control measures designed to effectively enclose the entire work area.**

(6) Turbidity levels shall be monitored and recorded if a visible turbidity plume is observed leaving the site during construction activities. If monitoring reveals that turbidity levels exceed 29 NTU's above natural background 50 feet downstream of the point of discharge, project activities shall immediately cease, and work shall not resume until turbidity levels drop to within these limits [62-302.530(69) FAC].

#### B. CONSTRUCTION CONDITIONS

(7) The new dock shall have a maximum over-water width of 5.6' to 35.6' for a total over-water area of 1,263 square feet, as measured from the wet face of the existing seawall panel to the waterward edge of the proposed decking, and shall otherwise be constructed as shown on the attached drawings.

(8) No dredging is authorized by this license.

(9) If the approved license drawings and/or license attachments/plans conflict with the specific conditions, then the specific conditions shall prevail.

(10) Demolition and construction related debris must be disposed of at an approved upland location and may not be left in the waterway.

(11) This license does not eliminate the necessity to obtain any required federal, state, local or special district authorizations prior to the start of any activity approved by this license.

#### C. PROTECTED MARINE SPECIES CONDITIONS

(12) All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The licensee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.

(13) All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(14) Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.

(15) All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shut down if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.

(16) Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com)

Page 5 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporiti  
Permit No.: 06-0362260-003,004  
ERL No.: DF21-1389

(17) Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the licensee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut-down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

#### D. SEAGRASS CONDITIONS

(18) Seagrass was observed adjacent to the footprint of the dock (in the mooring area). All personnel associated with the project shall be notified of the presence of seagrasses in the project area, the measures to be taken to avoid seagrass impacts, and the implications associated with unlicensed seagrasses impacts. Please be advised that impacts to seagrasses resulting from construction activities may result in enforcement action, including penalties and corrective action/mitigation.

(19) To minimize impacts to seagrasses from construction-related activities, pile driving shall be the method used to install all pilings.

(20) No permanent mooring of vessels will occur over seagrasses unless the water depth is three (3) feet or greater at mean low water.

#### E. DREDGING/TURBIDITY CONDITIONS

(21) All watercraft associated with the proposed work and/or use of the permitted structure shall only operate within waters of sufficient depth so as to preclude bottom scouring or prop dredging.

(22) If a visible turbidity plume is observed leaving the site at any time, the licensee shall:

- (a) Immediately cease all work contributing to the water quality violation. Operations may not resume until the Department gives authorization to do so.
- (b) Notify the Department's Development and Environmental Regulation Division immediately at (954) 519-1499, referencing the license number and project name.
- (c) Stabilize all exposed material contributing to the water quality violation. Modify the work procedures that were responsible for the violation and install more turbidity containment devices and/or repair any non-functioning turbidity containment devices.

(23) Single turbidity screens, booms, curtains, or equivalent shall be affixed, anchored, or weighted to the existing seawall as depicted on the approved plans and shall span from water's surface to the substrate and shall be maintained as necessary during construction activities to minimize migration of turbidity into the adjacent waterway.

(24) Connected turbidity curtain segments shall be overlapped and tied at the top and bottom so as to prevent turbidity from escaping through gaps between segments.

(25) Turbidity curtains shall be deployed to effectively encapsulate the work area without impeding navigation in public waterways.

#### F. RIPRAP CONDITIONS

(26) Approximately 55 linear feet of riprap shall be placed along the seawall starting at one foot below

Page 6 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporriti  
Permit No.: 06-0362260-003,004  
ERL No.: DF21-1389

mean high water and continuing at a 2:1 (horizontal:vertical) slope ratio. Riprap should not extend past the waterward edge of the structure and should be placed so that full tidal flushing is achieved.

(27) Riprap shall consist of unconsolidated lime-rock boulders (~12"-24") or rocks and shall be free of sediment, debris, and any toxic or otherwise deleterious substance. The riprap installment should allow the movement of water throughout the rocks providing habitat. Installation must be verified by staff as part of the as-built approval process discussed above.

(28) Evidence that the riprap was installed in accordance with the licensed design criteria (2 horizontal: 1 vertical slope ratio to one foot below mean high water) must be provided to and approved by the Department prior to the installation of decking materials (excluding stringers). Evidence may be provided by submitting as-built drawings, certified by a Professional Engineer registered in the State of Florida Evidence, demonstrating that the riprap is in compliance with the licensed design; or through scheduling a riprap inspection with Department Staff to visually verify compliance. Failure to receive Department approval for the riprap may result in requiring installation of additional riprap post-construction and/or enforcement action. Please be aware that any dock that extends more than 8' from the wet face of the seawall requires riprap installed at a 2 horizontal: 1 vertical slope ratio to one foot below mean high water. The rip rap material shall be installed within two weeks of completion of construction of the seawall/bulkhead.

**G. A COPY OF THIS LICENSE SHALL BE KEPT ON SITE DURING ALL PHASES OF LICENSED CONSTRUCTION.**

**NOTICE OF RIGHTS**

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

**Petition for Administrative Hearing**

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rule 28-106.201, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any email address, any facsimile number, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

Page 7 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporiti  
Permit No.: 06-0362260-003,004  
ERL No.: DF21-1389

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

#### Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. Under Section 120.60(3), F.S., however, any person who has asked the Department for notice of agency action may file a petition within 21 days of receipt of such notice, regardless of the date of publication. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

#### Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

#### Mediation

Mediation is not available in this proceeding.

#### FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

#### Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, M.S. 35, Tallahassee, Florida 32399-3000; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you revise your project after submitting the initial joint application, please contact us as soon as possible. Also, if you have any questions, please contact Michelle Decker at (954) 519-1205 or via e-mail at [MDecker@Broward.org](mailto:MDecker@Broward.org). When referring to this project, please use the County file number listed above.

Page 8 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporiti  
Permit No.: 06-0362260-003,004  
ERL No.: DF21-1389

Executed in Plantation, Florida.

**BROWARD COUNTY RESILIENT ENVIRONMENT DEPARTMENT as delegated by the STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION**

*Linda Sunderland*

Linda Sunderland  
Environmental Program Supervisor  
Environmental Permitting Division

*February 9, 2022*

Date

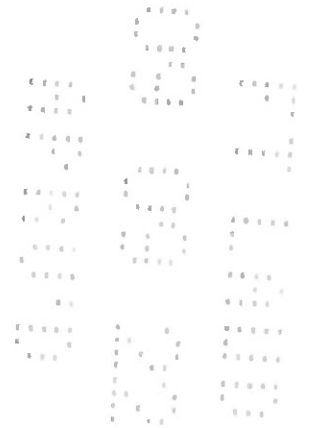
**CERTIFICATE OF SERVICE**

The undersigned duly designated deputy clerk hereby certifies that this determination, including all copies were sent on the filing date below to the above listed persons.

**FILING AND ACKNOWLEDGMENT**

FILED, on this date, pursuant to 120.52 Florida Statutes, with the designated Department Clerk, receipt of which is hereby acknowledged.

Michelle Decker                      February 9, 2022  
Clerk    Date



## Attachment A

### Chapter 62-330.051 Exempt Activities.

The activities meeting the limitations and restrictions below are exempt from permitting. However, if located in, on, or over state-owned submerged lands, they are subject to a separate authorization under Chapters 253 and 258, F.S., and Chapters 18-18, 18-20, and 18-21, F.A.C., as applicable.

#### (12) Construction, Replacement, Restoration, Enhancement, and Repair of Seawall, Riprap, and Other Shoreline Stabilization –

(b) The restoration of a seawall or riprap under Section 403.813(1)(e), F.S., where:

1. The seawall or riprap has been damaged or destroyed within the last year by a discrete event, such as a storm, flood, accident, or fire or where the seawall or riprap restoration or repair involves only minimal backfilling to level the land directly associated with the restoration or repair and does not involve land reclamation as the primary project purpose. See section 3.2.4 of Volume I for factors used to determine qualification under this provision;

2. Restoration shall be no more than 18 inches waterward of its previous location, as measured from the waterward face of the existing seawall to the face of the restored seawall, or from the waterward slope of the existing riprap to the waterward slope of the restored riprap; and

3. Applicable permits under Chapter 161, F.S., are obtained.

### Rule 62-330.405 Florida Administrative Code General Conditions for All General Permits

The following general permit conditions are binding upon the permittee and are enforceable under Chapter 373, F.S. These conditions do not apply to the general permit in Section 403.814(12), F.S.

(1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.

(2) This general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.

(3) This general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.

(4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.

(5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.

(6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with Chapter 120, F.S., and Section 373.429, F.S.

(7) This permit shall not be transferred to a third party except pursuant to Rule 62-330.340, F.A.C. The permittee transferring the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.

(8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the

Page 10 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporiti

Permit No.: 06-0362260-003,004

ERL No.: DF21-1389

permit.

(9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in this general permit.

(10) A permittee's right to conduct a specific activity under this general permit is authorized for a duration of five years.

(11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007)*, available at [www.dep.state.fl.us/water/wetlands/docs/erp/FL.ErosionSedimentManual\\_6\\_07.pdf](http://www.dep.state.fl.us/water/wetlands/docs/erp/FL.ErosionSedimentManual_6_07.pdf), and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008)*, available at [www.dep.state.fl.us/water/nonpoint/docs/erosion/erosion-inspectors-manual.pdf](http://www.dep.state.fl.us/water/nonpoint/docs/erosion/erosion-inspectors-manual.pdf).

(12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-earthen construction mats. In all cases, access in wetlands shall comply with the following:

- (a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter 4 inches or greater at breast height;
- (b) The maximum width of the construction access area shall be limited to 15 feet;
- (c) All mats shall be removed within 72 hours after the work commences; and
- (d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.

(13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.

(14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.

(15) Except where specifically authorized in a general permit, activities must not:

- (a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands;
- (b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to Section 373.042, F.S., or a Works of the District established pursuant to Section 373.036, F.S.; or

(16) If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

Page 11 of 13

Permittee/Licensee: Stefani Green Revocable Trust and Robert Saporiti  
Permit No.: 06-0362260-003,004  
ERL No.: DF21-1389

- (a) All vessels associated with the project shall operate at "Idle Speed/No Wake" at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
  - (b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.
  - (c) All in-water activities, including vessel operation, must be shutdown if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All on-site project personnel are responsible for observing water-related activities for the presence of listed species.
  - (d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com).
  - (e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at [imperiledspecies@myfwc.com](mailto:imperiledspecies@myfwc.com) with details of the event within 24 hours following detection of the spill or frac-out.
- (19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.
- (20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

*Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History--New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13.*

**62-330.427 General Permit for Docks, Piers and Associated Structures.**

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type. These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No

**Boat Mooring Allowed.”**

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

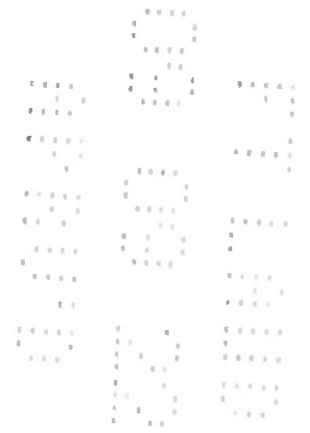
(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

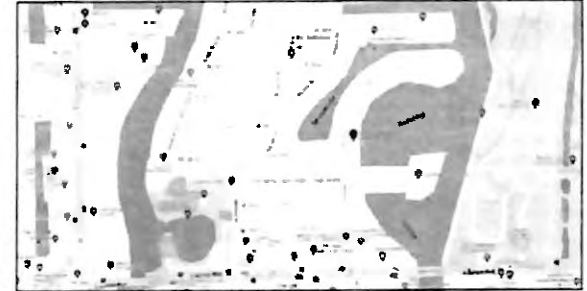
(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and

(f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under section 379.2431(2)(t), F.S.

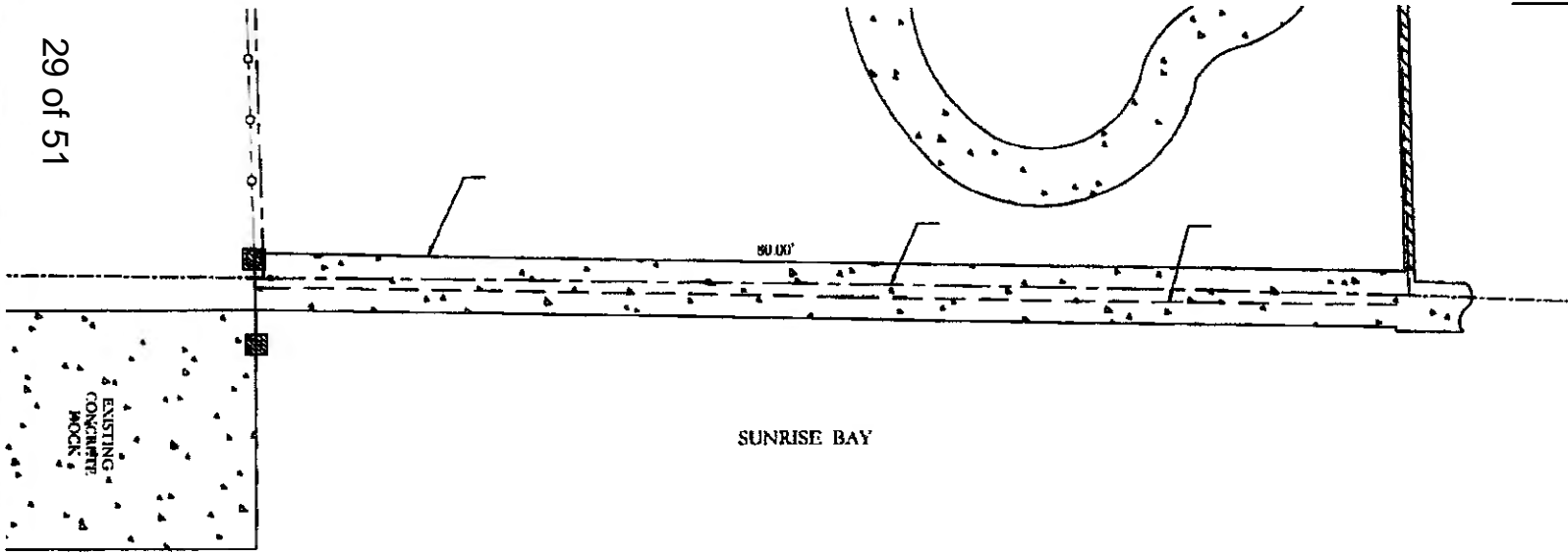
*Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.*



29 of 51



LOCATION MAP



SUNRISE BAY

**EXISTING CONDITIONS**

SCALE: 1/8" = 1'-0"



Digitally signed by Mark E Weber  
DN: c=US, st=Florida, l=Pompano Beach, o=MW Engineering, Inc., cn=Mark E Weber,  
email=markweber@mwengineering.net  
Date: 2022.01.14 12:00:43 -05'00'

SHEET 1 OF 9

**PREPARED FOR:**

P&M MARINE CONSTRUCTION, INC.  
7211 S MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

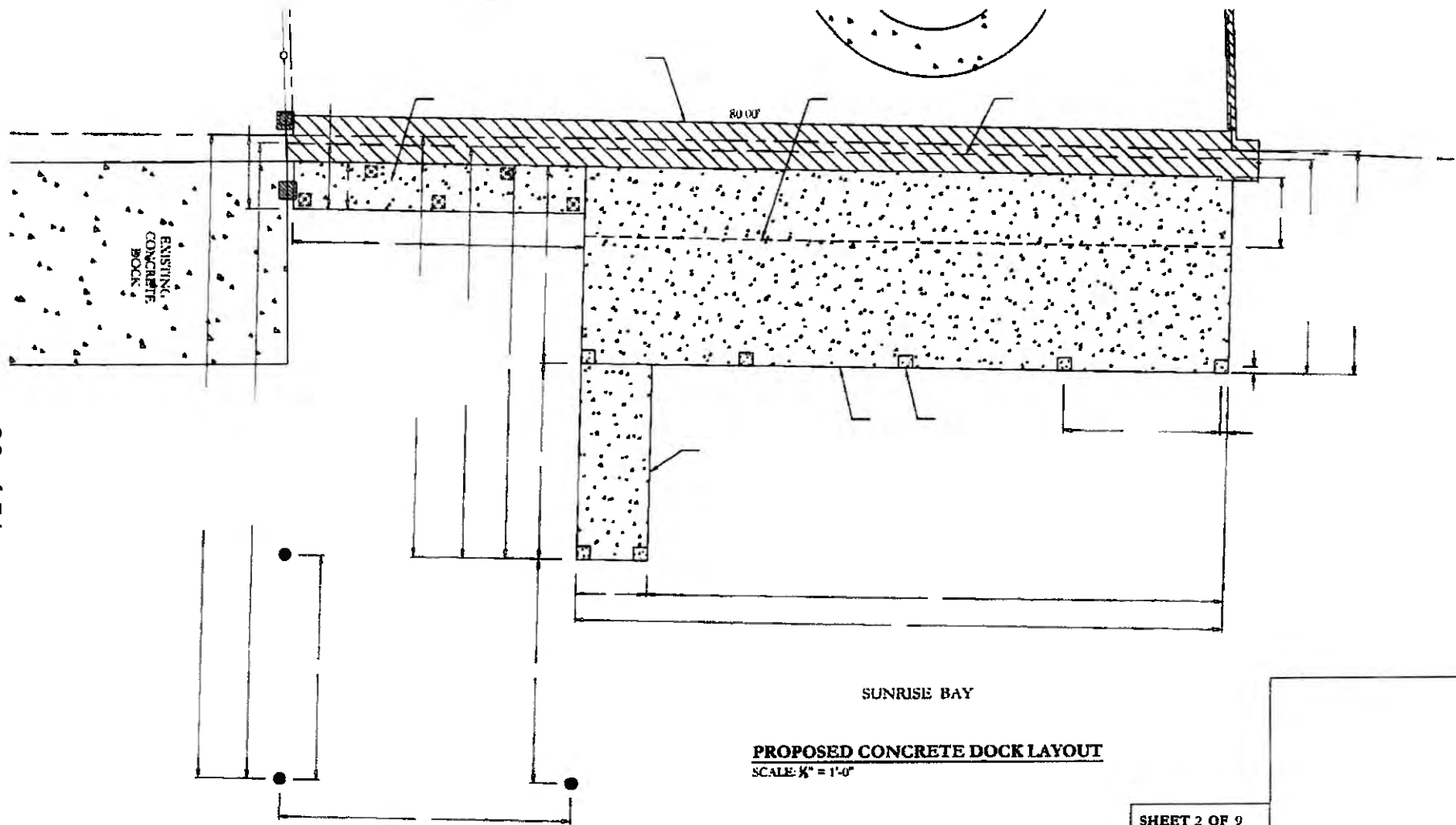
**PROJECT:**

Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
900 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET

30 of 51



**PROPOSED CONCRETE DOCK LAYOUT**

SCALE: 1/8" = 1'-0"

**IDENTIFICATION:**

- 1. EXISTING WET FACE
- 2. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
- 3. PROPOSED 25' X 4' CONCRETE DOCK (5'-7" FROM WET FACE, 100 SQ. FT.)
- 4. PROPOSED 17' X 6' CONCRETE FINGER PIER (375" FROM WET FACE, 102 SQ. FT.)
- 5. PROPOSED 14" SQ. PILASTER, 48" TALL ABOVE DOCK
- 6. PROPOSED 1' - 3' RIP RAP BOULDERS @2:1 SLOPE, 35% X 6"W X 3'H, 2,40 SQ. FT.; 18.33 CY.

SHEET 2 OF 9

**PREPARED FOR:**

**R&M MARINE CONSTRUCTION, INC.**  
 2111 MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

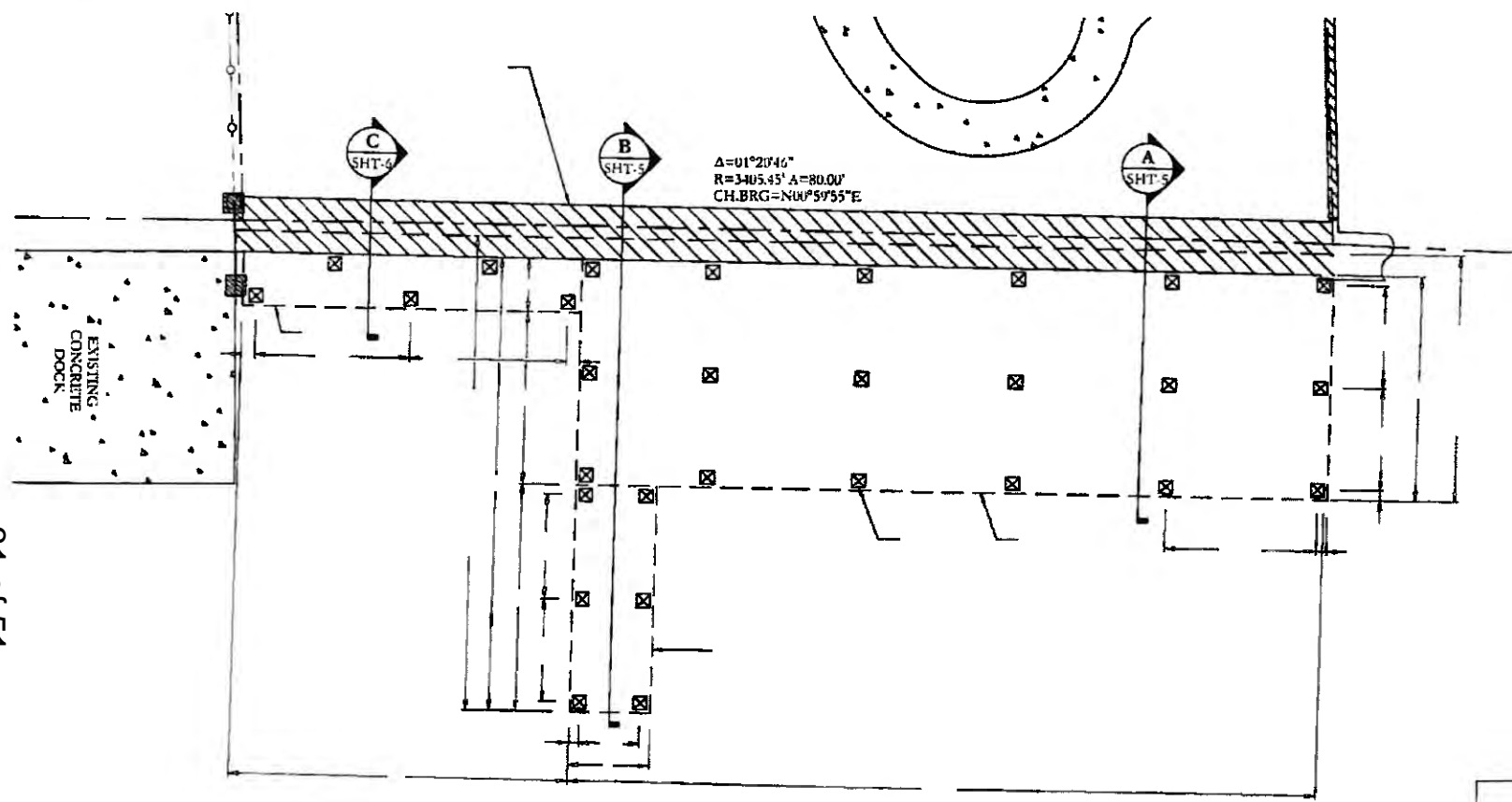
**PROJECT:**

Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 Pompano Beach, Florida 33060  
 OFFICE: (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET

31 of 51



SUNRISE BAY

**PROPOSED CONCRETE DOCK STRUCTURAL LAYOUT**  
 SCALE:  $\frac{1}{4}'' = 1'-0''$

SHEET 3 OF 9

**IDENTIFICATION:**

1. (27) PROPOSED 12" X 12" X 20' CONC. DOCK PILE
2. PROPOSED CONCRETE DOCK - SEE SHT 4, 5, & 6 FOR DETAILS

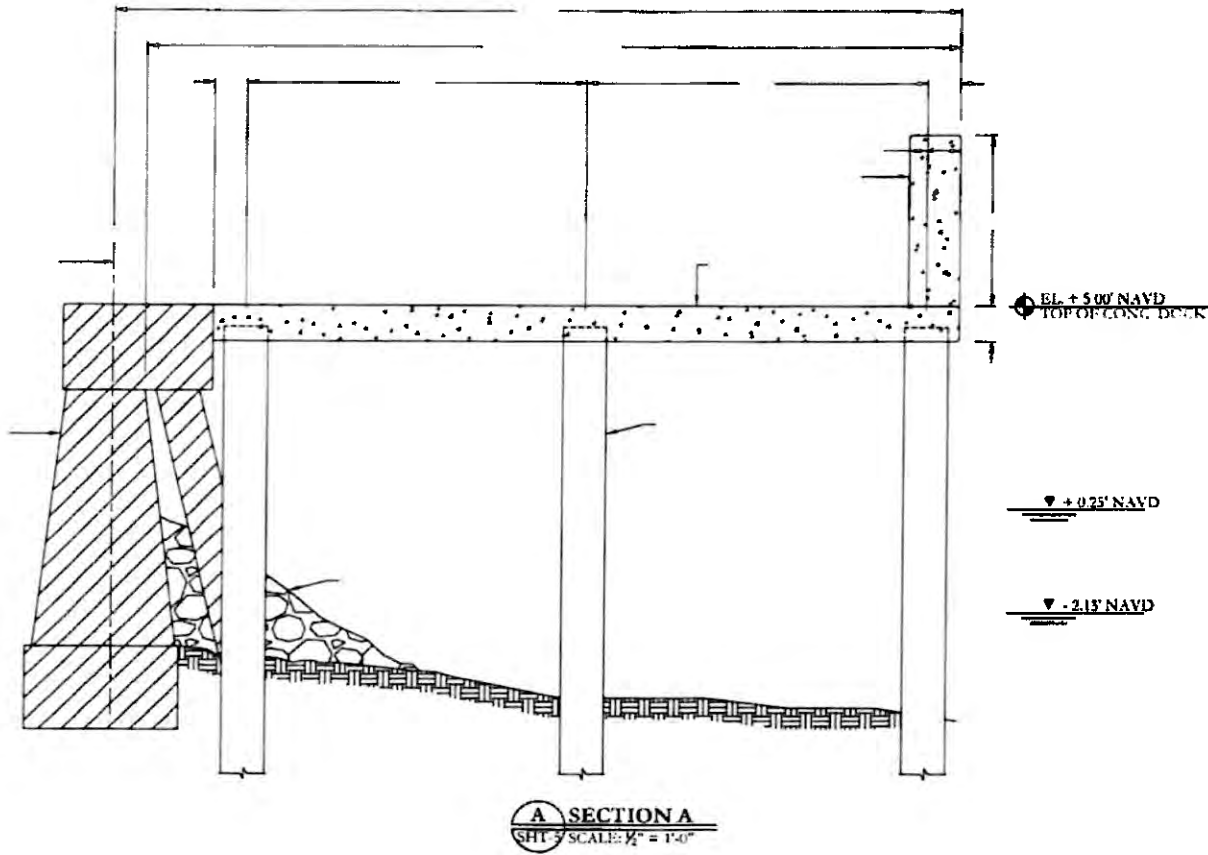
**PREPARED FOR:**  
 H&M MARINE CONSTRUCTION, INC.  
 7211 MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**  
 Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30712

**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE (754) 335 0877  
 WEBSITE MWENGINEERING.NET

32 of 51



**SECTION A IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONC DOCK PILE
3. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
4. PROPOSED 14" SQ. PILASTER, 48" TALL ABOVE DOCK
5. PROPOSED 1' - 3" RIP RAP BOULDERS @2:1 SLOPE, 55'L X 6'W X 3'H; 350 SQ. FT.; 18.33 CY.

SHEET 4 OF 9

**PREPARED FOR:**

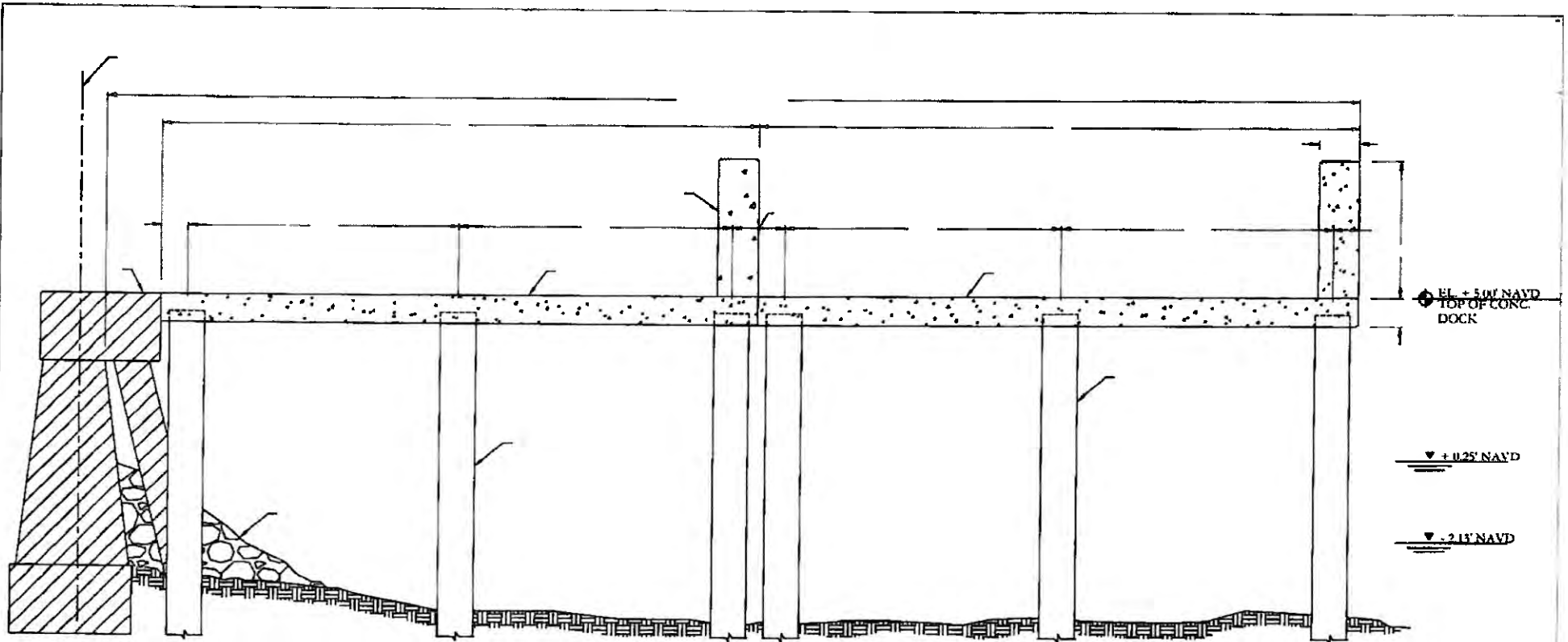
B&M MARINE CONSTRUCTION, INC.  
 211 S MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**

Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
 910 NE 1ST STREET SUITE #2  
 POMERANO BEACH, FLORIDA 33060  
 OFFICE (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET



33 of 51

**B SECTION B**  
 SHT. 5 SCALE: 1/4" = 1'-0"

**SECTION B IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONC. DOCK PILE
3. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
4. PROPOSED 17' X 6' CONCRETE FINGER PIER (57.5' FROM WET FACE, 102 SQ. FT.)
5. PROPOSED 14" SQ. PILASTER, 48" TALL ABOVE DOCK
6. PROPOSED 1' - 3" RIP RAP BOULDERS @2:1 SLOPE; 551.1 X 6' W X 11.0', 350 SQ. FT.; 18.33 CY.

SHEET 5 OF 9

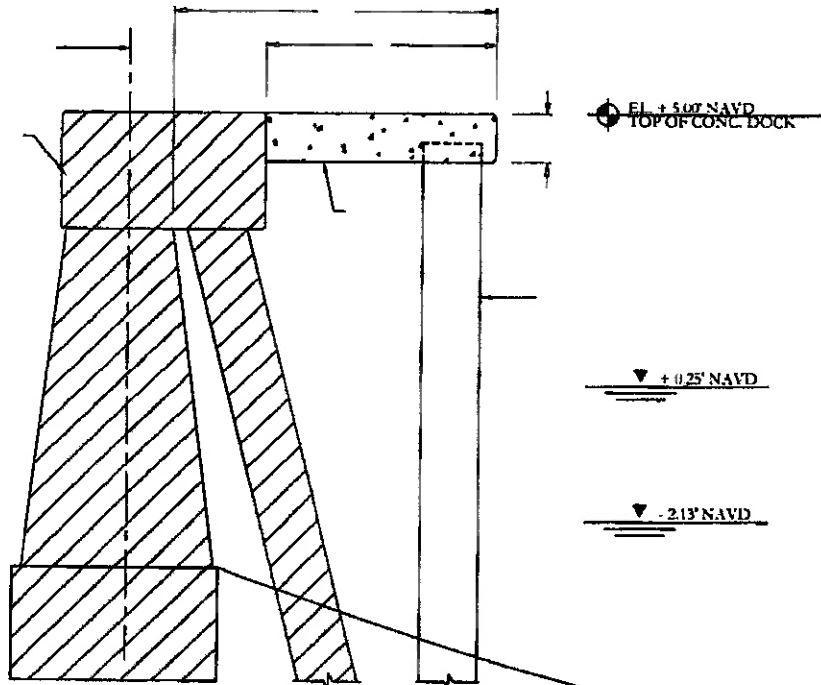
**PREPARED FOR:**  
 P&M MARINE CONSTRUCTION, INC.  
 211 MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**  
 Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

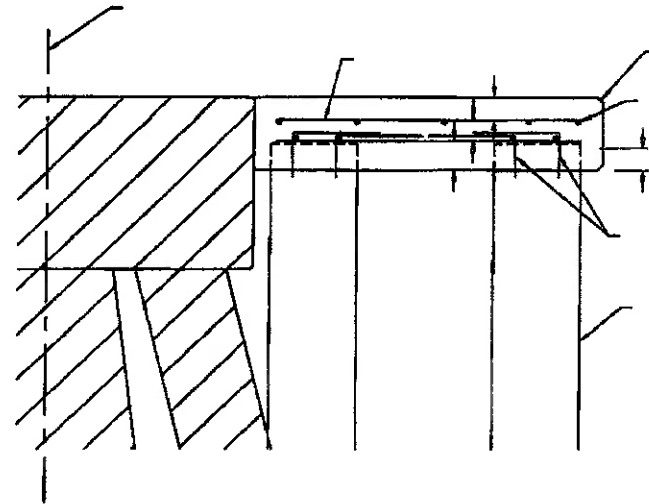
**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
 900 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE (754) 333 - 0877  
 WEBSITE MWENGINEERING.NET

34 of 51



**C SECTION C**  
SHT-6 SCALE: 3/8" = 1'-0"



**CONCRETE DOCK STEEL DETAIL - SECTION C**  
SCALE: 3/8" = 1'-0"

**IDENTIFICATION:**

- 1 SEE CONCRETE FILE NOTE #5
- 2 #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
- 3 (2)#5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
- 4 PROPOSED 12" X 12" X 20' CONC. DOCK PILE

**SECTION C IDENTIFICATION:**

- 1. EXISTING SEAWALL TO REMAIN
- 2. PROPOSED 12" X 12" X 20' CONC. DOCK PILE
- 3. PROPOSED 25' X 4' CONCRETE DOCK (5'-7" FROM WET FACE, 100 SQ. FT.)

SHEET 6 OF 9

**PREPARED FOR:**

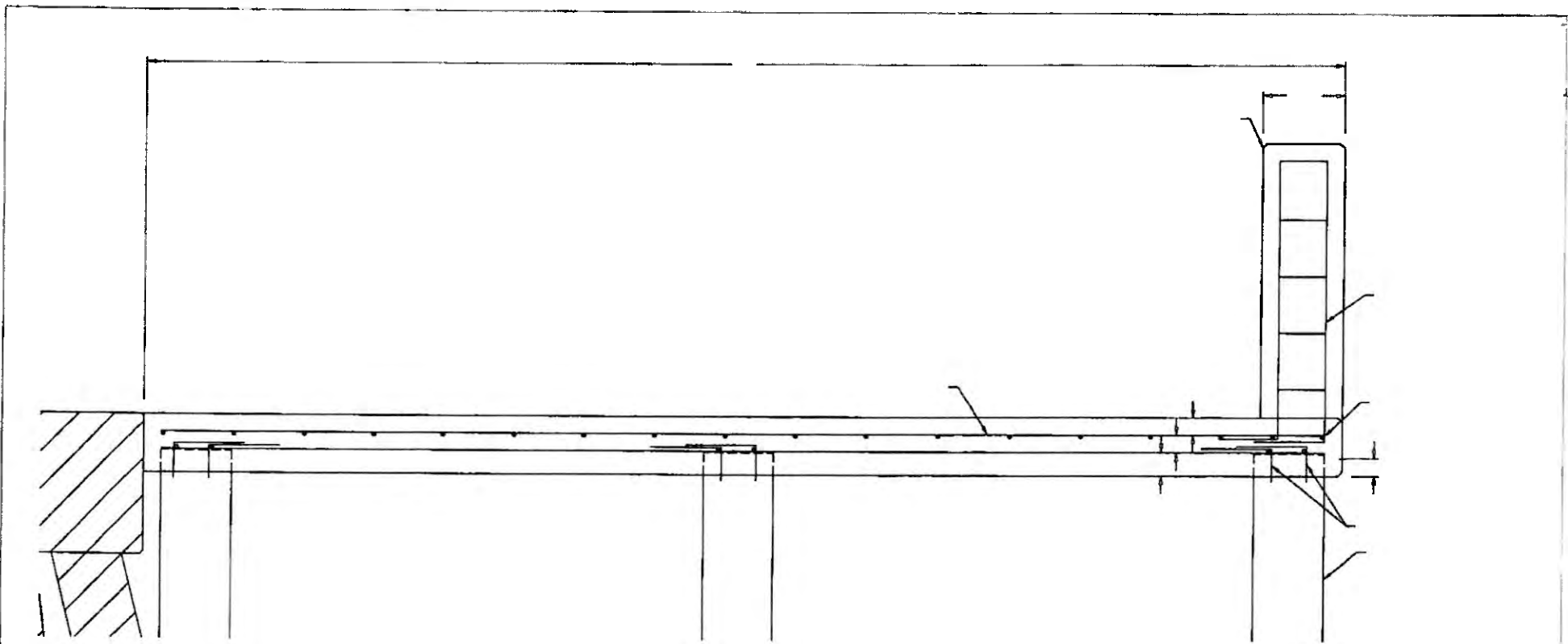
P&M MARINE CONSTRUCTION, INC.  
1271 S. MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
☎ (954) 421 - 1700

**PROJECT:**

Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE #53895 CA3702

**MW ENGINEERING, INC.**  
902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET



35 of 51

**CONCRETE DOCK STEEL DETAIL - SECTION A**

SCALE: 3/8" = 1'-0"

**CONCRETE DOCK STEEL IDENTIFICATION:**

1. SEE CONCRETE PILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. #3 HOOPS @ 10" O.C. & (4) #5 BARS HOOKED INTO DOCK SLAB
4. (2) #5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
5. PROPOSED 12" X 12" X 20' CONC. DOCK PILE

SHEET 7 OF 9

**PREPARED FOR:**

B&M MARINE CONSTRUCTION, INC.  
 1241 S. MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

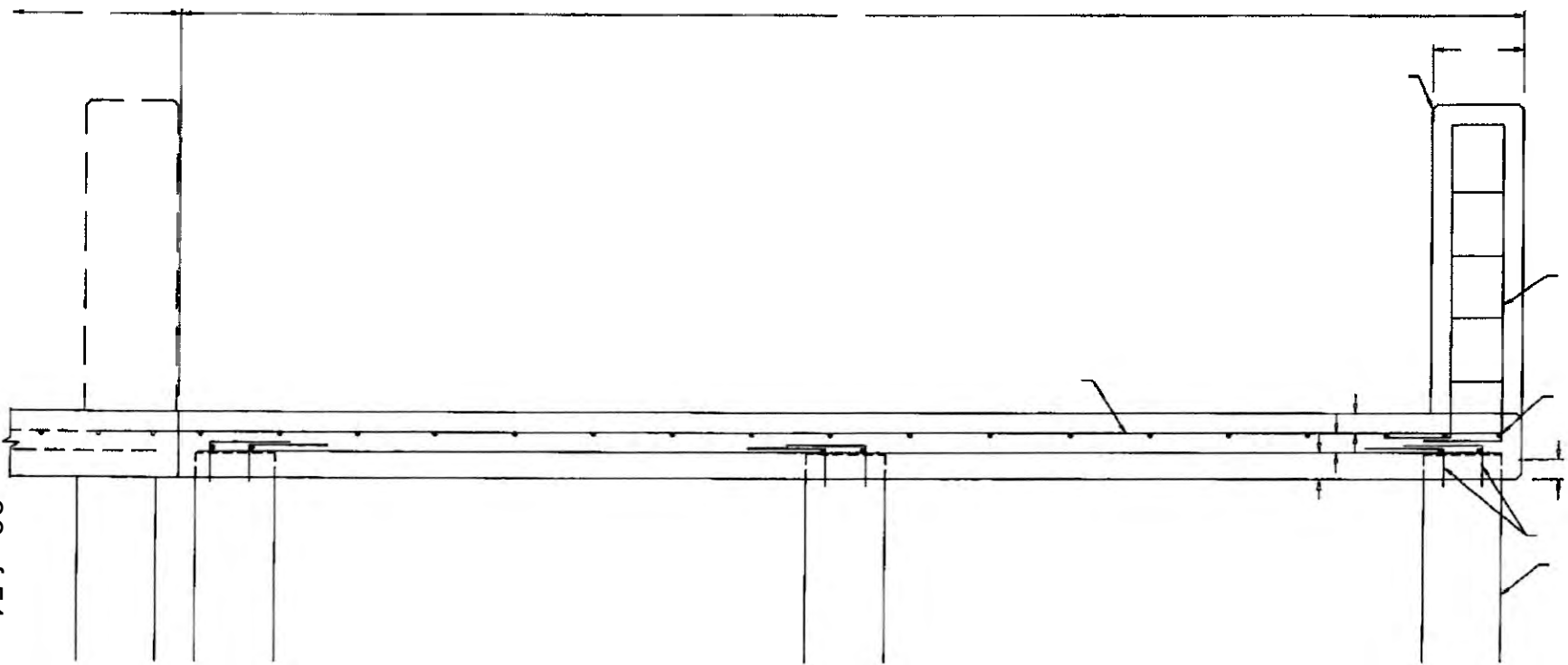
**PROJECT:**

Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30703

**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE (754) 333 - 0877  
 WEBSITE: MWENGINEERING.NET

36 of 51



**CONCRETE DOCK STEEL DETAIL - SECTION B**  
 SCALE: 3/8" = 1'-0"

**CONCRETE DOCK STEEL IDENTIFICATION:**

1. SEE CONCRETE PILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. #3 HOOPS @ 10" O.C. & (4) #5 BARS HOOKED INTO DOCK SLAB
4. (2)#5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
5. PROPOSED 12" X 12" X 20' CONC. DOCK PILE

SHEET 8 OF 9

**PREPARED FOR:**  
 B&M MARINE CONSTRUCTION, INC.  
 1241 S. MILITARY TRAIL SUITE #200  
 DEERFIELD BEACH, FL 33442  
 O: (954) 421 - 1700

**PROJECT:**  
 Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 CA30702

**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: 754 333 - 0877  
 WEBSITE: MWENGINEERING.NET

37 of 51

**GENERAL NOTES:**

1. Construction to follow the Florida Building Code 7th Edition (2020) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each applicable circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

**PILE DRIVING: (IF NEW PILES ARE INSTALLED)**

1. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of hammer energy.
2. All pilings shall be driven to develop a maximum allowable bearing capacity of 10 tons and shall penetrate a minimum of 8" into yielding material or 2' min. penetration into rock is required.
3. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weigh no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
4. Piles shall be driven with a variation of not more than 1/4 inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
5. Where piling must penetrate strata offering high resistance to driving, the structural engineer of record or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

**CONCRETE NOTES: (IF CONCRETE STRUCTURES ARE INSTALLED)**

1. Concrete shall conform to ACI 318-14 and shall be regular weight, sulfate resistant, with a design strength of 5000 psi at 28 days with a maximum water-cementitious materials ratio, by weight aggregate concrete of 0.40.
2. Owner shall employ and pay for testing services from an independent testing laboratory for concrete sampling and testing in accordance with ASTM.
3. Licensed contractor is responsible for the adequacy of forms and shoring and for safe practice in their use and removal.
4. Concrete cover shall be 3" unless otherwise noted on the approved drawings.
5. Reinforcing steel shall be in conformance with the latest version of ASTM A615 Grade 60 specifications. All reinforcement shall be placed in accordance with ACI 315 and ACI Manual of Standard Practice.
6. Splices in reinforcing bars shall be not be less than 48 bar diameters and reinforcing shall be continuous around all corners and changes in direction. Continuity shall be provided at corners or changes in direction by bending the longitudinal steel around the corner 48 bar diameters.
7. Defective, cracked or loose concrete areas must be cut out, the rebar must be cleaned, coated with zinc and repaired with at least 3" of epoxy-concrete mix or guncrete concrete with sulfate-resistant cement.
8. For cap overpours, dowel and epoxy #5 bars or L-bars into top and/or front of existing cap, staggered @ 24" o.c., min. 4" embedment.

**CONCRETE PILE NOTES: (IF CONCRETE PILES ARE INSTALLED)**

1. Concrete piles shall attain 5000 psi compressive strength at 28 days.
2. Concrete piles shall be reinforced with four #4 (1) to-lax strands, 270 kips, and 5 gal. spiral ties.
3. Concrete piles shall be 12"x12" square, maximum length of 20'.
4. Concrete piles shall be cut to leave strands exposed a min. of 18" and tied to dock or cap steel.
5. For all prestressed pilings, extend piling strands a min. of 18" into cap/dock slab steel or cut strands even w/ top of piling & dowel & epoxy (2) #5 L-bars, 12" long w/ 12" bend, into top of piling, w/ a min. of 4" embedment.
6. New batter and vertical piling and panels to have a minimum 4" penetration into the new cap form. New dock pilings to have a minimum 3" penetration into the new dock slab form.

**WOOD PILES NOTES: (IF WOOD PILES ARE INSTALLED)**

1. Wood piles to be 2.5lb CCA treated in accordance with AWPA Standard C18.
2. Wood piles shall be a minimum diameter of 10", Miami Dade County requires minimum diameter of 12".

**WOOD DOCK/PIER NOTES: (IF WOOD STRUCTURES ARE INSTALLED)**

1. All materials to be pressure treated pine unless otherwise noted.
2. All frame work materials to be Southern Yellow Pine Grade #1, Fb=1200 PSI and Fv=175 PSI.
3. All decking materials to be grade #1 unless otherwise noted.
4. All hardware to be Stainless Steel or Galvanized unless otherwise noted.

SHEET 9 OF 9

**PREPARED FOR:**

ERM MARINE CONSTRUCTION, INC.  
1211 S. MILITARY TRAIL SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

**PROJECT:**




Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE #53895 CA30702

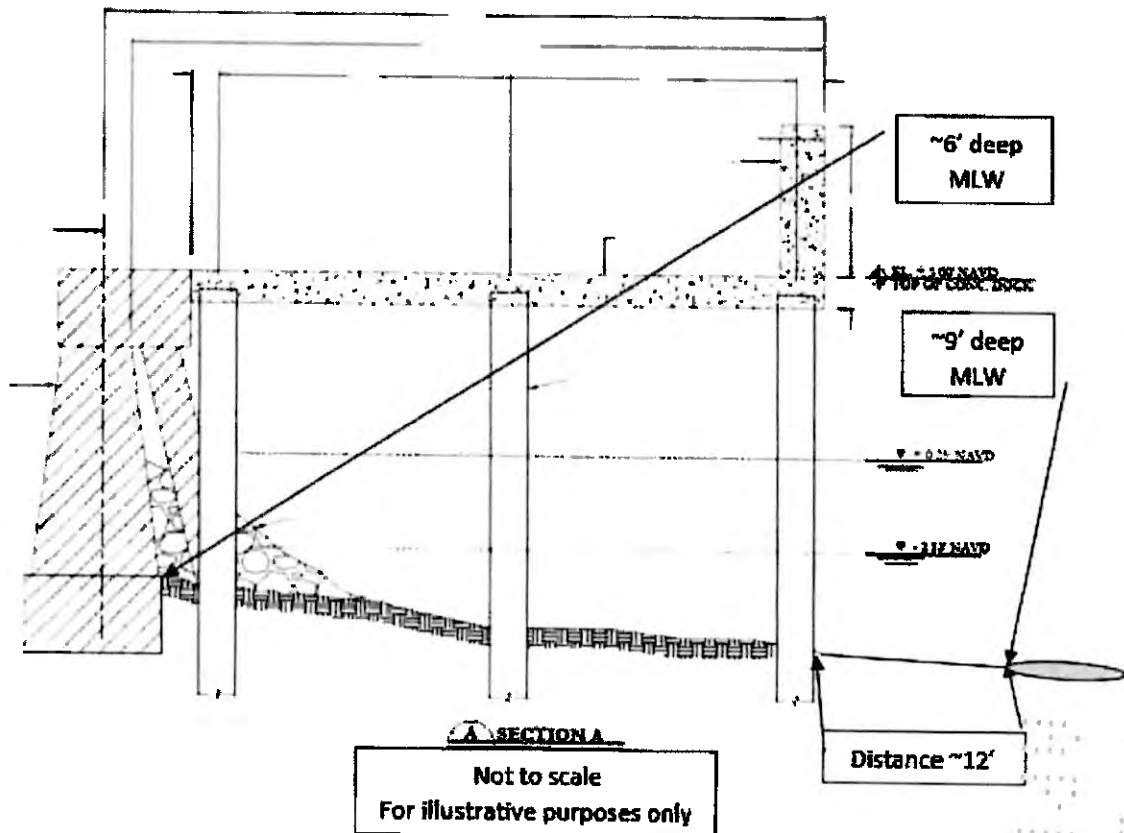
**MW ENGINEERING, INC.**  
902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET



1208 Seminole Dr. (Approximate boundary)

-  Survey Area
-  Transects (50' out)
-  Seagrass Area

<b>Benthic</b> <b>Surveys, Inc.</b> Marine Studies and Investigations	1208 Seminole Drive Seagrass Survey	REVISION	DATE 9/11/2021
	Aerial Map Section 36/Township 49/Range 42 Ft. Lauderdale, Broward County, FL		SHEET 1 of 1
			SCALE: As Shown



Minimal coverage (2 to 15%) of *Halophila decipiens* was found in an area approximately 30 feet from wetface of existing seawall, approximately 35 feet from the south property line, extending north and east. No seagrass area will be affected by construction or shading. Water depth at the foot of the seawall is approximately 6 feet at MLW. Seagrass growth starts at a depth of approximately 9 feet MLW and extends deeper. During pile installation, the barge will be positioned in water depths of 5 feet MLW or greater and will be anchored to avoid damage to seagrass areas.

	Seagrass Illustration
<p>PREPARED FOR:  <b>B&amp;M MARINE CONSTRUCTION, INC.</b>          1211 S. MILITARY TRAIL SUITE #200          DEERFIELD BEACH, FL 33442          O: (954) 421 - 1700          Broward County and State ERP</p>	<p><b>Project:</b>          Proposed Concrete Dock for          Stefani Green          1208 Seminole Drive          Fort Lauderdale, Florida</p>

**STANDARD MANATEE CONDITIONS FOR IN-WATER WORK**  
2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the FWC Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com)
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the Florida Fish and Wildlife Conservation Commission (FWC) must be used (see [MyFWC.com/manatee](http://MyFWC.com/manatee)). One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. Questions concerning these signs can be sent to the email address listed above.

# CAUTION: MANATEE HABITAT

All project vessels

## IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work  
all in-water activities must

## SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

**1-888-404-FWCC(3922)**

cell \*FWC or #FWC



DEPARTMENT OF THE ARMY  
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT  
4400 PGA BOULEVARD, SUITE 500  
PALM BEACH GARDENS, FLORIDA 33410

March 14<sup>th</sup>, 2022

Regulatory Division  
South Branch  
Palm Beach Gardens Section  
SAJ-2021-04047 (NW/GP-CGK)

Stefani Green  
2772 NE 37th Drive  
Fort Lauderdale, FL 33308

Dear Ms. Green:

The U.S. Army Corps of Engineers (Corps) has completed the review of your application for a Department of the Army permit received on December 13<sup>th</sup>, 2021. Your application was assigned file number SAJ-2021-04047 (NW/GP-CGK). A review of the information and drawings provided indicates that the project involves constructing a (1) 25-foot by 4-foot concrete dock on 3 new concrete dock piles, a (2) a 55-foot by 17-foot concrete dock on 18 new concrete dock piles, a (3) 6-foot by 17-foot finger pier on 6 new concrete dock piles, and (4) installing 18.33 cubic yards of riprap along 55 linear feet of the shoreline, 6 feet waterward from the seawall wetface, at a 2:1 slope. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403) and Section 404 of the Clean Water Act of 1899 (33 U.S.C. § 1344). The project is located at 1208 Seminole Drive, Section 36, Township 49 South, Range 42 East, in Fort Lauderdale, Broward County, Florida.

The aspect of your project involving the riprap as depicted on the attached drawings, is authorized by Nationwide Permit 13 (NWP-13), Shoreline Stabilization. **This verification is valid until March 14, 2026.** In order for this NWP authorization to be valid, you must ensure that the work is performed in accordance with the Nationwide Permit General Conditions, the Jacksonville District Regional Conditions, and the General and Project-Specific Special Conditions listed below. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant nationwide permit is modified or revoked, you will have 12 months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this NWP. Alternatively, you can access the U.S. Army Corps of Engineers' (Corps) Jacksonville District's Regulatory Source Book web page for links to view Nationwide Permit information at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book/>. Please be aware this Internet address is case sensitive and should be entered as it appears above. Once there you will need to select "Source Book"; and, then select "Nationwide Permits." These files contain the description of the Nationwide Permit authorization, the Nationwide Permit general conditions, and the regional conditions, which apply specifically to this NWP verification.

1. **Reporting Address:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:
  - a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).
  - b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.
  - c. The Permittee shall reference this permit number, SAJ-2021-04047 (NW/GP-CGK) on all submittals.
2. **Commencement Notification:** Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed "Commencement Notification" Form (Attachment B).
3. **Assurance of Navigation and Maintenance:** The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.
4. **Self-Certification:** Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached "Self-Certification Statement of Compliance" form (Attachment C) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.
5. **Manatee Conditions:** The Permittee shall comply with the enclosed (Attachment D) "Standard Manatee Conditions for In-Water Work – 2011." The most recent version of the Manatee Conditions must be utilized.
6. **Turbidity Barriers:** Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained daily until the

and devise appropriate actions. Project activities shall not resume without verbal and/or written authorization from the Corps.

- c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5) . Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.
  
- d. In the unlikely event that unmarked human remains are identified on non-federal lands; they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archaeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the SHPO and from the Corps.

This letter of authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

This letter of authorization does not preclude the necessity to obtain any other Federal, State, or local permits, which may be required.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at <https://regulatory.ops.usace.army.mil/customer-service-survey/>. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Should you have any questions related to this verification letter or have issues accessing the documents reference in this letter, please contact Christian Karvounis at the letterhead address above, via telephone at 561-472-3508, or via e-mail at [Christian.G.Karvounis@usace.army.mil](mailto:Christian.G.Karvounis@usace.army.mil).

**DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST**

**DA PERMIT NUMBER: SAJ-2021-04047 (NW/GP-CGK)**

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019 or submit via electronic mail to: SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

\_\_\_\_\_  
(TRANSFEREE-SIGNATURE)

\_\_\_\_\_  
(SUBDIVISION)

\_\_\_\_\_  
(DATE)

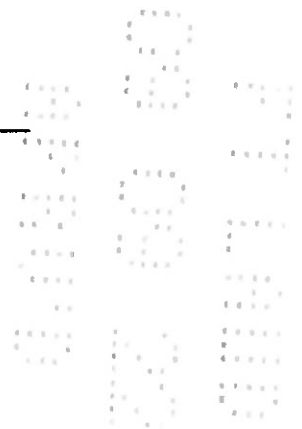
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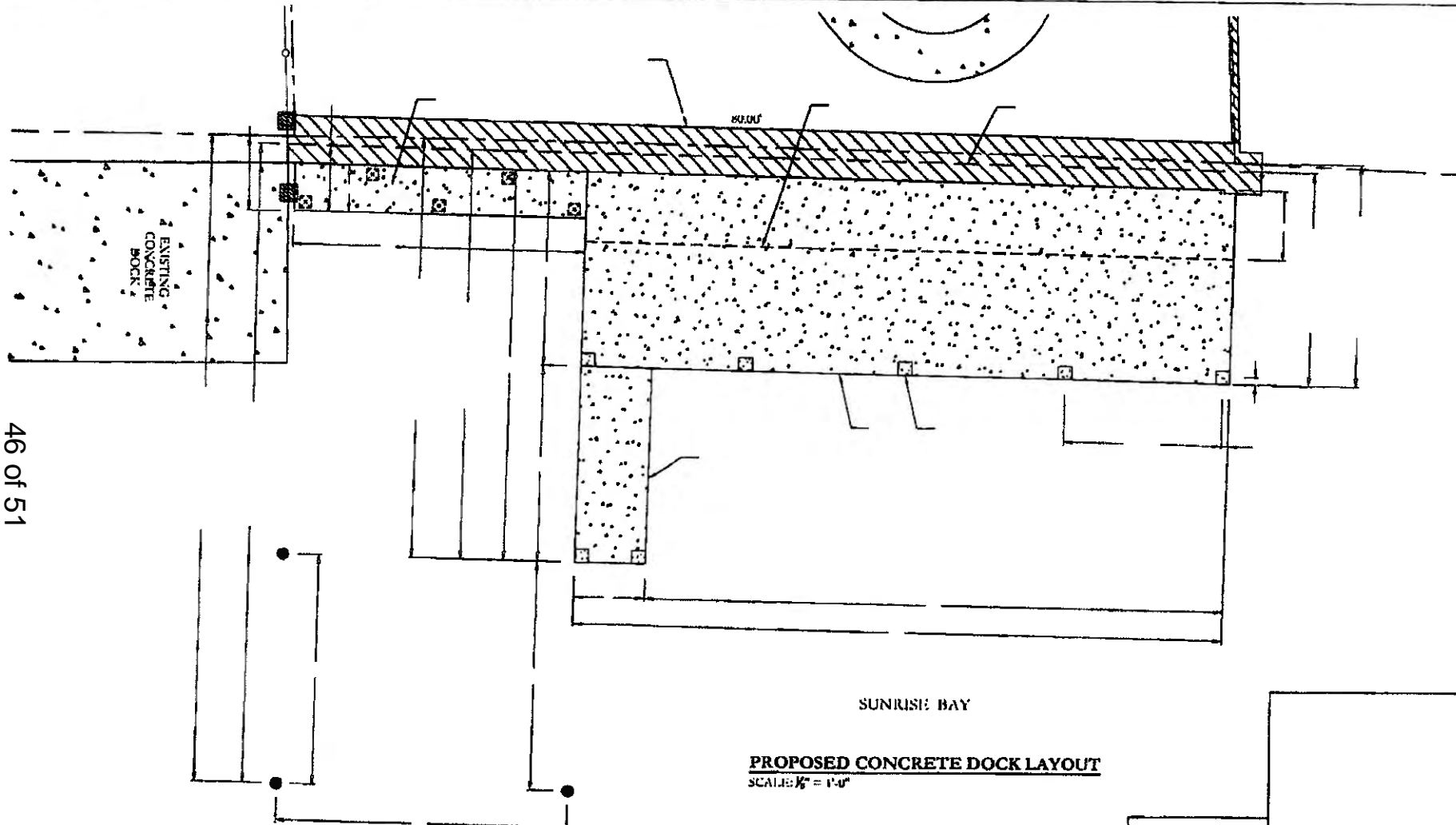
\_\_\_\_\_  
(NAME-PRINTED)

\_\_\_\_\_  
(STREET ADDRESS)

\_\_\_\_\_  
(MAILING ADDRESS)

\_\_\_\_\_  
(CITY, STATE, ZIP CODE)





46 of 51

SUNRISE BAY

**PROPOSED CONCRETE DOCK LAYOUT**  
SCALE: 1/8" = 1'-0"

**IDENTIFICATION:**

1. EXISTING WET FACE
2. PROPOSED 55' X 17'-0" CONCRETE DOCK (18'-7" FROM WET FACE, 935 SQ. FT.)
3. PROPOSED 25' X 4' CONCRETE DOCK (5'-7" FROM WET FACE, 100 SQ. FT.)
4. PROPOSED 17' X 6' CONCRETE FINGER PIER (375" FROM WET FACE, 102 SQ. FT.)
5. PROPOSED 14" SQ. PLASTER, 48" TALL ABOVE DOCK
6. PROPOSED 1' - 3" RIP RAP BOULDERS @2:1 SLOPE; 55% X 6W X 3H; 350 SQ. FT.; 1833 CY.

SHEET 2 OF 9

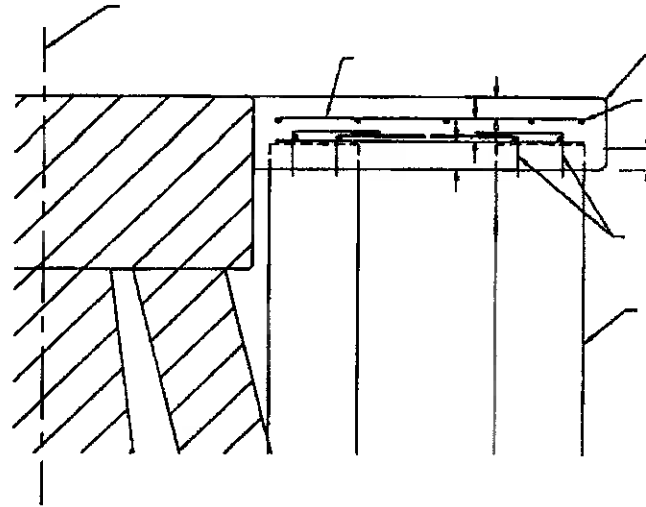
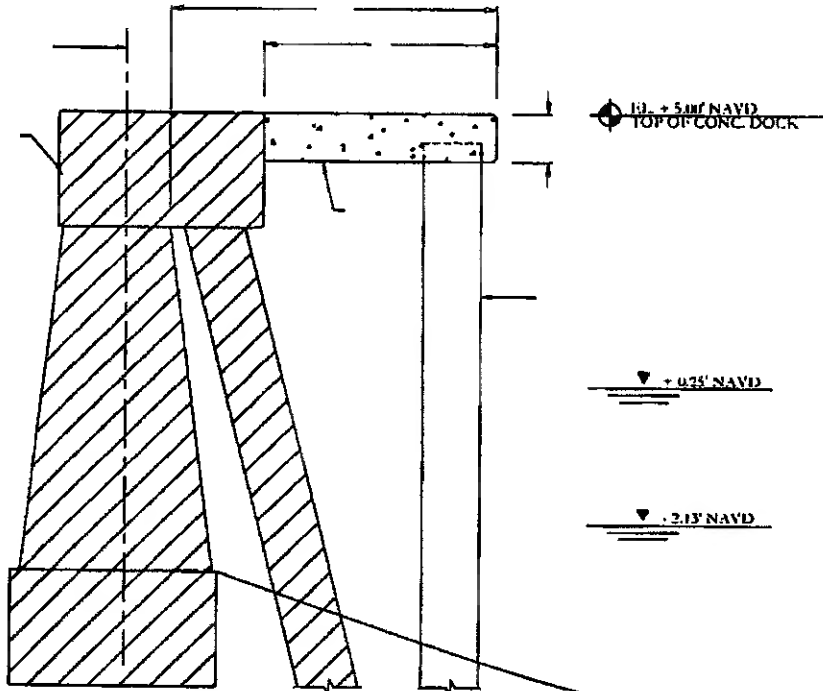
**PREPARED FOR:**  
MW ENGINEERING, INC.  
1241 S. MILITARY TRAIL, SUITE #200  
DEERFIELD BEACH, FL 33442  
O. (954) 421 - 1700

**PROJECT:**  
Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE #53895 CA307C

**MW ENGINEERING, INC.**  
902 NE 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33060  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET





**CONCRETE DOCK STEEL DETAIL - SECTION C**  
SCALE: 3/8" = 1'-0"

**C SECTION C**  
SCALE: 3/8" = 1'-0"

**IDENTIFICATION:**

1. SEE CONCRETE PILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. (2)#5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
4. PROPOSED 12" X 12" X 20' CONCR. DOCK PILE

**SECTION C IDENTIFICATION:**

1. EXISTING SEAWALL TO REMAIN
2. PROPOSED 12" X 12" X 20' CONCR. DOCK PILE
3. PROPOSED 25" X 4" CONCRETE DOCK (5'-7" FROM W/F) FACE, 100 SQ. FT)

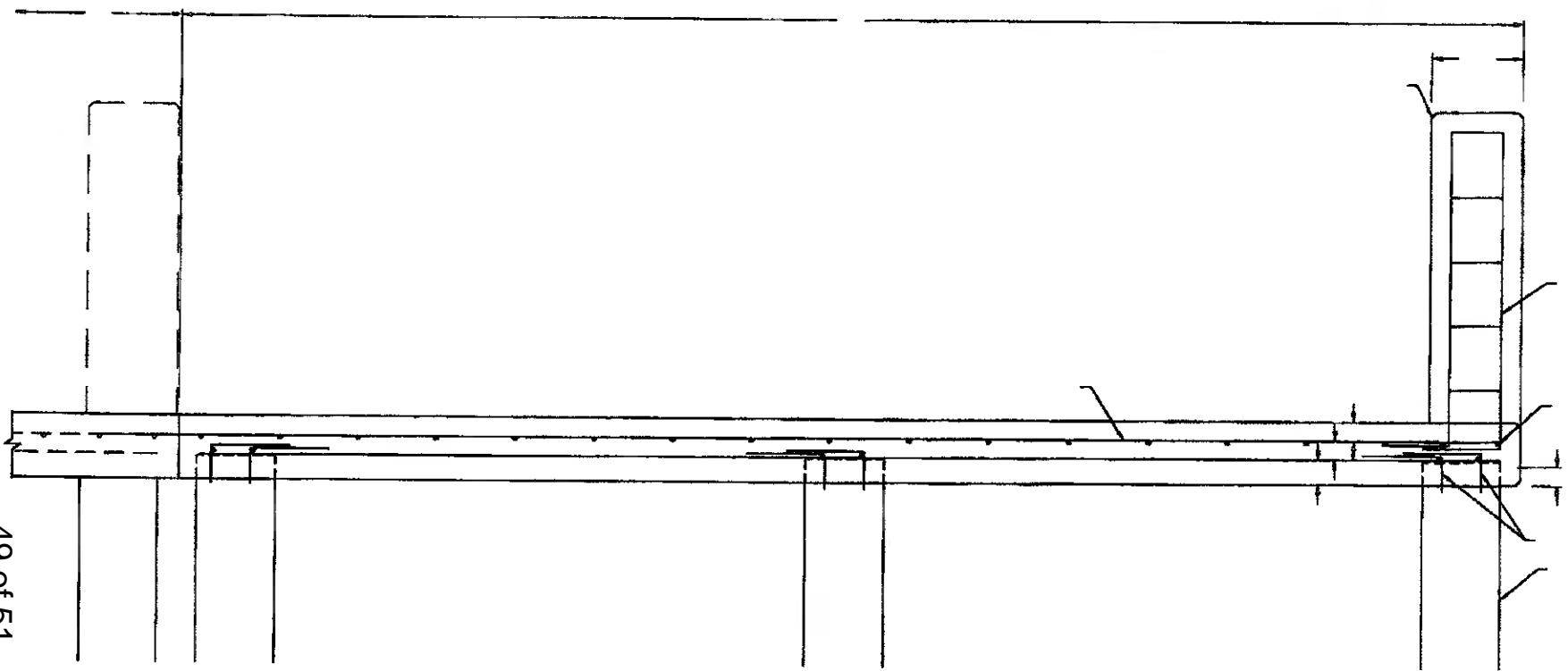
SHEET 6 OF 9

**PREPARED FOR:**  
M&M MARINE CONSTRUCTION, INC.  
1241 S. MILITARY TRAIL, SUITE #200  
DEERFIELD BEACH, FL 33442  
O: (954) 421 - 1700

**PROJECT:**  
Proposed Concrete Dock for  
Stefani Green  
1208 Seminole Drive  
Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
LICENSE: #53895 CA9062

**MW ENGINEERING, INC.**  
420 N. 1ST STREET SUITE #2  
POMPANO BEACH, FLORIDA 33061  
OFFICE: (754) 333 - 0877  
WEBSITE: MWENGINEERING.NET



**CONCRETE DOCK STEEL DETAIL - SECTION B**  
 SCALE: 1/4" = 1'-0"

**CONCRETE DOCK STEEL IDENTIFICATION:**

1. SEE CONCRETE FILE NOTE #5
2. #5 BARS @ 12" O.C. EACH WAY (SINGLE MAT)
3. #3 HOOPS @ 10" O.C. & (4) #5 BARS HOOKED INTO DOCK SLAB
4. (2) #5 BARS TOP & BOTTOM, FULL LENGTH OVER PILE
5. PROPOSED 12" X 12" X 20' CONC. DOCK PILE

SHEET 8 OF 9

**PREPARED FOR:**  
 A&M MARINE CONSTRUCTION, INC.  
 1271 S. MOUNTAIN TRAIL, SUITE #200  
 DEERFIELD BEACH, FL 33442  
 (561) 421-1700

**PROJECT:**  
 Proposed Concrete Dock for  
 Stefani Green  
 1208 Seminole Drive  
 Fort Lauderdale, Florida

**MARK WEBER, P.E.**  
 LICENSE #53895 C-130702

**MW ENGINEERING, INC.**  
 902 NE 1ST STREET SUITE #2  
 POMPANO BEACH, FLORIDA 33060  
 OFFICE: (754) 333-0877  
 WEBSITE: MWENGINEERING.NET

**COMMENCEMENT NOTIFICATION**

*Within 10 days of initiating the authorized work, submit this form via electronic mail to [sajrd-enforcement@usace.army.mil](mailto:sajrd-enforcement@usace.army.mil) (preferred, not to exceed 15 MB) or by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. Department of the Army Permit Number: \_\_\_\_\_.

2. Permittee Information:

Name: \_\_\_\_\_

Email: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

3. Construction Start Date: \_\_\_\_\_

4. Contact to Schedule Inspection:

Name: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

\_\_\_\_\_  
Signature of Permittee

\_\_\_\_\_  
Printed Name of Permittee

\_\_\_\_\_  
Date



## STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com)
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at [MyFWC.com/manatee](http://MyFWC.com/manatee). Questions concerning these signs can be sent to the email address listed above.

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, FL 33301

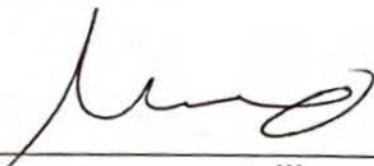
Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1264 SEMINOLE DR., have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature \_\_\_\_\_



MASSIMILIANO DI LEO

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

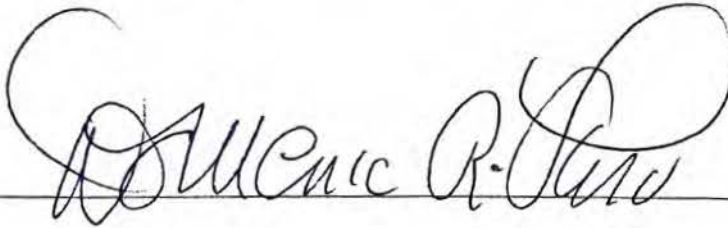
Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1192 Seminole, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature \_\_\_\_\_

A handwritten signature in black ink, appearing to read "Dominic R. Saporiti", written over a horizontal line.

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

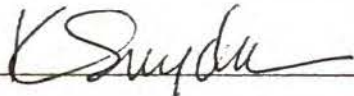
Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1200 Seminole Drive, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature

A handwritten signature in black ink, appearing to read "K. Snyder", is written over a horizontal line that extends across the page.

January 18, 2023


Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1304 Seminole Drive, Fort Lauderdale, FL 33304, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature  (Ivan Puente, MD, FACS).

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

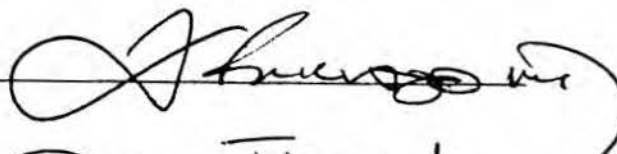
Dear Board Members,

I/We, as the owner of the property located at 1272 Seminole Dr, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature

  
Christine Tingado

  
Brian Tingado

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

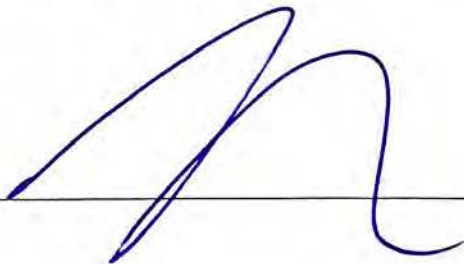
Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1190 SEMINOLE have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature \_\_\_\_\_



JEFF RHODES

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

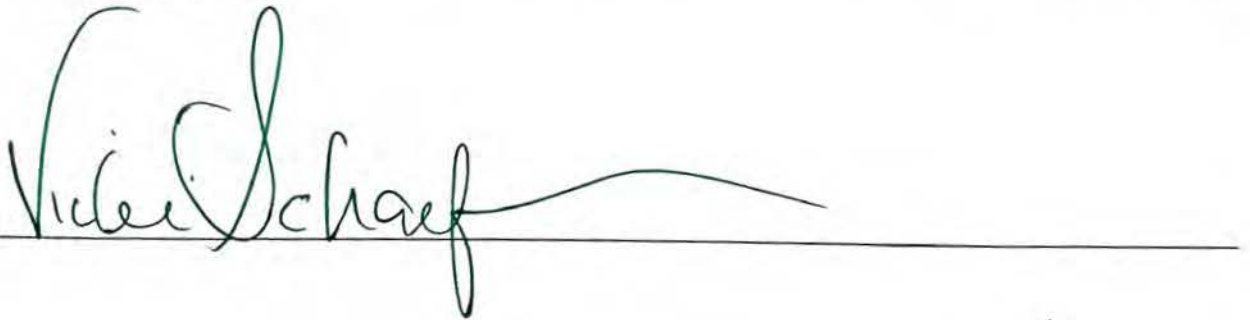
Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1207 Seminole have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature

A handwritten signature in blue ink, appearing to read "Mike Schaefer", is written over a horizontal line. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1248 Seminole, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature

*Margie Helmholtz* / 1/21/23  
iii

January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, FL 33301

Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1224 SEMINOLE DR, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature



January 18, 2023

Marine Advisory Board  
2 South New River East  
Ft. Lauderdale, Fl. 33301

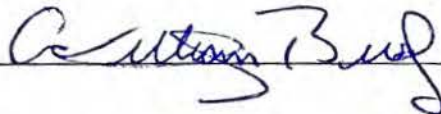
Re: Application for Waiver of Limitations for:  
Stefani Green Revocable Trust/Stefani Green as Trustee/Robert Saporiti  
1208 Seminole Drive  
Fort Lauderdale, FL 33304

Dear Board Members,

I/We, as the owner of the property located at 1336 Seminole, have been informed of the request to install a pier and mooring piles at the above referenced address. I/We are aware that the structures will extend farther waterward than allowed by the city's development regulations, and as shown in the attached site plan.

I/We are writing this letter to show our support for the waiver request and ask that the City Commission grant the waiver.

Signature \_\_\_\_\_

A handwritten signature in blue ink, appearing to read "Antonio B. [unclear]", is written over a horizontal line.

## ITEM VIII

### MEMORANDUM MF NO. 23-02

DATE: December 8, 2022

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: February 2, 2023 MAB Meeting – Application for Dock Permit – William & Anne Scherer / 1320 Ponce De Leon Road

Attached for your review is an application from William & Anne Scherer / 1320 Ponce De Leon Road.

### APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the construction and usage of a proposed 46.6'+/- long x 6'+/- wide marginal dock and access steps extending a maximum distance of 6'+/- from the outside edge of the seawall cap on public property abutting the waterway adjacent to 1320 Ponce De Leon Road. City Code Section 8-144 authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

### PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

### ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.

Marine Advisory Board

February 2, 2023

Page 2

4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.
5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock or attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation  
Jonathan Luscomb, Marine Facilities Supervisor

**WILLIAM SCHERER & ANNE SCHERER  
1320 PONCE DE LEON ROAD  
APPLICATION FOR PRIVATE USE OF PUBLIC PROPERTY  
ABUTTING WATERWAYS**

**CITY OF FORT LAUDERDALE  
MARINE FACILITIES  
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES**

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

**APPLICATION FORM  
(Must be in Typewritten Form Only)**

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: **William Scherer & Anne Scherer**

TELEPHONE NO: 954 467 1377 (home) 954-761-1000 (business) EMAIL: annescherera@smdrealty.com

2. APPLICANT'S ADDRESS (if different than the site address): **1320 Ponce De Leon Drive Fort Lauderdale, FL 33316**

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST:  
**The applicant requests a permit for the private use of public property abutting waterways within the City of Fort Lauderdale to install a marginal dock.**

4. SITE ADDRESS: **1320 Ponce De Leon Drive Fort Lauderdale FL, 33316** ZONING: **R.S-8**

LEGAL DESCRIPTION AND FOLIO NUMBER:  
**RIO VISTA ISLES UNIT 3 7-47 B LOT 8,9,10 S 30,25 S 30,26 & 27 BLK 22  
Folio No. 504211181840**

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).  
**Warranty Deed, Survey, Zoning Aerial, Photos, Project Plans**

*William & Anne Scherer*  
Applicant's Signature

4/10/23  
Date

The sum of \$ \_\_\_\_\_ was paid by the above-named applicant on the \_\_\_\_\_ of \_\_\_\_\_, 20\_\_\_\_ Received by: \_\_\_\_\_

City of Fort Lauderdale

=====For Official City Use Only=====

**Marine Advisory Board Action**  
Formal Action taken on \_\_\_\_\_

**Commission Action**  
Formal Action taken on \_\_\_\_\_

Recommendation \_\_\_\_\_  
Action \_\_\_\_\_

## Table of Contents

SUMMARY DESCRIPTION .....	3
WARRANTY DEED & BCPA.....	5
ORIGINAL SURVEY .....	8
SITE PHOTOGRAPHS .....	10
STANDARD LANDSCAPE PLAN .....	19
EXHIBIT A.....	21
ZONING AERIAL .....	23
EXISTING DOCK PERMITS IN THE VICINTY .....	25
PROPERTIES WITH EXISTING DOCK STRUCTURES PRIOR TO THE INSTALLATION OF THE CITY OF FORT LAUDERDALE CORDOVA RD SEAWALL PROJECT .....	27
LETTERS OF SUPPORT.....	29

## EXHIBIT II SUMMARY DESCRIPTION

**Summary Description**  
**1320 Ponce De Leon Drive**  
**TCG Project No. 22-0061**

The project site is located along the Rio Cordova at 1320 Ponce De Leon Drive, in Section 11, Township 50, Range 42, in the City of Fort Lauderdale, Broward County, Florida.

The property is located along the Rio Cordova, which is a tidal water. The nearest direct connection to the Atlantic Ocean is approximately 2 miles to the south at the Port Everglades Inlet. As the project site is located along the Rio Cordova, the incoming tidal waters (flood) at the site move to the north and the outgoing waters (ebb) move to the south.

The project site consists of an existing  $\pm 89.2$  ln. ft. sheet pile seawall recently installed by the City of Fort Lauderdale under the Cordova Road Seawall Project. The proposed project includes the installation of a  $\pm 250$  sq. ft. composite dock (46.6'x6.0') with steps located on the uplands. The proposed dock is a maximum of 63.3' from the applicant's property line and a maximum of 6.0' from the seawall cap. The property owners currently do not have a vessel but if one is purchased, information will be provided to the City Marine Facilities. As this property is owned by the city, the proposed composite dock will require approval of private use of public property abutting a waterway.

If this request is approved, the applicant will comply with all other necessary codes of ordinances (Sec. 8-144).

**EXHIBIT III  
WARRANTY DEED & BCPA**

# Warranty Deed

Parcel ID Number: Portion 110211-18-185 and 184

Grantee #1 TIN: [REDACTED]

Grantee #2 TIN: [REDACTED]

91474867

This Indenture, Made this 29th day of November, 1991 A.D., Between Ray Ferrero, Jr. and Raquel Ferrero, his wife,

of the County of Broward, State of Florida, grantors, and William Scherer and Anne Scherer, his wife,

whose address is: 1320 Ponce De Leon Drive, Fort Lauderdale, Florida 33316

of the County of Broward, State of Florida, grantees.

Witnesseth that the GRANTORS, for and in consideration of the sum of TEN & NO/100 (\$10.00) DOLLARS, and other good and valuable consideration to GRANTORS in hand paid by GRANTEES, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEES and GRANTEES' heirs and assigns forever, the following described land, situate, lying and being in the county of Broward State of Florida to wit:

Lots 8, 9 and the South 30 feet of Lot 10, and the West 3.75 feet of the South 30 feet of Lot 25, Block 22, Rio Vista Isles, Unit III, according to the Plat thereof, recorded in Plat Book 7, Page 47, of the Public Records of Broward County, Florida.

Stamps \$ 4,050.00 Tax \$       
Documentary Intangible  
RECEIVED in Broward County as required by  
law.  
by Quinn M. Ellis  
Deputy Clerk

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have hereunto set their hands and seals the day and year first above written. Signed, sealed and delivered in our presence:

Joseph M. Balocco  
Witness

Kimberly J. Simon  
Witness

Ray Ferrero, Jr. (Seal)  
P.O. Address 333 Sunset Drive #804, Fort Lauderdale, FL 33301

Raquel Ferrero (Seal)  
P.O. Address 333 Sunset Drive #804, Fort Lauderdale, FL 33301

RECORDED IN THE OFFICIAL RECORDS BOOK  
OF BROWARD COUNTY, FLORIDA  
COUNTY ADMINISTRATOR

STATE OF Florida  
COUNTY OF Broward

I HEREBY CERTIFY that on this day, before me, an officer duly qualified to take acknowledgements, personally appeared Ray Ferrero, Jr. and Raquel Ferrero, his wife,

to me known to be the persons described in and who executed the foregoing instrument and they acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 29th day of November, 1991.

This Document Prepared By:

Balocco & Zann

Joseph M. Balocco

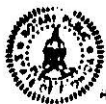
1323 SE 3 Avenue

Fort Lauderdale, FL 33316

Joseph M. Balocco

NOTARY PUBLIC

My Commission Expires: 12/06/93



JOSEPH M. BALOCCO

MY COMMISSION EXPIRES

November 6, 1993

BONDED THRU NOTARY PUBLIC UNDERWRITERS

91 DEC 3 9:24

8K78960PG0144

R&K

5.00  
1.00  
1.00



<b>Site Address</b>	1320 PONCE DE LEON DRIVE, FORT LAUDERDALE FL 33316-1302	<b>ID #</b>	5042 11 18 1840
<b>Property Owner</b>	SCHERER, WILLIAM & ANNE	<b>Millage</b>	0312
<b>Mailing Address</b>	1320 PONCE DE LEON DR FORT LAUDERDALE FL 33316-1302	<b>Use</b>	01-01
<b>Abbr Legal Description</b>	RIO VISTA ISLES UNIT 3 7-47 B LOT 8,9,10 S 30,25 S 30,26 & 27 BLK 22		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023	\$1,300,000	\$2,008,320	\$3,308,320	\$1,536,890	
2022	\$1,300,000	\$2,008,320	\$3,308,320	\$1,536,890	\$28,277.21
2021	\$1,300,000	\$1,467,980	\$2,767,980	\$1,492,130	\$27,479.16

2023 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$3,308,320	\$3,308,320	\$3,308,320	\$3,308,320
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH 94</b>	\$1,536,890	\$1,536,890	\$1,536,890	\$1,536,890
<b>Homestead 100%</b>	\$25,000	\$25,000	\$25,000	\$25,000
<b>Add. Homestead</b>	\$25,000	0	\$25,000	\$25,000
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$1,486,890	\$1,511,890	\$1,486,890	\$1,486,890

Sales History			
Date	Type	Price	Book/Page or CIN
11/1/1991	WD	\$675,000	18960 / 144

Land Calculations		
Price	Factor	Type
\$40.00	32,500	SF
<b>Adj. Bldg. S.F. (Card, Sketch)</b>		6342
<b>Units/Beds/Baths</b>		1/5/4.1
<b>Eff./Act. Year Built: 1978/1959</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		

## EXHIBIT IV ORIGINAL SURVEY

**LEGAL DESCRIPTION:**

LOTS 8, 9, 10, 11, 12, 24, 25, 26, AND 27 BLOCK 22, RIO VISTA ISLES UNIT THREE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**NOTES:**

1. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SEALED BY THE SIGNING SURVEYOR.
2. THIS PLAT IS THE PROPERTY OF THE SURVEYOR AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.
3. THE LATEST SURVEY RECORDS ARE NOT REQUIRED FOR RECORDS OF ANY, EASEMENTS, OR OTHER SIMILAR MATTERS OF RECORD.
4. LEGAL DESCRIPTION FURNISHED BY CLIENT.
5. THIS SURVEY DOES NOT PURPORT TO IDENTIFY IMPROVEMENTS BELOW GRADE, IF ANY, EXCEPT AS SPECIFICALLY NOTED HEREON.
6. BUILDING TIES ARE PERPENDICULAR UNLESS OTHERWISE NOTED OTHERWISE.
7. ADJACENT SURVEYS ARE BASED ON FIELD MEASUREMENTS WITHIN THE PLAT CENTERED RIO VISTA ISLES UNIT THREE, AS RECORDED IN PLAT BOOK 7, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
8. ELEVATIONS SHOWN HEREON ARE RELATIVE TO NAVAS 1988.
9. FLOOD ELEVATION INFORMATION:

COMMUNITY NO. = 53355      PLAT NO. = 53355      JURISDICTION = FLORIDA  
 DATE OF SURVEY = 02/27/20      DATE FLOODELEVATION = 04/01/04

10. PROPERTY ADDRESS: 1335 & 1336 PONCE DE LEON DRIVE, FORT LAUDERDALE, FLORIDA 33304  
 11. CONTAINING 16,838 SQUARE FEET, MORE OR LESS.  
 12. CERTIFIED TO: *Villem 28 Scherer, Jr.*  
 Surveyor  
 Design: The Insurance Company  
 Survey & Map, LLC

**STANDARD ABBREVIATIONS:**

**LEGEND:**

- |    |                  |   |                             |   |                    |
|----|------------------|---|-----------------------------|---|--------------------|
| AC | ASBESTOS         | ○ | SET 5/8" IR & CAP OLB 60PSD | ○ | MANHOLE (SANITARY) |
| AD | ADJUSTED         | ○ | MANHOLE (STORM)             |   |                    |
| AL | ALUMINUM         | △ | MAIL & TAB                  |   |                    |
| AN | ANALOG           | ○ | POP                         |   |                    |
| AP | APPROXIMATE      | ○ | PRN                         |   |                    |
| AR | ARRESTED         | ○ | ELEVATION                   |   |                    |
| AS | ASPHALT          | ○ | TELEPHONE JUNCTION BOX      |   |                    |
| AT | ATLANTIC         | ○ | WATER METER                 |   |                    |
| AV | AVENUE           | ○ | CENTERLINE                  |   |                    |
| AW | AIRWAY           | ○ | CABLE TV BOX                |   |                    |
| AX | AXIS             | ○ | LIGHT POLES                 |   |                    |
| AY | AYER             | ○ | GATE VALVE                  |   |                    |
| B  | BLOCK            | ○ |                             |   |                    |
| BA | BALCONY          | ○ |                             |   |                    |
| BB | BANK             | ○ |                             |   |                    |
| BC | BENCH MARK       | ○ |                             |   |                    |
| BD | BED              | ○ |                             |   |                    |
| BE | BELT             | ○ |                             |   |                    |
| BF | BELT & LIGHT CO. | ○ |                             |   |                    |
| BG | BELT             | ○ |                             |   |                    |
| BH | BELT             | ○ |                             |   |                    |
| BI | BELT             | ○ |                             |   |                    |
| BJ | BELT             | ○ |                             |   |                    |
| BK | BELT             | ○ |                             |   |                    |
| BL | BELT             | ○ |                             |   |                    |
| BM | BELT             | ○ |                             |   |                    |
| BN | BELT             | ○ |                             |   |                    |
| BO | BELT             | ○ |                             |   |                    |
| BP | BELT             | ○ |                             |   |                    |
| BQ | BELT             | ○ |                             |   |                    |
| BR | BELT             | ○ |                             |   |                    |
| BS | BELT             | ○ |                             |   |                    |
| BT | BELT             | ○ |                             |   |                    |
| BU | BELT             | ○ |                             |   |                    |
| BV | BELT             | ○ |                             |   |                    |
| BW | BELT             | ○ |                             |   |                    |
| BX | BELT             | ○ |                             |   |                    |
| BY | BELT             | ○ |                             |   |                    |
| BZ | BELT             | ○ |                             |   |                    |
| CA | CADASTRAL        | ○ |                             |   |                    |
| CB | CADASTRAL        | ○ |                             |   |                    |
| CC | CADASTRAL        | ○ |                             |   |                    |
| CD | CADASTRAL        | ○ |                             |   |                    |
| CE | CADASTRAL        | ○ |                             |   |                    |
| CF | CADASTRAL        | ○ |                             |   |                    |
| CG | CADASTRAL        | ○ |                             |   |                    |
| CH | CADASTRAL        | ○ |                             |   |                    |
| CI | CADASTRAL        | ○ |                             |   |                    |
| CJ | CADASTRAL        | ○ |                             |   |                    |
| CK | CADASTRAL        | ○ |                             |   |                    |
| CL | CADASTRAL        | ○ |                             |   |                    |
| CM | CADASTRAL        | ○ |                             |   |                    |
| CN | CADASTRAL        | ○ |                             |   |                    |
| CO | CADASTRAL        | ○ |                             |   |                    |
| CP | CADASTRAL        | ○ |                             |   |                    |
| CQ | CADASTRAL        | ○ |                             |   |                    |
| CR | CADASTRAL        | ○ |                             |   |                    |
| CS | CADASTRAL        | ○ |                             |   |                    |
| CT | CADASTRAL        | ○ |                             |   |                    |
| CU | CADASTRAL        | ○ |                             |   |                    |
| CV | CADASTRAL        | ○ |                             |   |                    |
| CW | CADASTRAL        | ○ |                             |   |                    |
| CX | CADASTRAL        | ○ |                             |   |                    |
| CY | CADASTRAL        | ○ |                             |   |                    |
| CZ | CADASTRAL        | ○ |                             |   |                    |
| DA | DRAINAGE         | ○ |                             |   |                    |
| DB | DRAINAGE         | ○ |                             |   |                    |
| DC | DRAINAGE         | ○ |                             |   |                    |
| DD | DRAINAGE         | ○ |                             |   |                    |
| DE | DRAINAGE         | ○ |                             |   |                    |
| DF | DRAINAGE         | ○ |                             |   |                    |
| DG | DRAINAGE         | ○ |                             |   |                    |
| DH | DRAINAGE         | ○ |                             |   |                    |
| DI | DRAINAGE         | ○ |                             |   |                    |
| DJ | DRAINAGE         | ○ |                             |   |                    |
| DK | DRAINAGE         | ○ |                             |   |                    |
| DL | DRAINAGE         | ○ |                             |   |                    |
| DM | DRAINAGE         | ○ |                             |   |                    |
| DN | DRAINAGE         | ○ |                             |   |                    |
| DO | DRAINAGE         | ○ |                             |   |                    |
| DP | DRAINAGE         | ○ |                             |   |                    |
| DQ | DRAINAGE         | ○ |                             |   |                    |
| DR | DRAINAGE         | ○ |                             |   |                    |
| DS | DRAINAGE         | ○ |                             |   |                    |
| DT | DRAINAGE         | ○ |                             |   |                    |
| DU | DRAINAGE         | ○ |                             |   |                    |
| DV | DRAINAGE         | ○ |                             |   |                    |
| DW | DRAINAGE         | ○ |                             |   |                    |
| DX | DRAINAGE         | ○ |                             |   |                    |
| DY | DRAINAGE         | ○ |                             |   |                    |
| DZ | DRAINAGE         | ○ |                             |   |                    |
| EA | EASEMENT         | ○ |                             |   |                    |
| EB | EASEMENT         | ○ |                             |   |                    |
| EC | EASEMENT         | ○ |                             |   |                    |
| ED | EASEMENT         | ○ |                             |   |                    |
| EE | EASEMENT         | ○ |                             |   |                    |
| EF | EASEMENT         | ○ |                             |   |                    |
| EG | EASEMENT         | ○ |                             |   |                    |
| EH | EASEMENT         | ○ |                             |   |                    |
| EI | EASEMENT         | ○ |                             |   |                    |
| EJ | EASEMENT         | ○ |                             |   |                    |
| EK | EASEMENT         | ○ |                             |   |                    |
| EL | EASEMENT         | ○ |                             |   |                    |
| EM | EASEMENT         | ○ |                             |   |                    |
| EN | EASEMENT         | ○ |                             |   |                    |
| EO | EASEMENT         | ○ |                             |   |                    |
| EP | EASEMENT         | ○ |                             |   |                    |
| EQ | EASEMENT         | ○ |                             |   |                    |
| ER | EASEMENT         | ○ |                             |   |                    |
| ES | EASEMENT         | ○ |                             |   |                    |
| ET | EASEMENT         | ○ |                             |   |                    |
| EU | EASEMENT         | ○ |                             |   |                    |
| EV | EASEMENT         | ○ |                             |   |                    |
| EW | EASEMENT         | ○ |                             |   |                    |
| EX | EASEMENT         | ○ |                             |   |                    |
| EY | EASEMENT         | ○ |                             |   |                    |
| EZ | EASEMENT         | ○ |                             |   |                    |
| FA | FENCE            | ○ |                             |   |                    |
| FB | FENCE            | ○ |                             |   |                    |
| FC | FENCE            | ○ |                             |   |                    |
| FD | FENCE            | ○ |                             |   |                    |
| FE | FENCE            | ○ |                             |   |                    |
| FF | FENCE            | ○ |                             |   |                    |
| FG | FENCE            | ○ |                             |   |                    |
| FH | FENCE            | ○ |                             |   |                    |
| FI | FENCE            | ○ |                             |   |                    |
| FJ | FENCE            | ○ |                             |   |                    |
| FK | FENCE            | ○ |                             |   |                    |
| FL | FENCE            | ○ |                             |   |                    |
| FM | FENCE            | ○ |                             |   |                    |
| FN | FENCE            | ○ |                             |   |                    |
| FO | FENCE            | ○ |                             |   |                    |
| FP | FENCE            | ○ |                             |   |                    |
| FQ | FENCE            | ○ |                             |   |                    |
| FR | FENCE            | ○ |                             |   |                    |
| FS | FENCE            | ○ |                             |   |                    |
| FT | FENCE            | ○ |                             |   |                    |
| FU | FENCE            | ○ |                             |   |                    |
| FV | FENCE            | ○ |                             |   |                    |
| FW | FENCE            | ○ |                             |   |                    |
| FX | FENCE            | ○ |                             |   |                    |
| FY | FENCE            | ○ |                             |   |                    |
| FZ | FENCE            | ○ |                             |   |                    |
| GA | GAS              | ○ |                             |   |                    |
| GB | GAS              | ○ |                             |   |                    |
| GC | GAS              | ○ |                             |   |                    |
| GD | GAS              | ○ |                             |   |                    |
| GE | GAS              | ○ |                             |   |                    |
| GF | GAS              | ○ |                             |   |                    |
| GG | GAS              | ○ |                             |   |                    |
| GH | GAS              | ○ |                             |   |                    |
| GI | GAS              | ○ |                             |   |                    |
| GJ | GAS              | ○ |                             |   |                    |
| GK | GAS              | ○ |                             |   |                    |
| GL | GAS              | ○ |                             |   |                    |
| GM | GAS              | ○ |                             |   |                    |
| GN | GAS              | ○ |                             |   |                    |
| GO | GAS              | ○ |                             |   |                    |
| GP | GAS              | ○ |                             |   |                    |
| GQ | GAS              | ○ |                             |   |                    |
| GR | GAS              | ○ |                             |   |                    |
| GS | GAS              | ○ |                             |   |                    |
| GT | GAS              | ○ |                             |   |                    |
| GU | GAS              | ○ |                             |   |                    |
| GV | GAS              | ○ |                             |   |                    |
| GW | GAS              | ○ |                             |   |                    |
| GX | GAS              | ○ |                             |   |                    |
| GY | GAS              | ○ |                             |   |                    |
| GZ | GAS              | ○ |                             |   |                    |
| HA | HIGHWAY          | ○ |                             |   |                    |
| HB | HIGHWAY          | ○ |                             |   |                    |
| HC | HIGHWAY          | ○ |                             |   |                    |
| HD | HIGHWAY          | ○ |                             |   |                    |
| HE | HIGHWAY          | ○ |                             |   |                    |
| HF | HIGHWAY          | ○ |                             |   |                    |
| HG | HIGHWAY          | ○ |                             |   |                    |
| HH | HIGHWAY          | ○ |                             |   |                    |
| HI | HIGHWAY          | ○ |                             |   |                    |
| HJ | HIGHWAY          | ○ |                             |   |                    |
| HK | HIGHWAY          | ○ |                             |   |                    |
| HL | HIGHWAY          | ○ |                             |   |                    |
| HM | HIGHWAY          | ○ |                             |   |                    |
| HN | HIGHWAY          | ○ |                             |   |                    |
| HO | HIGHWAY          | ○ |                             |   |                    |
| HP | HIGHWAY          | ○ |                             |   |                    |
| HQ | HIGHWAY          | ○ |                             |   |                    |
| HR | HIGHWAY          | ○ |                             |   |                    |
| HS | HIGHWAY          | ○ |                             |   |                    |
| HT | HIGHWAY          | ○ |                             |   |                    |
| HU | HIGHWAY          | ○ |                             |   |                    |
| HV | HIGHWAY          | ○ |                             |   |                    |
| HW | HIGHWAY          | ○ |                             |   |                    |
| HX | HIGHWAY          | ○ |                             |   |                    |
| HY | HIGHWAY          | ○ |                             |   |                    |
| HZ | HIGHWAY          | ○ |                             |   |                    |
| IA | IRREGULAR        | ○ |                             |   |                    |
| IB | IRREGULAR        | ○ |                             |   |                    |
| IC | IRREGULAR        | ○ |                             |   |                    |
| ID | IRREGULAR        | ○ |                             |   |                    |
| IE | IRREGULAR        | ○ |                             |   |                    |
| IF | IRREGULAR        | ○ |                             |   |                    |
| IG | IRREGULAR        | ○ |                             |   |                    |
| IH | IRREGULAR        | ○ |                             |   |                    |
| II | IRREGULAR        | ○ |                             |   |                    |
| IJ | IRREGULAR        | ○ |                             |   |                    |
| IK | IRREGULAR        | ○ |                             |   |                    |
| IL | IRREGULAR        | ○ |                             |   |                    |
| IM | IRREGULAR        | ○ |                             |   |                    |
| IN | IRREGULAR        | ○ |                             |   |                    |
| IO | IRREGULAR        | ○ |                             |   |                    |
| IP | IRREGULAR        | ○ |                             |   |                    |
| IQ | IRREGULAR        | ○ |                             |   |                    |
| IR | IRREGULAR        | ○ |                             |   |                    |
| IS | IRREGULAR        | ○ |                             |   |                    |
| IT | IRREGULAR        | ○ |                             |   |                    |
| IU | IRREGULAR        | ○ |                             |   |                    |
| IV | IRREGULAR        | ○ |                             |   |                    |
| IW | IRREGULAR        | ○ |                             |   |                    |
| IX | IRREGULAR        | ○ |                             |   |                    |
| IY | IRREGULAR        | ○ |                             |   |                    |
| IZ | IRREGULAR        | ○ |                             |   |                    |
| JA | JUNCTION         | ○ |                             |   |                    |
| JB | JUNCTION         | ○ |                             |   |                    |
| JC | JUNCTION         | ○ |                             |   |                    |
| JD | JUNCTION         | ○ |                             |   |                    |
| JE | JUNCTION         | ○ |                             |   |                    |
| JF | JUNCTION         | ○ |                             |   |                    |
| JG | JUNCTION         | ○ |                             |   |                    |
| JH | JUNCTION         | ○ |                             |   |                    |
| JI | JUNCTION         | ○ |                             |   |                    |
| JJ | JUNCTION         | ○ |                             |   |                    |
| JK | JUNCTION         | ○ |                             |   |                    |
| JL | JUNCTION         | ○ |                             |   |                    |
| JM | JUNCTION         | ○ |                             |   |                    |
| JN | JUNCTION         | ○ |                             |   |                    |
| JO | JUNCTION         | ○ |                             |   |                    |
| JP | JUNCTION         | ○ |                             |   |                    |
| JQ | JUNCTION         | ○ |                             |   |                    |
| JR | JUNCTION         | ○ |                             |   |                    |
| JS | JUNCTION         | ○ |                             |   |                    |
| JT | JUNCTION         | ○ |                             |   |                    |
| JU | JUNCTION         | ○ |                             |   |                    |
| JV | JUNCTION         | ○ |                             |   |                    |
| JW | JUNCTION         | ○ |                             |   |                    |
| JX | JUNCTION         | ○ |                             |   |                    |
| JY | JUNCTION         | ○ |                             |   |                    |
| JZ | JUNCTION         | ○ |                             |   |                    |
| KA | KITCHEN          | ○ |                             |   |                    |
| KB | KITCHEN          | ○ |                             |   |                    |
| KC | KITCHEN          | ○ |                             |   |                    |
| KD | KITCHEN          | ○ |                             |   |                    |
| KE | KITCHEN          | ○ |                             |   |                    |
| KF | KITCHEN          | ○ |                             |   |                    |
| KG | KITCHEN          | ○ |                             |   |                    |
| KH | KITCHEN          | ○ |                             |   |                    |
| KI | KITCHEN          | ○ |                             |   |                    |
| KJ | KITCHEN          | ○ |                             |   |                    |
| KK | KITCHEN          | ○ |                             |   |                    |
| KL | KITCHEN          | ○ |                             |   |                    |
| KM | KITCHEN          | ○ |                             |   |                    |
| KN | KITCHEN          | ○ |                             |   |                    |
| KO | KITCHEN          | ○ |                             |   |                    |
| KP | KITCHEN          | ○ |                             |   |                    |
| KQ | KITCHEN          | ○ |                             |   |                    |
| KR | KITCHEN          | ○ |                             |   |                    |
| KS | KITCHEN          | ○ |                             |   |                    |
| KT | KITCHEN          | ○ |                             |   |                    |
| KU | KITCHEN          | ○ |                             |   |                    |
| KV | KITCHEN          | ○ |                             |   |                    |
| KW | KITCHEN          | ○ |                             |   |                    |
| KX | KITCHEN          | ○ |                             |   |                    |
| KY | KITCHEN          | ○ |                             |   |                    |
| KZ | KITCHEN          | ○ |                             |   |                    |
| LA | LAND             | ○ |                             |   |                    |
| LB | LAND             | ○ |                             |   |                    |
| LC | LAND             | ○ |                             |   |                    |
| LD | LAND             | ○ |                             |   |                    |
| LE | LAND             | ○ |                             |   |                    |
| LF | LAND             | ○ |                             |   |                    |
| LG | LAND             | ○ |                             |   |                    |
| LH | LAND             | ○ |                             |   |                    |
| LI | LAND             | ○ |                             |   |                    |
| LJ | LAND             | ○ |                             |   |                    |
| LK | LAND             | ○ |                             |   |                    |
| LL | LAND             | ○ |                             |   |                    |
| LM | LAND             | ○ |                             |   |                    |
| LN | LAND             | ○ |                             |   |                    |
| LO | LAND             | ○ |                             |   |                    |
| LP | LAND             | ○ |                             |   |                    |
| LQ | LAND             | ○ |                             |   |                    |
| LR | LAND             | ○ |                             |   |                    |
| LS | LAND             | ○ |                             |   |                    |
| LT | LAND             | ○ |                             |   |                    |
| LU | LAND             | ○ |                             |   |                    |
| LV | LAND             | ○ |                             |   |                    |
| LW | LAND             | ○ |                             |   |                    |
| LX | LAND             | ○ |                             |   |                    |
| LY | LAND             | ○ |                             |   |                    |
| LZ | LAND             | ○ |                             |   |                    |
| MA | MATERIAL         | ○ |                             |   |                    |
| MB | MATERIAL         | ○ |                             |   |                    |
| MC | MATERIAL         | ○ |                             |   |                    |
| MD | MATERIAL         | ○ |                             |   |                    |
| ME | MATERIAL         | ○ |                             |   |                    |
| MF | MATERIAL         | ○ |                             |   |                    |
| MG | MATERIAL         | ○ |                             |   |                    |
| MH | MATERIAL         | ○ |                             |   |                    |
| MI | MATERIAL         | ○ |                             |   |                    |
| MJ | MATERIAL         | ○ |                             |   |                    |
| MK | MATERIAL         | ○ |                             |   |                    |
| ML | MATERIAL         | ○ |                             |   |                    |
| MM | MATERIAL         | ○ |                             |   |                    |
| MN | MATERIAL         | ○ |                             |   |                    |
| MO | MATERIAL         | ○ |                             |   |                    |
| MP | MATERIAL         | ○ |                             |   |                    |
| MQ | MATERIAL         | ○ |                             |   |                    |
| MR | MATERIAL         | ○ |                             |   |                    |
| MS | MATERIAL         | ○ |                             |   |                    |
| MT | MATERIAL         | ○ |                             |   |                    |
| MU | MATERIAL         | ○ |                             |   |                    |
| MV | MATERIAL         | ○ |                             |   |                    |
| MW | MATERIAL         | ○ |                             |   |                    |
| MX | MATERIAL         | ○ |                             |   |                    |
| MY | MATERIAL         | ○ |                             |   |                    |
| MZ | MATERIAL         | ○ |                             |   |                    |
| NA | NEIGHBORHOOD     | ○ |                             |   |                    |
| NB | NEIGHBORHOOD     | ○ |                             |   |                    |
| NC | NEIGHBORHOOD     | ○ |                             |   |                    |
| ND | NEIGHBORHOOD     | ○ |                             |   |                    |
| NE | NEIGHBORHOOD     | ○ |                             |   |                    |
| NF | NEIGHBORHOOD     | ○ |                             |   |                    |
| NG | NEIGHBORHOOD     | ○ |                             |   |                    |
| NH | NEIGHBORHOOD     | ○ |                             |   |                    |
| NI | NEIGHBORHOOD     | ○ |                             |   |                    |
| NJ | NEIGHBORHOOD     | ○ |                             |   |                    |
| NK | NEIGHBORHOOD     | ○ |                             |   |                    |
| NL | NEIGHBORHOOD     | ○ |                             |   |                    |
| NM | NEIGHBORHOOD     | ○ |                             |   |                    |
| NN | NEIGHBORHOOD     | ○ |                             |   |                    |
| NO | NEIGHBORHOOD     | ○ |                             |   |                    |
| NP | NEIGHBORHOOD     | ○ |                             |   |                    |
| NQ | NEIGHBORHOOD     | ○ |                             |   |                    |
| NR | NEIGHBORHOOD     | ○ |                             |   |                    |
| NS | NEIGHBORHOOD     | ○ |                             |   |                    |
| NT | NEIGHBORHOOD     | ○ |                             |   |                    |
| NU | NEIGHBORHOOD     | ○ |                             |   |                    |
| NV | NEIGHBORHOOD     | ○ |                             |   |                    |
| NW | NEIGHBORHOOD     | ○ |                             |   |                    |
| NX | NEIGHBORHOOD     | ○ |                             |   |                    |
| NY | NEIGHBORHOOD     | ○ |                             |   |                    |
| NZ | NEIGHBORHOOD     | ○ |                             |   |                    |
| OA | OPEN AREA        | ○ |                             |   |                    |
| OB | OPEN AREA        | ○ |                             |   |                    |
| OC | OPEN AREA        | ○ |                             |   |                    |
| OD | OPEN AREA        | ○ |                             |   |                    |
| OE | OPEN AREA        | ○ |                             |   |                    |
| OF | OPEN AREA        | ○ |                             |   |                    |
| OG | OPEN AREA        | ○ |                             |   |                    |
| OH | OPEN AREA        | ○ |                             |   |                    |
| OI | OPEN AREA        | ○ |                             |   |                    |
| OJ | OPEN AREA        | ○ |                             |   |                    |
| OK | OPEN AREA        | ○ |                             |   |                    |
| OL | OPEN AREA        | ○ |                             |   |                    |
| OM | OPEN AREA        | ○ |                             |   |                    |
| ON | OPEN AREA        | ○ |                             |   |                    |
| OO | OPEN AREA        | ○ |                             |   |                    |
| OP | OPEN AREA        | ○ |                             |   |                    |
| OQ | OPEN AREA        | ○ |                             |   |                    |
| OR | OPEN AREA        | ○ |                             |   |                    |
| OS | OPEN AREA        | ○ |                             |   |                    |
| OT | OPEN AREA        | ○ |                             |   |                    |
| OU | OPEN AREA        | ○ |                             |   |                    |
| OV | OPEN AREA        | ○ |                             |   |                    |
| OW | OPEN AREA        | ○ |                             |   |                    |
| OX | OPEN AREA        | ○ |                             |   |                    |
| OY | OPEN AREA        | ○ |                             |   |                    |
| OZ | OPEN AREA        | ○ |                             |   |                    |
| PA | PAVED            | ○ |                             |   |                    |
| PB | PAVED            | ○ |                             |   |                    |
| PC | PAVED            | ○ |                             |   |                    |
| PD | PAVED            | ○ |                             |   |                    |
| PE | PAVED            | ○ |                             |   |                    |
| PF | PAVED            | ○ |                             |   |                    |
| PG | PAVED            | ○ |                             |   |                    |
| PH | PAVED            | ○ |                             |   |                    |
| PI | PAVED            | ○ |                             |   |                    |
| PJ | PAVED            | ○ |                             |   |                    |
| PK | PAVED            | ○ |                             |   |                    |
| PL | PAVED            | ○ |                             |   |                    |
| PM | PAVED            | ○ |                             |   |                    |
| PN | PAVED            | ○ |                             |   |                    |
| PO | PAVED            | ○ |                             |   |                    |
| PP |                  |   |                             |   |                    |

## EXHIBIT V SITE PHOTOGRAPHS



**1. Northern portion of the subject site, facing south along the canal.**



**2. Southern portion of the subject site, facing north along the canal.**



3. Central portion of the subject site, facing northwest.

## EXHIBIT VI PROJECT PLANS

# 1320 PONCE DE LEON DRIVE CITY OF FORT LAUDERDALE PLAN SET



## DRAWING INDEX

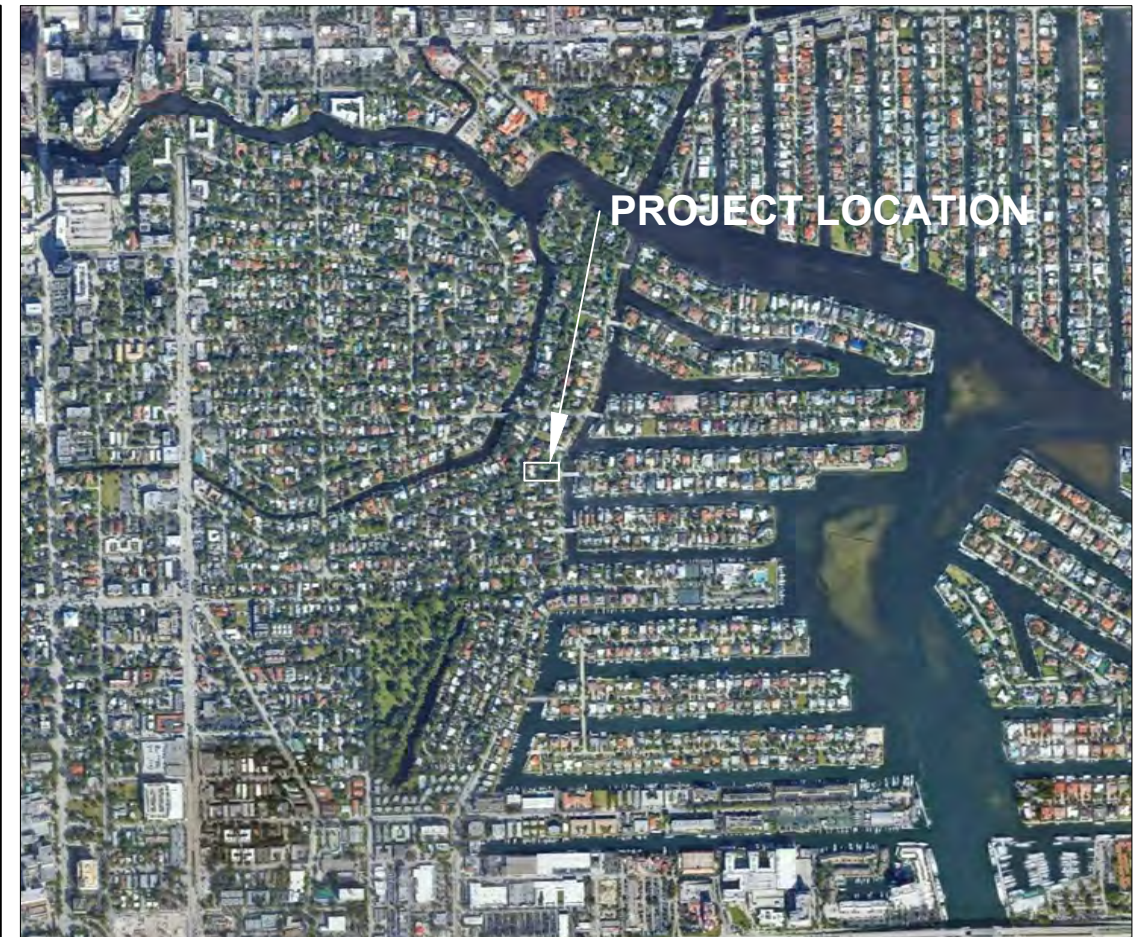
**SHEET 1: COVER**

**SHEET 2: EXISTING  
CONDITIONS**

**SHEET 3: PROPOSED  
CONDITIONS**

**SHEET 4: SECTION A**

**SHEET 5: DETAILS**



**VICINITY AERIAL (N.T.S.)**

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Pompano Beach, Florida 33060  
tel. 954.782.1908  
fax. 954.782.1108  
[www.thechappellgroup.com](http://www.thechappellgroup.com)

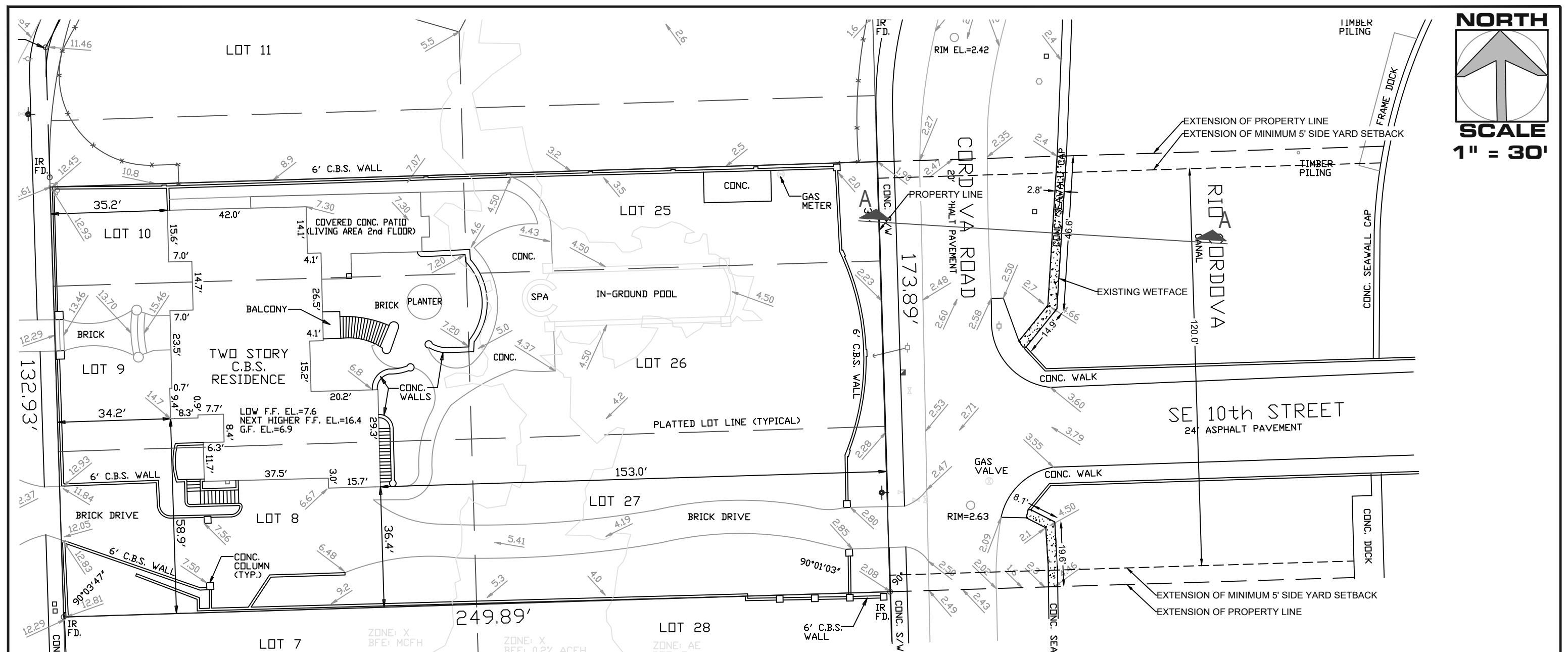
- Environmental Consultants
- Marina & Wetland Permitting
- Mitigation Design & Monitoring
- T&E Species Surveys
- Tree Surveys/Appraisals

**1320 PONCE DE LEON DRIVE**

PREPARED FOR:  
**WILLIAM J. SCHERER & ANNE SCHERER**

COVER

Date: 1/18/2023	Sheet :	of :
Proj No.: 22-0061	<b>1</b>	<b>5</b>



### LEGEND

- SUBJECT SITE (±0.75 AC)
- EXISTING SHEET PILE SEAWALL TO REMAIN (±89.2 LN. FT.)

M.H.W. = 0.32' NAVD    M.L.W. = (-)2.10' NAVD

NOTE: SURVEY INFORMATION PROVIDED BY VIC-SCOTT LAND SURVEYING & MAPPING. ELEVATIONS SHOWN AS NAVD88.

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**1320 PONCE DE LEON DRIVE**

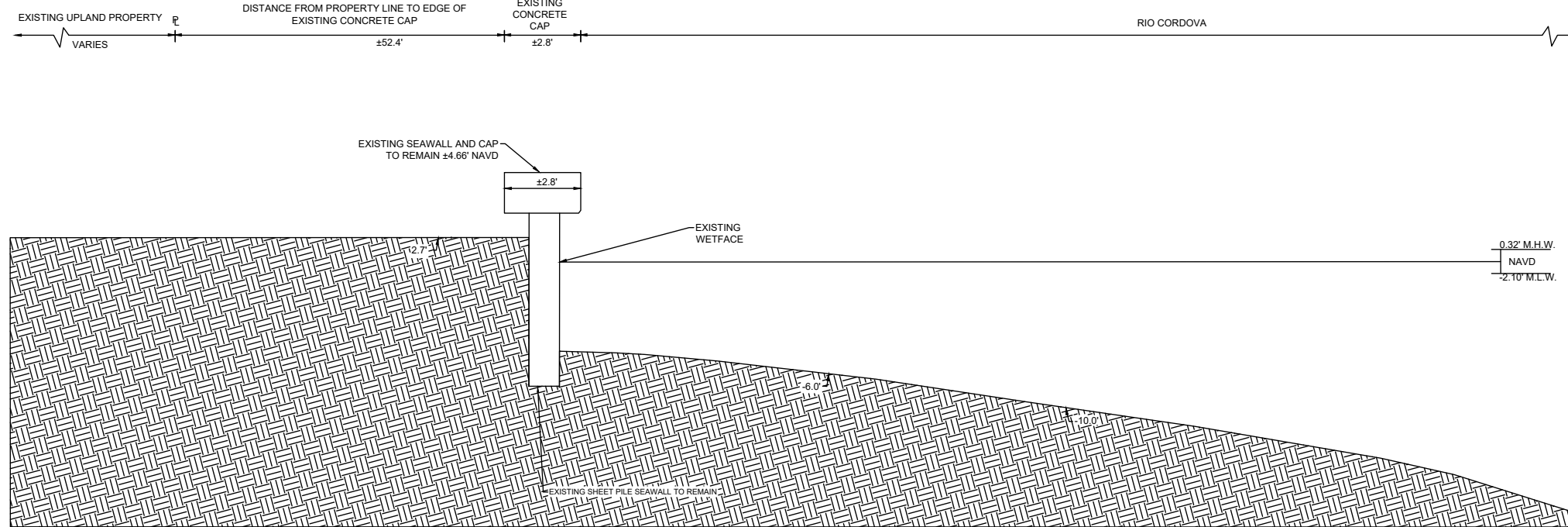
PREPARED FOR:  
**WILLIAM J. SCHERER & ANNE SCHERER**

EXISTING CONDITIONS		
Date: 1/18/2023	Sheet : <b>2</b>	of : <b>5</b>
Proj No.: 22-0061		



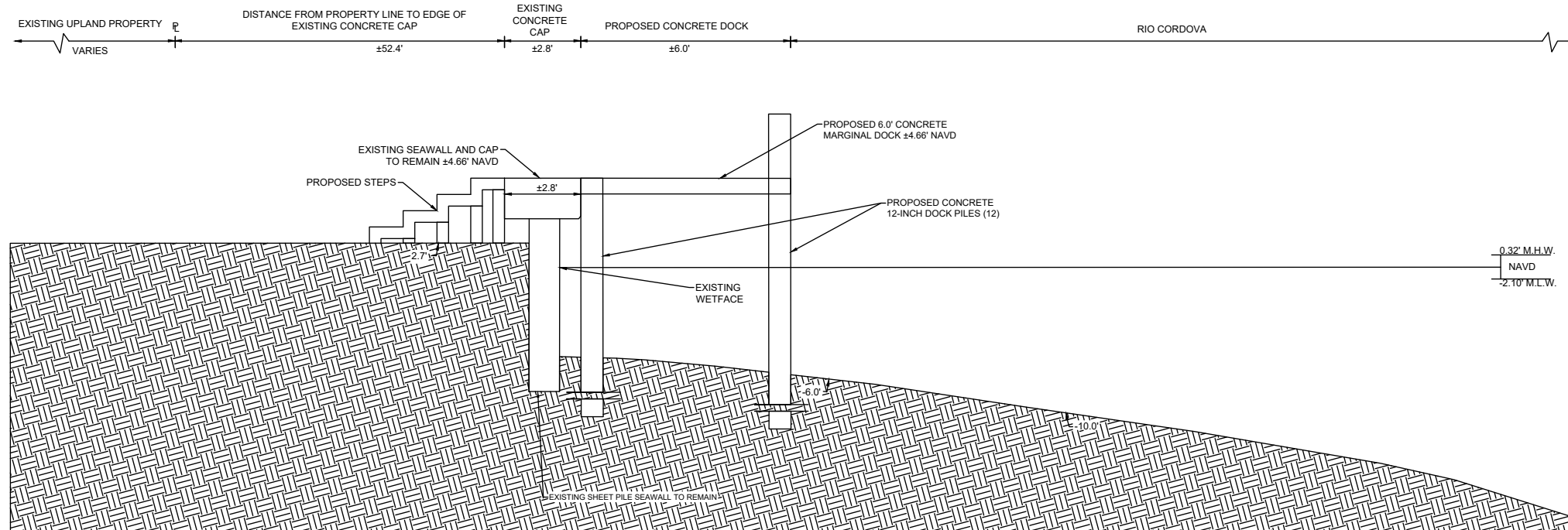
**EXISTING CONDITIONS A-A (TYP.)**

N.T.S.



**PROPOSED CONDITIONS A-A (TYP.)**

N.T.S.



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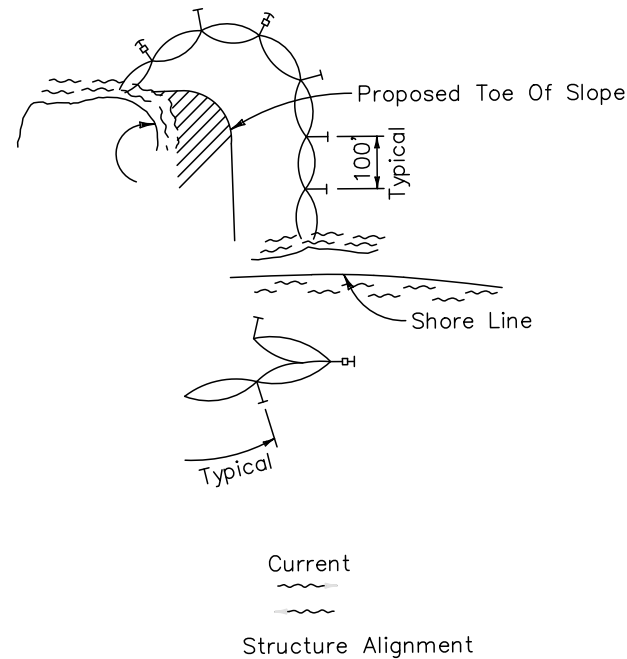
**1320 PONCE DE LEON DRIVE**

PREPARED FOR:  
**MRS. ANNE SCHERER**

SECTION A

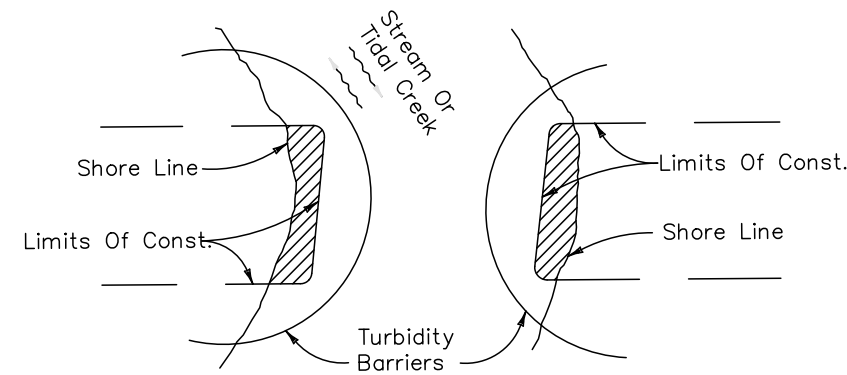
Date: 1/18/2023	Sheet : <b>4</b>	of : <b>5</b>
Proj No.: 22-0061		

# CONSTRUCTION BARGE (TYP.)



### LEGEND

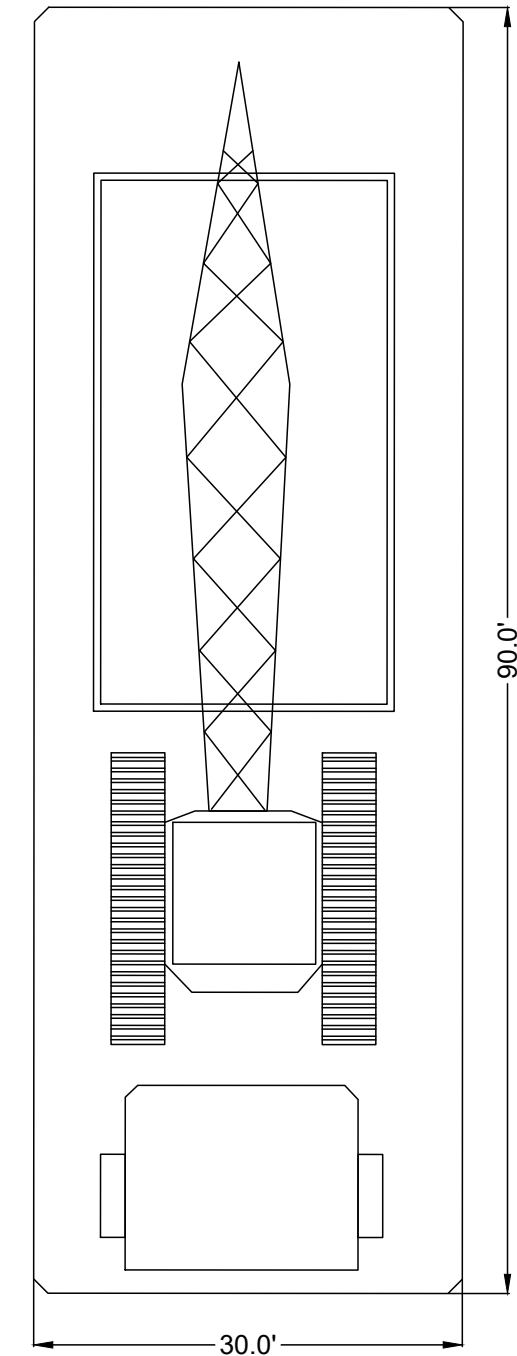
- Pile Locations
- ▨ Dredge Or Fill Area
- ⊕ Mooring Buoy w/Anchor
- ⊖ Anchor
- ⊖ Barrier Movement Due To Current Action



**Note:**  
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractors option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

to be used in all permanent bodies of water regardless of water depth.  
of anchors dependent on current velocities.  
around pile locations may vary to accommodate construction operations.  
e segmenting barrier during construction operations.  
tion see Section 104 of the Standard Specifications.

## TURBIDITY BARRIER APPLICATIONS



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- T&E Species Surveys
- Tree Surveys/Appraisals

**1320 PONCE DE LEON DRIVE**

PREPARED FOR:  
**MRS. ANNE SCHERER**

### DETAILS

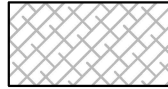
Date: 1/18/2023	Sheet : <b>5</b>	of : <b>5</b>	
Proj No.: 22-0061			

## EXHIBIT VII STANDARD LANDSCAPE PLAN

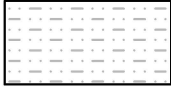
## LEGEND



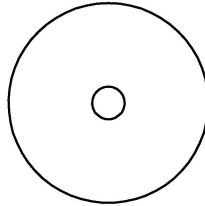
ST. AUGUSTINE SOD,  
TIGHT SEAMS, FULL COVERAGE



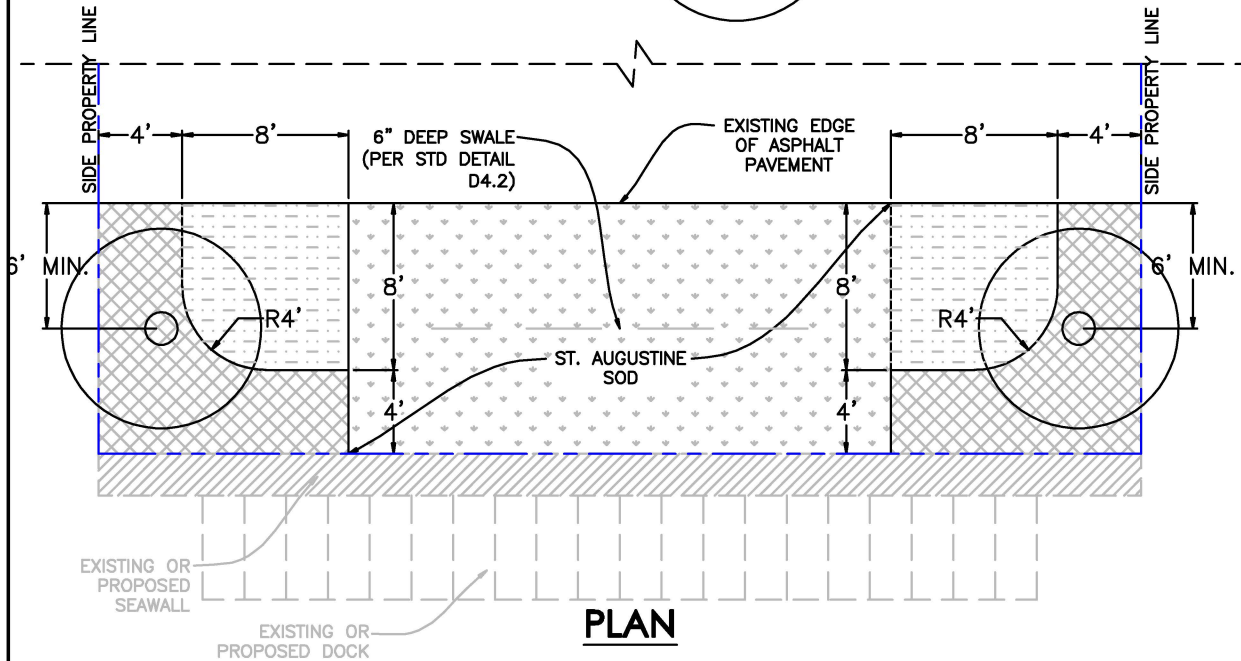
MUHLY GRASS:  
18" - 24" TALL  
18" - 24" ON CENTER



INDIAN HAWTHORN:  
12" - 18" TALL  
12" - 18" ON CENTER



12' SILVER BUTTONWOOD TREE,  
MULTI



## GENERAL NOTES:

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED:  
2/2015



CITY OF FORT LAUDERDALE  
DEPT. OF SUSTAINABLE DEVELOPMENT

REVISED:

URBAN DESIGN & PLANNING  
ENGINEERING DIVISION

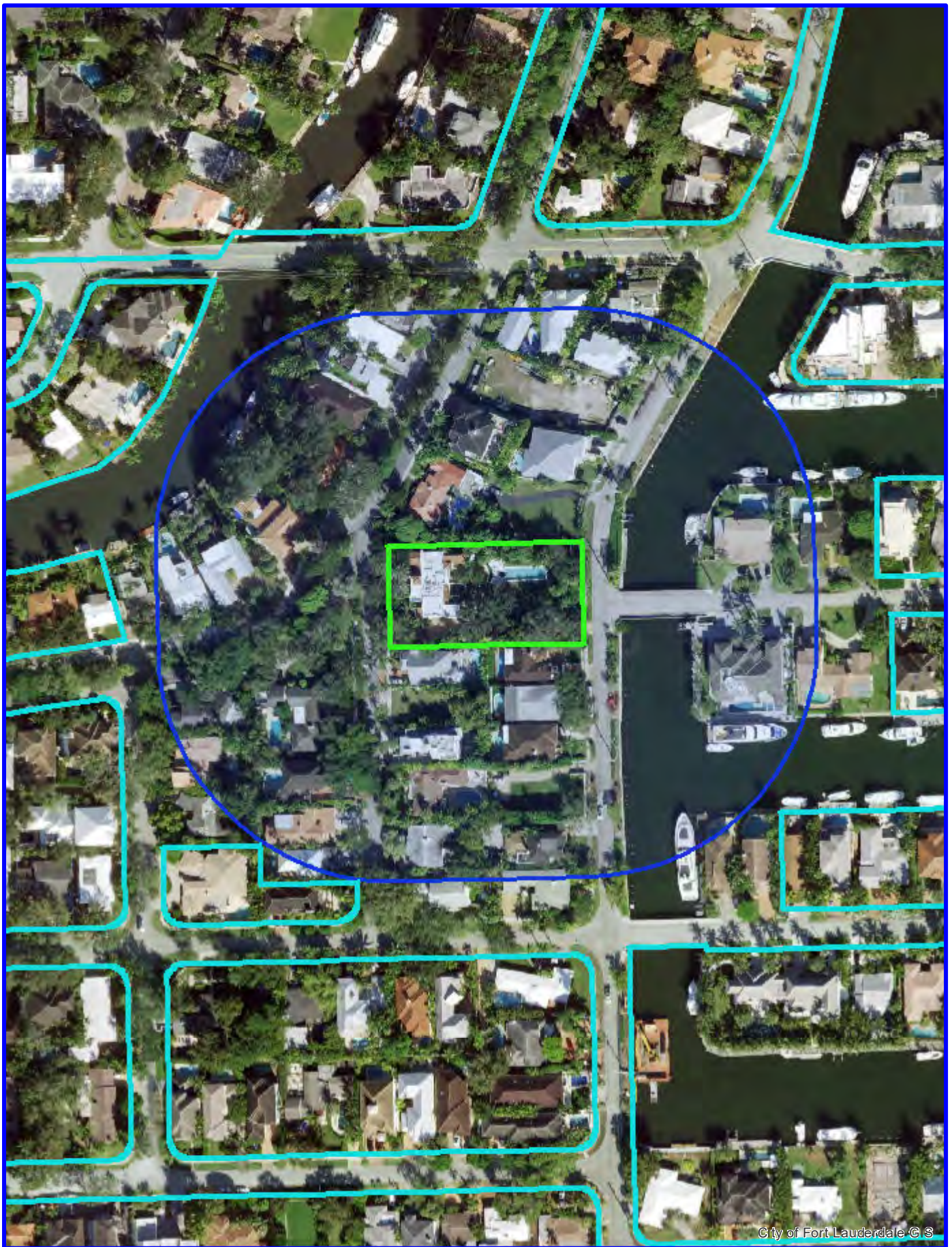
LANDSCAPING PLAN (ROW)

SCALE:  
1"=10'

**EXHIBIT VIII  
EXHIBIT A**



## EXHIBIT IX ZONING AERIAL



City of Fort Lauderdale © S



CITY OF FORT LAUDERDALE

1320 Ponce De Leon Drive



0 90 180 Feet

**GIS**  
Fort Lauderdale

## **EXHIBIT X EXISTING DOCK PERMITS IN THE VICINTY**

## EXISTING DOCK PERMITS IN THE VICINITY



ADDRESS	YEAR GRANTED
621 Cordova Road	2011, 2013
915 Cordova Road	2021
1009 Cordova Road	2015, 2021
1029 Cordova Road	2021
1028 SE 13 <sup>th</sup> Terrace	2021
116 SE 11 <sup>th</sup> Ave	2019
1700 Brickell Drive	2019
<b>Subject Site</b>	<b>Requested Jan 2023</b>

**EXHIBIT XI  
PROPERTIES WITH EXISTING DOCK STRUCTURES PRIOR  
TO THE INSTALLATION OF THE CITY OF FORT  
LAUDERDALE CORDOVA RD SEAWALL PROJECT**

**EXISTING STRUCTURES PRIOR TO THE INSTALLATION OF THE CITY OF FORT LAUDERDALE CORDOVA RD SEAWALL PROJECT**



Address	Structures
1516 Ponce De Leon Dr	Yes
621 Cordova Rd	Yes
701 Cordova Rd	Yes
705 Cordova Rd	Yes
711 Cordova Rd	Yes
721 Cordova Rd	Yes
805 Cordova Rd	Yes
811 Cordova Rd	Yes
817 Cordova Rd	Yes
901 Cordova Rd	Yes
909 Cordova Rd	Yes
1342 Ponce De Leon Dr	Yes

Address	Structures
919 Cordova Rd	Yes
1320 Ponce De Leon Dr	Yes
1326 Ponce De Leon Dr	Yes
1009 Cordova Rd	Yes
1013 Cordova Rd	Yes
1028 SE 13th Terr	Yes
1025 Cordova Rd	Yes
1029 Cordova Rd	Yes
1101 Cordova Rd	Yes
1109 Cordova Rd	Yes
1410 SE 11th St	Yes
1415 SE 11th Ct	Yes

## EXHIBIT XII LETTERS OF SUPPORT

December 2, 2022

William & Anne Scherer  
1320 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

RE: 1320 Ponce De Leon Drive  
City of Fort Lauderdale Waiver Request

Dear Mr. William Scherer and Mrs. Anne Scherer,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 919 Cordova Rd, and support the project as proposed.

Sincerely,

A handwritten signature in blue ink that reads "William & Linda Trethewey". The signature is written in a cursive style.

William & Linda Trethewey  
919 Cordova Rd  
Fort Lauderdale, FL 33316

December 2, 2022

William & Anne Scherer  
1320 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

RE: 1320 Ponce De Leon Drive  
City of Fort Lauderdale Waiver Request

Dear Mr. William Scherer and Mrs. Anne Scherer,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 1326 Ponce De Leon Drive, and support the project as proposed.

Sincerely,



William & Anne Scherer  
1326 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

# ITEM IX

## MEMORANDUM MF NO. 23-03

DATE: December 8, 2022

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: February 2, 2023 MAB Meeting – Application for Dock Permit – William J. Scherer Jr. & Anne Scherer / 1326 Ponce De Leon Road

Attached for your review is an application from William J. Scherer Jr. & Anne Scherer / 1326 Ponce De Leon Road.

### APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the construction and usage of a proposed 40.7'+/- long x 6'+/- wide marginal dock, elevator boat lift, and access steps extending a maximum distance of 20'+/- from the outside edge of the seawall cap into the waterway adjacent to 1326 Ponce De Leon Road. City Code Section 8-144 authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

### PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

### ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.

Marine Advisory Board

February 2, 2023

Page 2

4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.
5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock of attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation  
Jonathan Luscomb, Marine Facilities Supervisor



**WILLIAM J SCHERER JR & ANNE SCHERER  
1326 PONCE DE LEON DRIVE  
APPLICATION FOR PRIVATE USE OF PUBLIC PROPERTY  
ABUTTING WATERWAYS**

714 East McNab Road. Pompano Beach, FL 33060 *tel.* 954.782.1908 *fax.* 954.782.1108 [www.thechappellgroup.com](http://www.thechappellgroup.com)

Environmental Consultants | Marina & Wetland Permitting | Mitigation Design & Monitoring | T & E Species Surveys | Tree Surveys/Appraisals

**CITY OF FORT LAUDERDALE  
MARINE FACILITIES  
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES**

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

**APPLICATION FORM  
(Must be in Typewritten Form Only)**

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: **William J. Scherer Jr. & Anne Scherer**

TELEPHONE NO: 934 467 1377 (home) 954 761 1000 (business) EMAIL: annescherer@smdreality.com

2. APPLICANT'S ADDRESS (if different than the site address): **1326 Ponce De Leon Drive Fort Lauderdale, FL 33316**

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST:  
**The applicant requests a permit for the private use of public property abutting waterways within the City of Fort Lauderdale to install a marginal dock and boat lift.**

4. SITE ADDRESS: **1326 Ponce De Leon Drive Fort Lauderdale, FL 33316** ZONING: **R.S-8**

LEGAL DESCRIPTION AND FOLIO NUMBER:  
**RESUB BLK 22 RIO VISTA ISLES 23-30 B & RIO VISTA ISLES UNIT 3 7-47 B LOT 11,12,24 OF 23-30B & LOT 10 LESS S 30 THEREOF & LOT 25 LESS S 30 THEREOF BLK 22 OF 7-47 B Folio No. 504211190010**

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).  
**Warranty Deed, Survey, Zoning Aerial, Photos, Project Plans**

William J. Scherer Jr. & Anne Scherer 1/10/23  
Applicant's Signature Date

The sum of \$ \_\_\_\_\_ was paid by the above-named applicant on the \_\_\_\_\_ of \_\_\_\_\_, 20\_\_\_\_ Received by: \_\_\_\_\_

City of Fort Lauderdale

=====For Official City Use Only=====

**Marine Advisory Board Action**  
Formal Action taken on \_\_\_\_\_

**Commission Action**  
Formal Action taken on \_\_\_\_\_

Recommendation \_\_\_\_\_  
Action \_\_\_\_\_

## Table of Contents

SUMMARY DESCRIPTION .....	3
WARRANTY DEED & BCPA.....	<b>Error! Bookmark not defined.</b>
ORIGINAL SURVEY .....	<b>Error! Bookmark not defined.</b>
EXHIBIT A.....	<b>Error! Bookmark not defined.</b>
STANDARD LANDSCAPE PLAN .....	<b>Error! Bookmark not defined.</b>
ZONING AERIAL .....	<b>Error! Bookmark not defined.</b>
SITE PHOTOGRAPHS .....	<b>Error! Bookmark not defined.</b>
PROJECT PLANS.....	<b>Error! Bookmark not defined.</b>
EXISTING DOCK PERMITS IN THE VICINTY .....	<b>Error! Bookmark not defined.</b>
PROPERTIES WITH EXISTING DOCK STRUCTURES PRIOR TO THE INSTALLATION OF THE CITY OF FORT LAUDERDALE CORDOVA RD SEAWALL PROJECT .....	<b>Error! Bookmark not defined.</b>
LETTERS OF SUPPORT.....	<b>Error! Bookmark not defined.</b>

## EXHIBIT II SUMMARY DESCRIPTION

**Summary Description**  
**1326 Ponce De Leon Drive**  
**TCG Project No. 22-0061**

The project site is located along the Rio Cordova at 1326 Ponce De Leon Drive, in Section 11, Township 50, Range 42, in the City of Fort Lauderdale, Broward County, Florida

The property is located along the Rio Cordova, which is a tidal water. The nearest direct connection to the Atlantic Ocean is approximately 2 miles to the south at the Port Everglades Inlet. As the project site is located along the Rio Cordova, the incoming tidal waters (flood) at the site move to the north and the outgoing waters (ebb) move to the south.

The project site consists of an existing  $\pm 59.9$  in. ft. sheet pile seawall recently installed by the City of Fort Lauderdale under the Cordova Road Seawall Project. The proposed project includes the installation of a  $\pm 243$  sq. ft. concrete dock (40.7'x6'), an elevator boat lift, and steps located on the uplands. The proposed boat lift is a maximum of 80.0' from the applicant's property line and a maximum of 20.0' from the seawall cap. The property owners currently do not have a vessel but if one is purchased, information will be provided to the City Marine Facilities. As this property is owned by the city, the proposed composite dock will require approval of private use of public property abutting a waterway.

If this request is approved, the applicant will comply with all other necessary codes of ordinances (Sec. 8-144).

**EXHIBIT III  
WARRANTY DEED & BCPA**

Prepared by:  
Joel R. Lavender Esq.  
Joel R. Lavender, P. A.  
300 SE 2<sup>nd</sup> Street, Suite 600  
Fort Lauderdale, FL 33301  
(954) 522-5101

Return to:  
Balocco & Abril, PLLC  
4332 East Tradewinds Avenue  
Lauderdale By-The-Sea, FL 33308

PARCEL ID. : 504211-19-0010

#### WARRANTY DEED

**THIS INDENTURE, MADE THIS 26 day of APRIL, 2021, by and between SEIN LWIN, a single man, post office is at 2200 South Ocean Lane, Apt. 807, Fort Lauderdale, FL 33316-3861, Grantor, and WILLIAM J. SCHIERER JR. and ANNE SCHERER, husband and wife, whose post office address is 1320 Ponce De Leon Drive, Fort Lauderdale, FL 33316, Grantees\*.**

(\*Wherever used herein shall include singular and plural)

**WITNESSETH**, that the Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) to Grantor in hand paid by the Grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the Grantees, Grantees' heirs and assigns forever, the following described land, situated and being in the County of Broward, State of Florida, to-wit:

**Lots 11, 12, and 24, Lot 10, Less the South 30 feet thereof, Lot 25 Less the South 30 feet thereof, all in Block 22, UNIT 3 OF RIO VISTA ISLES, according to the plat thereof recorded in Plat Book 7, Page 47, of the Public Records of Broward County, Florida.**

**Also known as:**

**Lot Ten (10) and Twenty-Five (25), LESS the South 30 feet of said Lots in Block Twenty-Two (22) UNIT 3 OF RIO VISTA ISLES, according to the Plat thereof, recorded in Plat Book 7, at Page 47, of the Public Records of Broward County, Florida; AND Lots Eleven (11), Twelve (12) and Twenty-Four (24) of RESUBDIVISION IN BLOCK 22-RIO VISTA ISLES, according to the Plat of said Resubdivision recorded in Plat Book 23, at Page 30, of the Public Records of Broward County, Florida; said lands situate, lying and being in Broward County, Florida.**

**TOGETHER WITH** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**SUBJECT TO** taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

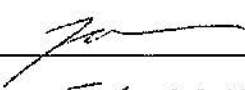
**TO HAVE AND TO HOLD** the same in fee simple forever.

**AND** Grantors hereby covenant with the Grantees that the Grantor are lawfully seized of said land in fee simple, that Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.


**IN WITNESS WHEREOF**, the Grantor has hereunto set Grantor's hand and seal on the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness 1

  
\_\_\_\_\_  
JOEL LAVENDER

Print Name

  
\_\_\_\_\_  
SEIN LWIN

Witness 2

  
\_\_\_\_\_


  
\_\_\_\_\_

Print Name

STATE OF FLORIDA  
COUNTY OF BROWARD

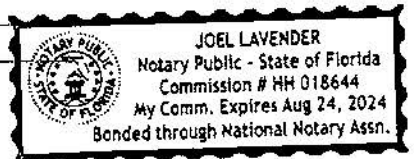
The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization this 26 day of APRIL, 2021, by SEIN LWIN, who  is personally known or  has produced \_\_\_\_\_ as identification.

Notary Public [Notary Seal]

  
\_\_\_\_\_

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_





## EXHIBIT IV ORIGINAL SURVEY

**LEGAL DESCRIPTION:**

LOTS 8, 9, 10, 11, 12, 24, 25, 26, AND 27 BLOCK 22, RIO VISTA ISLES UNIT THREE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**NOTES:**

1. REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SEALED BY THE SIGNING SURVEYOR.
2. THIS PLAT IS THE PROPERTY OF THE SURVEYOR AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.
3. THE LATEST SURVEY RECORDS ARE NOT REQUIRED FOR RECORDS OF ANY, EASEMENTS, OR OTHER SIMILAR MATTERS OF RECORD.
4. LEGAL DESCRIPTION FURNISHED BY CLIENT.
5. THIS SURVEY DOES NOT PURPORT TO IDENTIFY IMPROVEMENTS BELOW GRADE, IF ANY, EXCEPT AS SPECIFICALLY NOTED HEREON.
6. BUILDING TIES ARE PERPENDICULAR OR PARALLEL TO BOUNDARY LINES UNLESS NOTED OTHERWISE.
7. ADJACENT SURVEYS WERE BASED ON FIELD MEASUREMENTS WITHIN THE PLAT CENTERED RIO VISTA ISLES UNIT THREE, AS RECORDED IN PLAT BOOK 7, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
8. ELEVATIONS SHOWN HEREON ARE RELATIVE TO NAVAS 1988.
9. FLOOD ELEVATION INFORMATION:

COMMUNITY NO. = 53355      PLAT NO. = 53355      JURISDICTION = FLORIDA  
 DATE OF SURVEY = 02/27/2014      DATE FLOODELEVATION = 04/01/04

10. PROPERTY ADDRESS: 1335 & 1336 PONCE DE LEON DRIVE, FORT LAUDERDALE, FLORIDA 33304  
 11. CONTAINING 16,838 SQUARE FEET, MORE OR LESS.  
 12. CERTIFIED TO: *Villem 28 Scherer, Jr.*  
 Surveyor  
 Design: The Insurance Company  
 Survey & Map, LLC

**STANDARD ABBREVIATIONS:**

**LEGEND:**

- |    |                |   |                             |   |                        |
|----|----------------|---|-----------------------------|---|------------------------|
| AC | ASBESTOS       | ○ | SET 5/8" IR & CAP OLB 60PSD | ○ | MANHOLE (SANITARY)     |
| AD | ADJUSTED       | ○ | MANHOLE (STORM)             | ○ | MANHOLE (STORM)        |
| AE | AREA           | △ | MAIL & TAB                  | ○ | CATCH BASIN            |
| AF | AREA FENCED    | ○ | POP                         | ○ | ELECTRIC SERVICE       |
| AG | AREA GRASS     | ○ | PRN                         | ○ | TELEPHONE JUNCTION BOX |
| AH | AREA HAZARDOUS | ○ | ELEVATION                   | ○ | WATER METER            |
| AI | AREA IMPROVED  | ○ | FIRE HYDRANT                | ○ | CABLE TV BOX           |
| AJ | AREA JUNCTION  | ○ | CENTERLINE                  | ○ | LIGHT POLES            |
| AK | AREA K         | ○ | BLOCK STRUCTURE             | ○ | GATE VALVE             |
| AL | AREA L         | ○ | UTILITY RECORD              | ○ |                        |
| AM | AREA M         | ○ | UTILITY RECORD              | ○ |                        |
| AN | AREA N         | ○ | UTILITY RECORD              | ○ |                        |
| AO | AREA O         | ○ | UTILITY RECORD              | ○ |                        |
| AP | AREA P         | ○ | UTILITY RECORD              | ○ |                        |
| AQ | AREA Q         | ○ | UTILITY RECORD              | ○ |                        |
| AR | AREA R         | ○ | UTILITY RECORD              | ○ |                        |
| AS | AREA S         | ○ | UTILITY RECORD              | ○ |                        |
| AT | AREA T         | ○ | UTILITY RECORD              | ○ |                        |
| AU | AREA U         | ○ | UTILITY RECORD              | ○ |                        |
| AV | AREA V         | ○ | UTILITY RECORD              | ○ |                        |
| AW | AREA W         | ○ | UTILITY RECORD              | ○ |                        |
| AX | AREA X         | ○ | UTILITY RECORD              | ○ |                        |
| AY | AREA Y         | ○ | UTILITY RECORD              | ○ |                        |
| AZ | AREA Z         | ○ | UTILITY RECORD              | ○ |                        |
| BA | AREA AA        | ○ | UTILITY RECORD              | ○ |                        |
| BB | AREA AB        | ○ | UTILITY RECORD              | ○ |                        |
| BC | AREA AC        | ○ | UTILITY RECORD              | ○ |                        |
| BD | AREA AD        | ○ | UTILITY RECORD              | ○ |                        |
| BE | AREA AE        | ○ | UTILITY RECORD              | ○ |                        |
| BF | AREA AF        | ○ | UTILITY RECORD              | ○ |                        |
| BG | AREA AG        | ○ | UTILITY RECORD              | ○ |                        |
| BH | AREA AH        | ○ | UTILITY RECORD              | ○ |                        |
| BI | AREA AI        | ○ | UTILITY RECORD              | ○ |                        |
| BJ | AREA AJ        | ○ | UTILITY RECORD              | ○ |                        |
| BK | AREA AK        | ○ | UTILITY RECORD              | ○ |                        |
| BL | AREA AL        | ○ | UTILITY RECORD              | ○ |                        |
| BM | AREA AM        | ○ | UTILITY RECORD              | ○ |                        |
| BN | AREA AN        | ○ | UTILITY RECORD              | ○ |                        |
| BO | AREA AO        | ○ | UTILITY RECORD              | ○ |                        |
| BP | AREA AP        | ○ | UTILITY RECORD              | ○ |                        |
| BQ | AREA AQ        | ○ | UTILITY RECORD              | ○ |                        |
| BR | AREA AR        | ○ | UTILITY RECORD              | ○ |                        |
| BS | AREA AS        | ○ | UTILITY RECORD              | ○ |                        |
| BT | AREA AT        | ○ | UTILITY RECORD              | ○ |                        |
| BU | AREA AU        | ○ | UTILITY RECORD              | ○ |                        |
| BV | AREA AV        | ○ | UTILITY RECORD              | ○ |                        |
| BW | AREA AW        | ○ | UTILITY RECORD              | ○ |                        |
| BX | AREA AX        | ○ | UTILITY RECORD              | ○ |                        |
| BY | AREA AY        | ○ | UTILITY RECORD              | ○ |                        |
| BZ | AREA AZ        | ○ | UTILITY RECORD              | ○ |                        |
| CA | AREA BA        | ○ | UTILITY RECORD              | ○ |                        |
| CB | AREA BB        | ○ | UTILITY RECORD              | ○ |                        |
| CC | AREA BC        | ○ | UTILITY RECORD              | ○ |                        |
| CD | AREA BD        | ○ | UTILITY RECORD              | ○ |                        |
| CE | AREA BE        | ○ | UTILITY RECORD              | ○ |                        |
| CF | AREA BF        | ○ | UTILITY RECORD              | ○ |                        |
| CG | AREA BG        | ○ | UTILITY RECORD              | ○ |                        |
| CH | AREA BH        | ○ | UTILITY RECORD              | ○ |                        |
| CI | AREA BI        | ○ | UTILITY RECORD              | ○ |                        |
| CJ | AREA BJ        | ○ | UTILITY RECORD              | ○ |                        |
| CK | AREA BK        | ○ | UTILITY RECORD              | ○ |                        |
| CL | AREA BL        | ○ | UTILITY RECORD              | ○ |                        |
| CM | AREA BM        | ○ | UTILITY RECORD              | ○ |                        |
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| CQ | AREA BQ        | ○ | UTILITY RECORD              | ○ |                        |
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| CO | AREA CL        | ○ | UTILITY RECORD              | ○ |                        |
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| CY | AREA CV        | ○ | UTILITY RECORD              | ○ |                        |
| CA | AREA CW        | ○ | UTILITY RECORD              | ○ |                        |
| CB | AREA CX        | ○ | UTILITY RECORD              | ○ |                        |
| CC | AREA CY        | ○ | UTILITY RECORD              | ○ |                        |
| CD | AREA CA        | ○ | UTILITY RECORD              | ○ |                        |
| CE | AREA CB        | ○ | UTILITY RECORD              | ○ |                        |
| CF | AREA CC        | ○ | UTILITY RECORD              | ○ |                        |
| CG | AREA CD        | ○ | UTILITY RECORD              | ○ |                        |
| CH | AREA CE        | ○ | UTILITY RECORD              | ○ |                        |
| CI | AREA CF        | ○ | UTILITY RECORD              | ○ |                        |
| CJ | AREA CG        | ○ | UTILITY RECORD              | ○ |                        |
| CK | AREA CH        | ○ | UTILITY RECORD              | ○ |                        |
| CL | AREA CI        | ○ | UTILITY RECORD              | ○ |                        |
| CM | AREA CJ        | ○ | UTILITY RECORD              | ○ |                        |
| CN | AREA CK        | ○ | UTILITY RECORD              | ○ |                        |
| CO | AREA CL        | ○ | UTILITY RECORD              | ○ |                        |
| CP | AREA CM        | ○ | UTILITY RECORD              | ○ |                        |
| CQ | AREA CN        | ○ | UTILITY RECORD              | ○ |                        |
| CR | AREA CO        | ○ | UTILITY RECORD              | ○ |                        |
| CS | AREA CP        | ○ | UTILITY RECORD              | ○ |                        |
| CT | AREA CQ        | ○ | UTILITY RECORD              | ○ |                        |
| CU | AREA CR        | ○ | UTILITY RECORD              | ○ |                        |
| CV | AREA CS        | ○ | UTILITY RECORD              | ○ |                        |
| CW | AREA CT        | ○ | UTILITY RECORD              | ○ |                        |
| CX | AREA CU        | ○ | UTILITY RECORD              | ○ |                        |
| CY | AREA CV        | ○ | UTILITY RECORD              | ○ |                        |
| CA | AREA CW        | ○ | UTILITY RECORD              | ○ |                        |
| CB | AREA CX        | ○ | UTILITY RECORD              | ○ |                        |
| CC | AREA CY        | ○ | UTILITY RECORD              | ○ |                        |
| CD | AREA CA        | ○ | UTILITY RECORD              | ○ |                        |
| CE | AREA CB        | ○ | UTILITY RECORD              | ○ |                        |
| CF | AREA CC        | ○ | UTILITY RECORD              | ○ |                        |
| CG | AREA CD        | ○ | UTILITY RECORD              | ○ |                        |
| CH | AREA CE        | ○ | UTILITY RECORD              | ○ |                        |
| CI | AREA CF        | ○ | UTILITY RECORD              | ○ |                        |
| CJ | AREA CG        | ○ | UTILITY RECORD              | ○ |                        |
| CK | AREA CH        | ○ | UTILITY RECORD              | ○ |                        |
| CL | AREA CI        | ○ | UTILITY RECORD              | ○ |                        |
| CM | AREA CJ        | ○ | UTILITY RECORD              | ○ |                        |
| CN | AREA CK        | ○ | UTILITY RECORD              | ○ |                        |
| CO | AREA CL        | ○ | UTILITY RECORD              | ○ |                        |
| CP | AREA CM        | ○ | UTILITY RECORD              | ○ |                        |
| CQ | AREA CN        | ○ | UTILITY RECORD              | ○ |                        |
| CR | AREA CO        | ○ | UTILITY RECORD              | ○ |                        |
| CS | AREA CP        | ○ | UTILITY RECORD              | ○ |                        |
| CT | AREA CQ        | ○ | UTILITY RECORD              | ○ |                        |
| CU | AREA CR        |   |                             |   |                        |

## EXHIBIT V SITE PHOTOGRAPHS



**1. Northern portion of the subject site, facing south along the canal.**



**2. Southern portion of the subject site, facing north along the canal.**



**3. Southern portion of the subject site, facing north.**

## **EXHIBIT VI PROJECT PLANS**

# 1326 PONCE DE LEON DRIVE

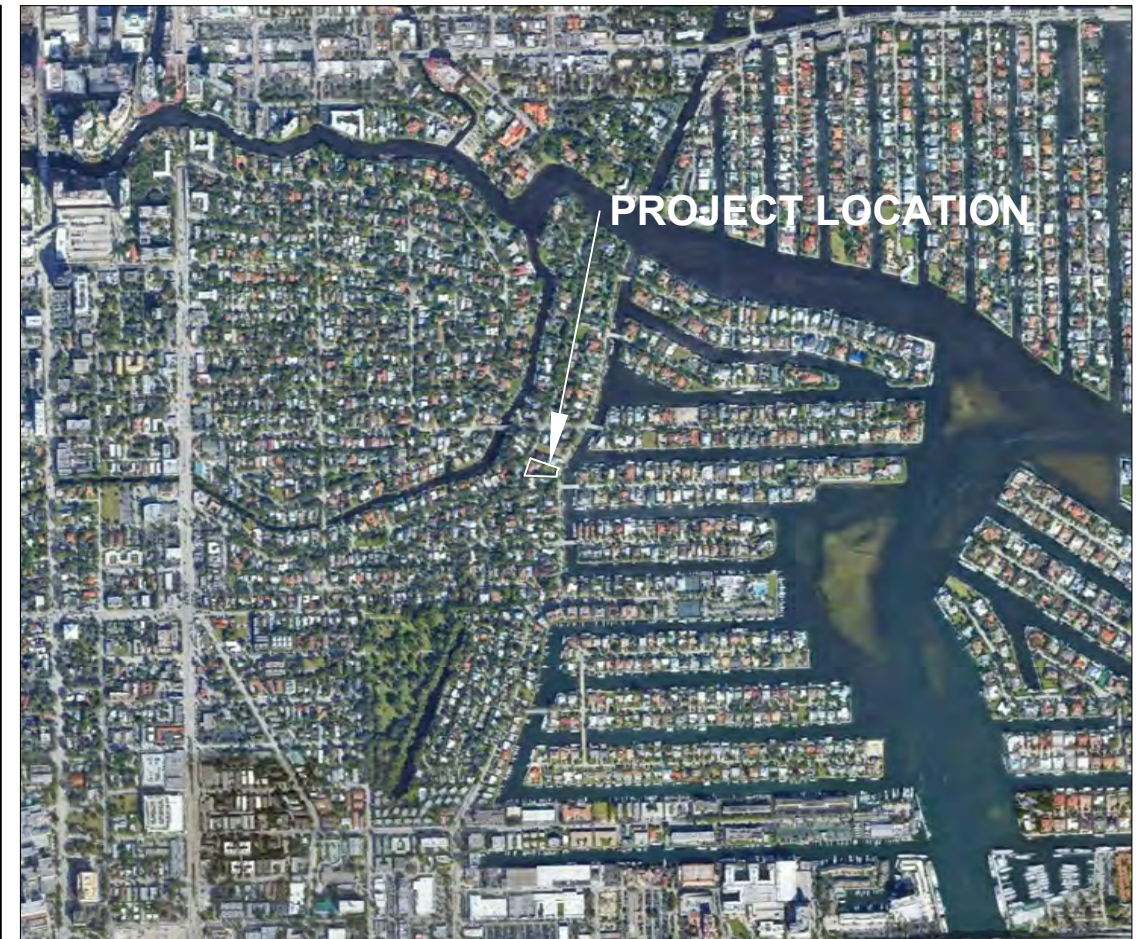
## CITY OF FORT LAUDERDALE

### PLAN SET



#### DRAWING INDEX

- SHEET 1: COVER
- SHEET 2: EXISTING CONDITIONS
- SHEET 3: PROPOSED CONDITIONS
- SHEET 4: SECTION A
- SHEET 5: DETAILS



VICINITY AERIAL (N.T.S.)

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 Pompano Beach, Florida 33060  
 tel. 954.782.1908  
 fax. 954.782.1108  
[www.thechappellgroup.com](http://www.thechappellgroup.com)

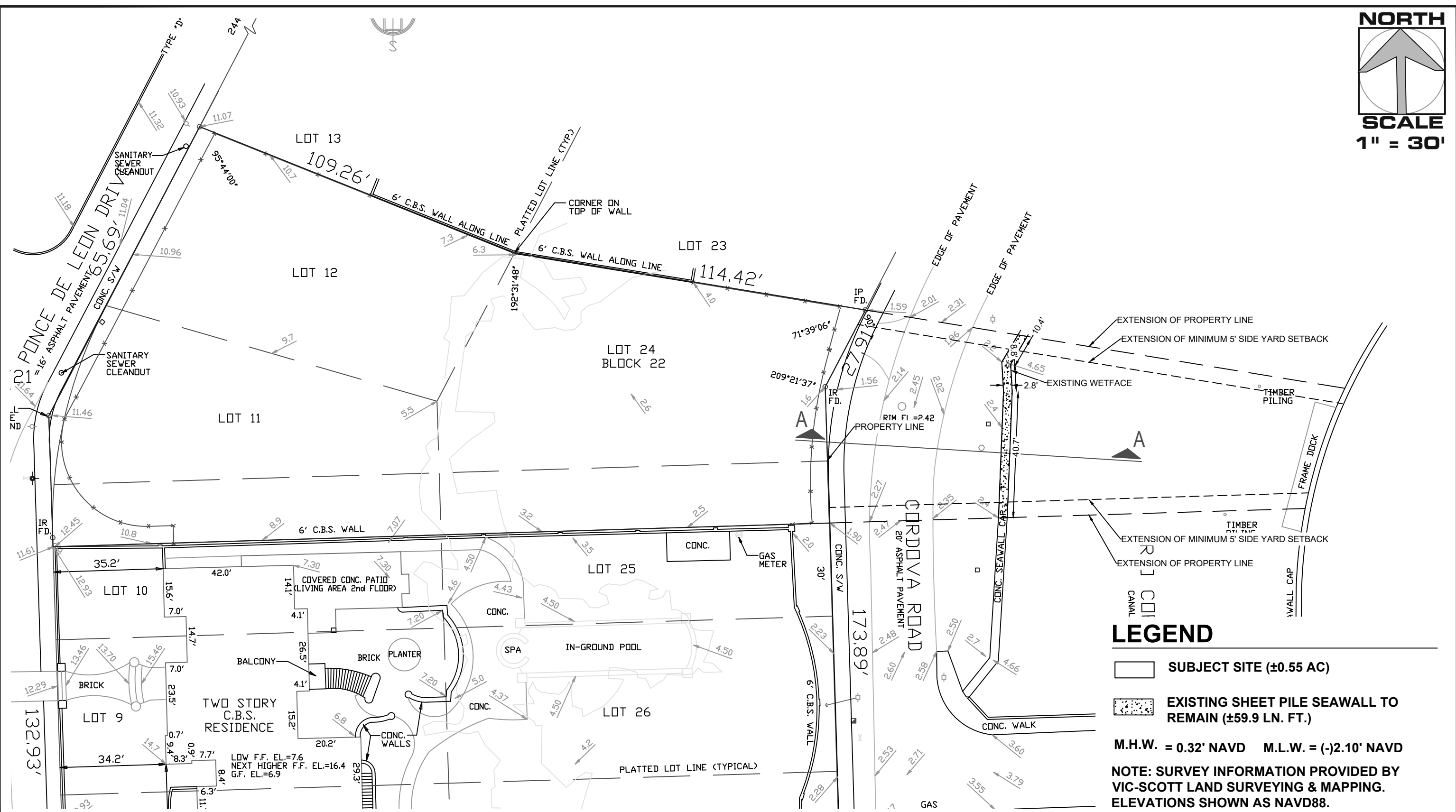
- Environmental Consultants
- Marina & Wetland Permitting
- Mitigation Design & Monitoring
- T&E Species Surveys
- Tree Surveys/Appraisals

## 1326 PONCE DE LEON DRIVE

PREPARED FOR:  
 WILLIAM J. SCHERER & ANNE SCHERER

COVER

Date: 1/18/2023	Sheet : <b>1</b>	of : <b>5</b>
Proj No.: 22-0061		



### LEGEND

- SUBJECT SITE (±0.55 AC)
- EXISTING SHEET PILE SEAWALL TO REMAIN (±59.9 LN. FT.)

M.H.W. = 0.32' NAVD    M.L.W. = (-)2.10' NAVD  
 NOTE: SURVEY INFORMATION PROVIDED BY  
 VIC-SCOTT LAND SURVEYING & MAPPING.  
 ELEVATIONS SHOWN AS NAVD88.

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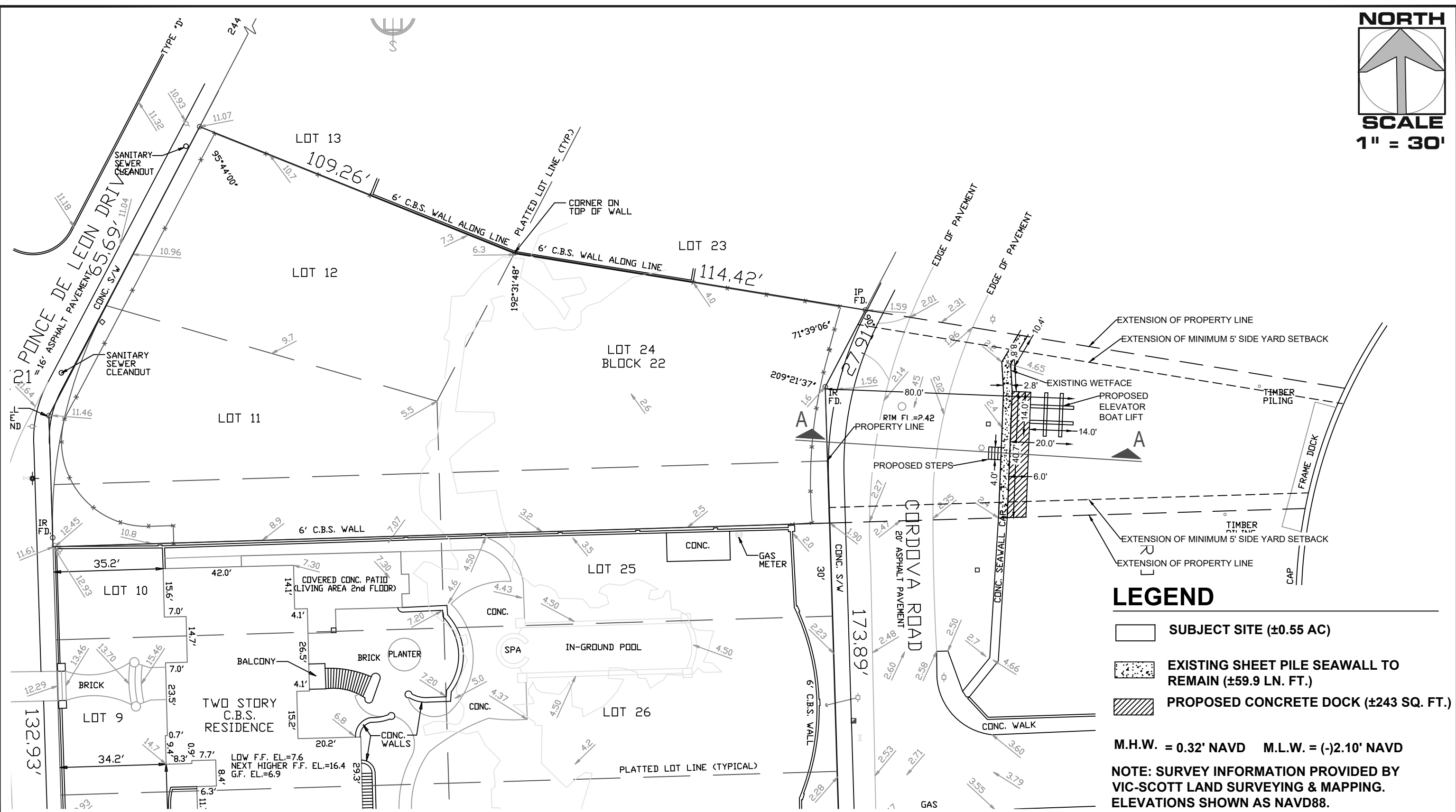
714 East McNab Road  
 Pompano Beach, Florida 33060  
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**1326 PONCE DE LEON DRIVE**

PREPARED FOR:  
**WILLIAM J. SCHERER & ANNE SCHERER**

EXISTING CONDITIONS		
Date: 1/18/2023	Sheet : <b>2</b>	of : <b>5</b>
Proj No.: 22-0061		



**LEGEND**

- SUBJECT SITE (±0.55 AC)
- EXISTING SHEET PILE SEAWALL TO REMAIN (±59.9 LN. FT.)
- PROPOSED CONCRETE DOCK (±243 SQ. FT.)

M.H.W. = 0.32' NAVD    M.L.W. = (-)2.10' NAVD  
 NOTE: SURVEY INFORMATION PROVIDED BY  
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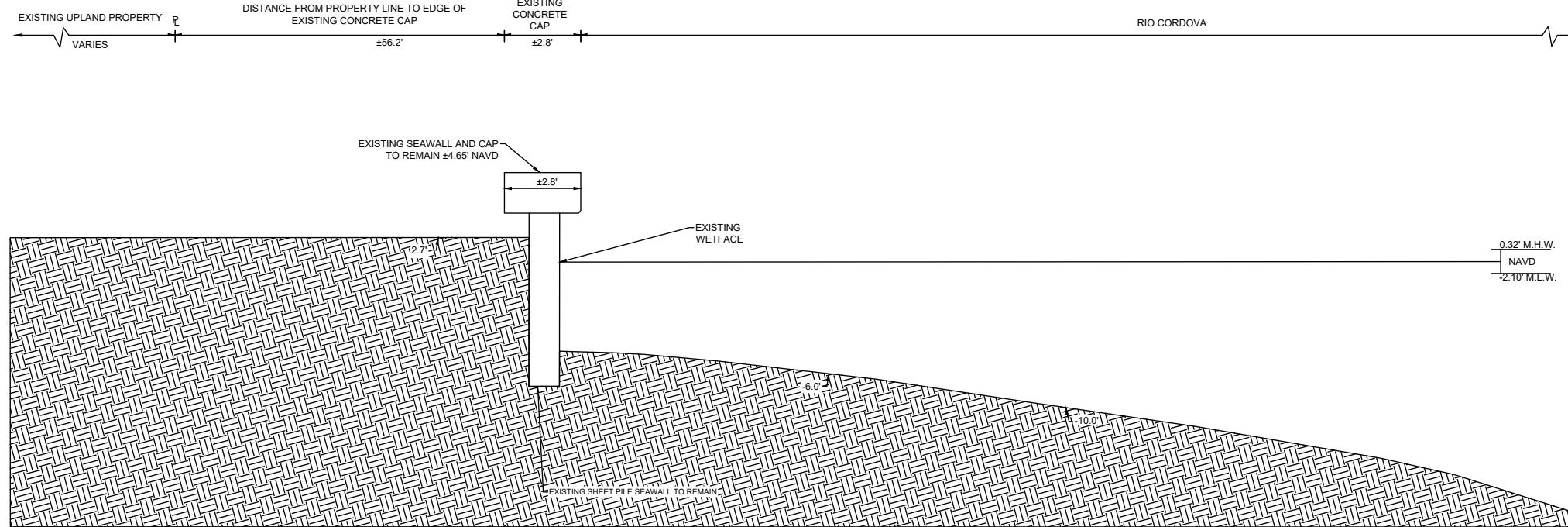
- Environmental Consultants
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- T&E Species Surveys
- Tree Surveys/Appraisals

**1326 PONCE DE LEON DRIVE**  
 PREPARED FOR:  
 WILLIAM J. SCHERER & ANNE SCHERER

PROPOSED CONDITIONS		
Date: 1/18/2023	Sheet : <b>3</b>	of : <b>5</b>
Proj No.: 22-0061		

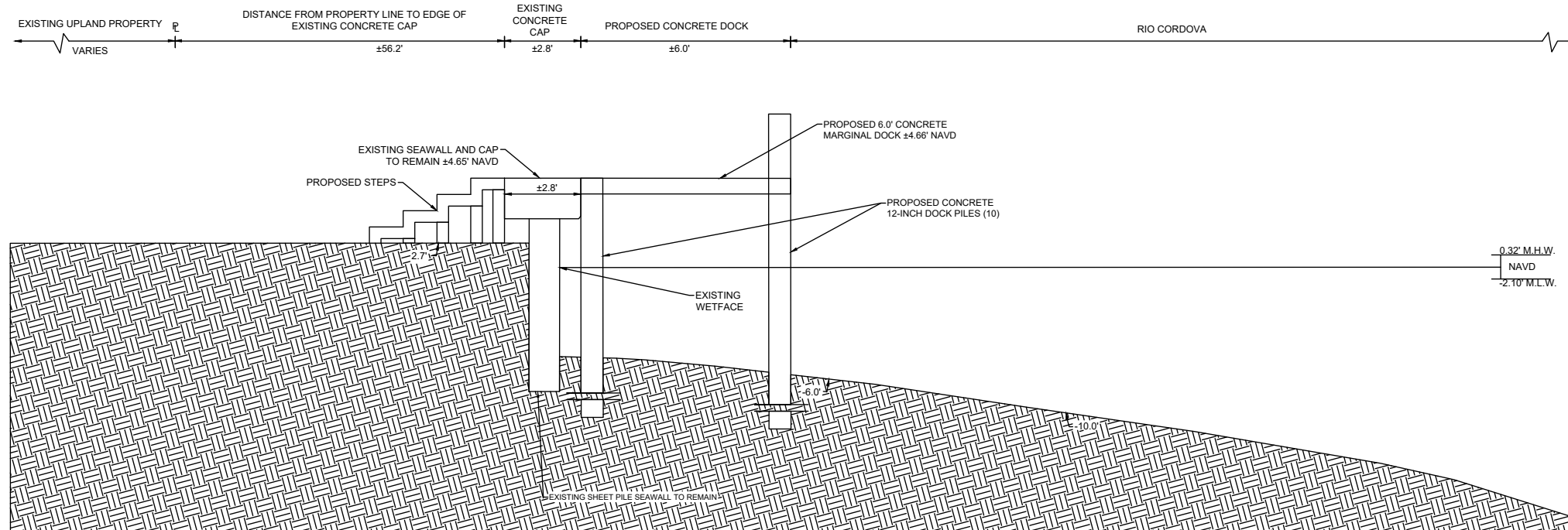
**EXISTING CONDITIONS A-A (TYP.)**

N.T.S.



**PROPOSED CONDITIONS A-A (TYP.)**

N.T.S.



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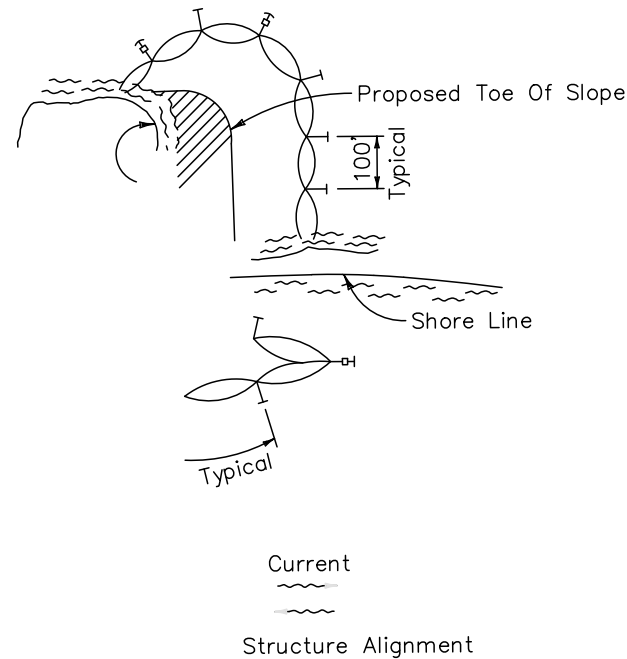
**1326 PONCE DE LEON DRIVE**

PREPARED FOR:  
**WILLIAM J. SCHERER & ANNE SCHERER**

SECTION A

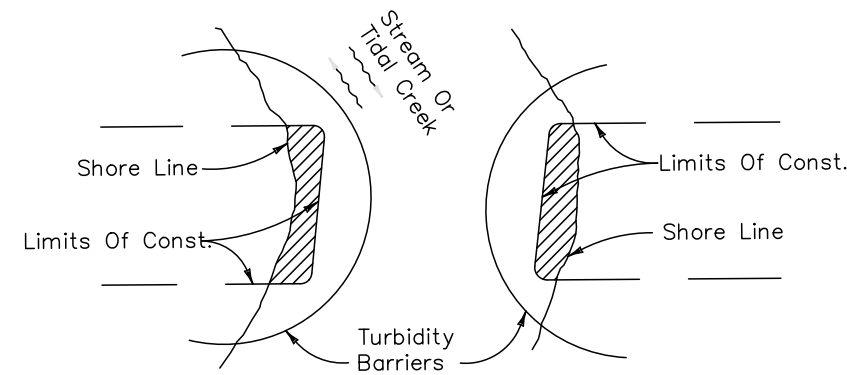
Date: 1/18/2023	Sheet : <b>4</b>	of : <b>5</b>
Proj No.: 22-0061		

# CONSTRUCTION BARGE (TYP.)



### LEGEND

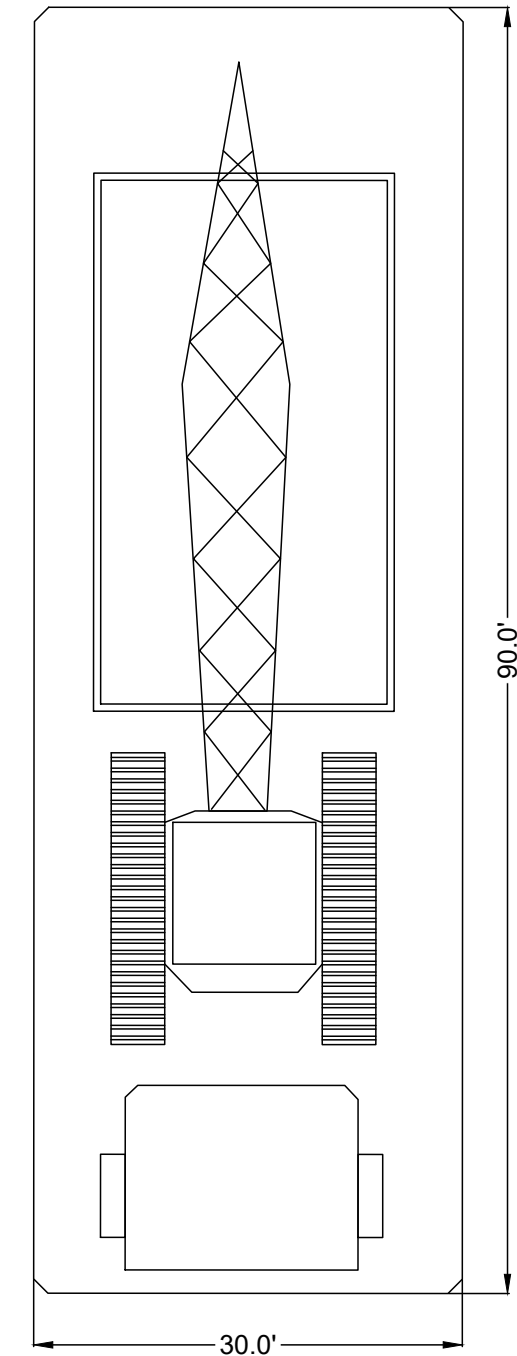
- Pile Locations
- ▨ Dredge Or Fill Area
- ⊕ Mooring Buoy w/Anchor
- ⊖ Anchor
- ⊖ Barrier Movement Due To Current Action



Note:  
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractors option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

to be used in all permanent bodies of water regardless of water depth.  
of anchors dependent on current velocities.  
around pile locations may vary to accommodate construction operations.  
e segmenting barrier during construction operations.  
tion see Section 104 of the Standard Specifications.

## TURBIDITY BARRIER APPLICATIONS



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- Tree Surveys/Appraisals

**1326 PONCE DE LEON DRIVE**  
PREPARED FOR:  
**WILLIAM J. SCHERER & ANNE SCHERER**

### DETAILS

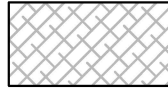
Date: 1/18/2023	Sheet : <b>5</b>	of : <b>5</b>
Proj No.: 22-0061		

## EXHIBIT VII STANDARD LANDSCAPE PLAN

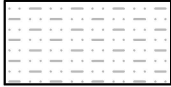
## LEGEND



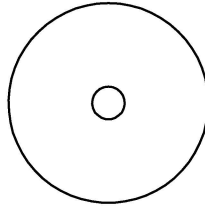
ST. AUGUSTINE SOD,  
TIGHT SEAMS, FULL COVERAGE



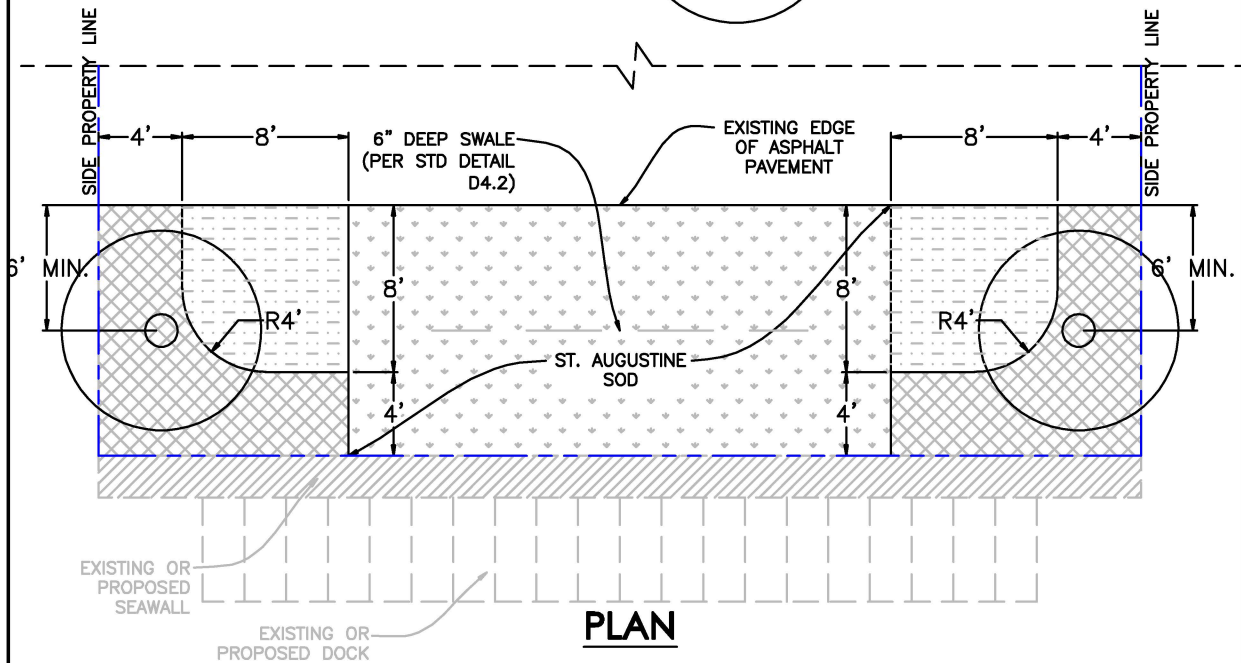
MUHLY GRASS:  
18" - 24" TALL  
18" - 24" ON CENTER



INDIAN HAWTHORN:  
12" - 18" TALL  
12" - 18" ON CENTER



12' SILVER BUTTWOOD TREE,  
MULTI



## GENERAL NOTES:

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED:  
2/2015



CITY OF FORT LAUDERDALE  
DEPT. OF SUSTAINABLE DEVELOPMENT

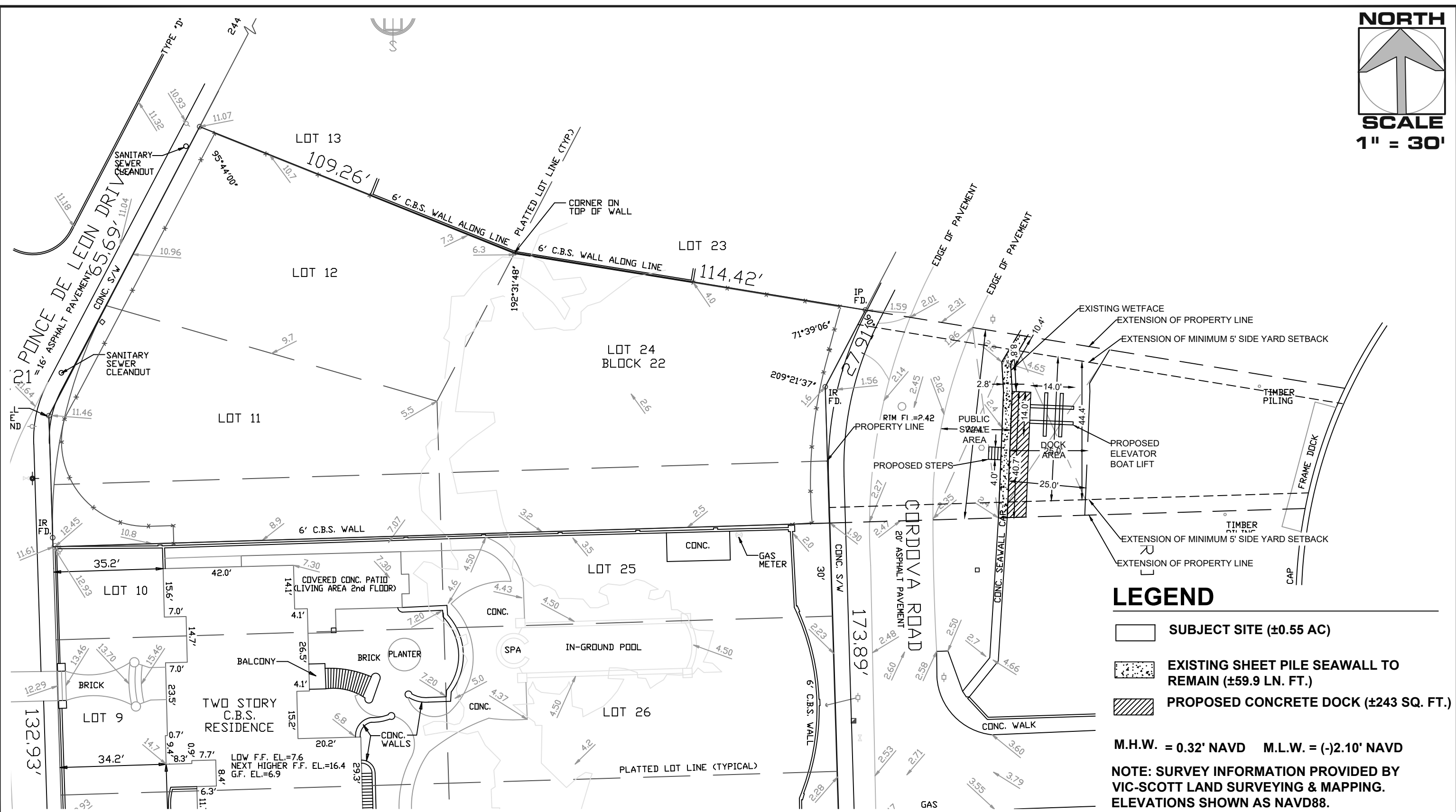
REVISED:

URBAN DESIGN & PLANNING  
ENGINEERING DIVISION

LANDSCAPING PLAN (ROW)

SCALE:  
1"=10'

**EXHIBIT VIII  
EXHIBIT A**



**LEGEND**

- SUBJECT SITE (±0.55 AC)
- EXISTING SHEET PILE SEAWALL TO REMAIN (±59.9 LN. FT.)
- PROPOSED CONCRETE DOCK (±243 SQ. FT.)

M.H.W. = 0.32' NAVD    M.L.W. = (-)2.10' NAVD  
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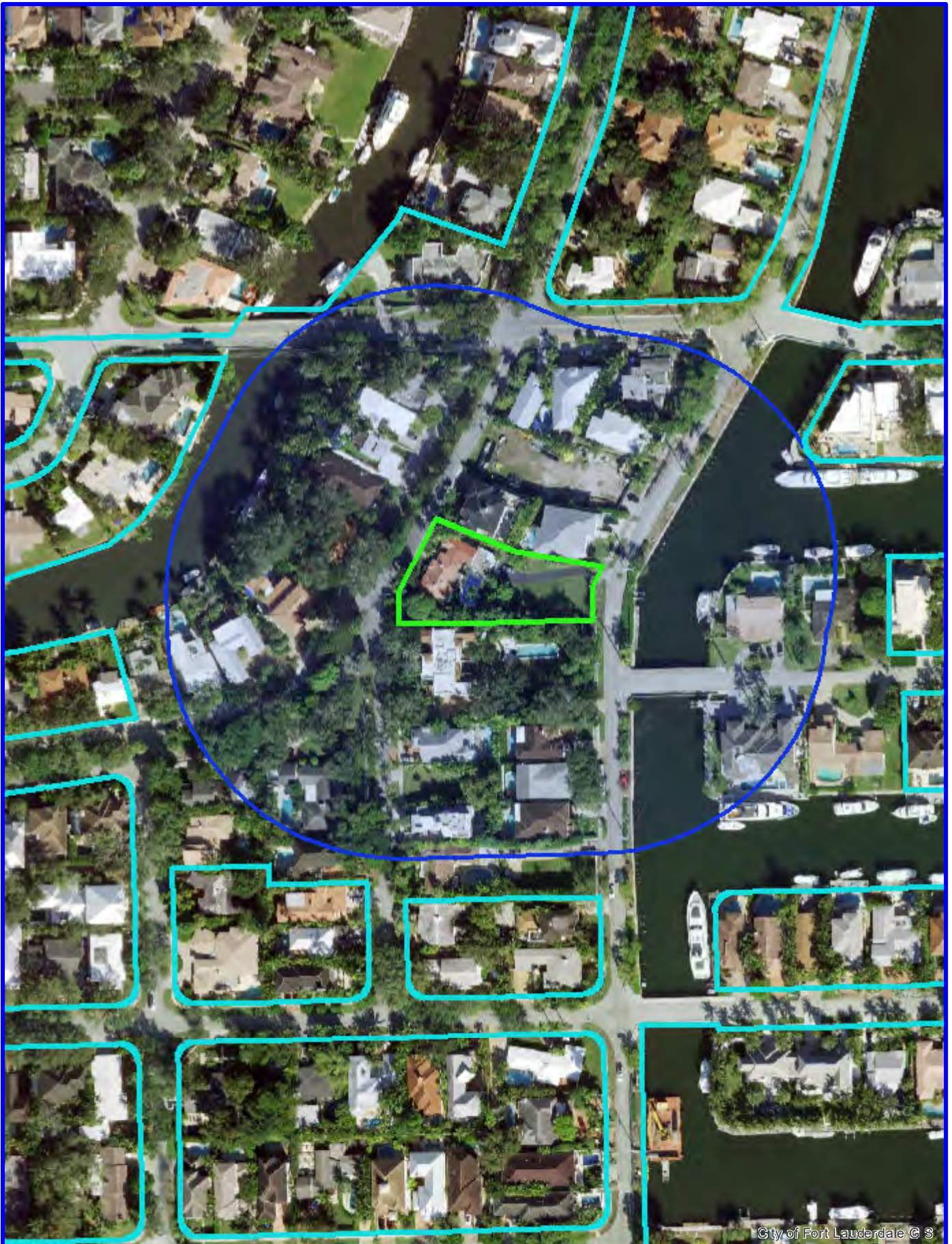
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**1326 PONCE DE LEON DRIVE**  
 PREPARED FOR:  
 WILLIAM J. SCHERER & ANNE SCHERER

EXHIBIT A		
Date: 1/18/2023	Sheet : <b>1</b>	of : <b>1</b>
Proj No.: 22-0061		

## EXHIBIT IX ZONING AERIAL

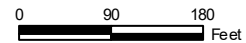


City of Fort Lauderdale © S



CITY OF FORT LAUDERDALE

1326 Ponce De Leon Drive



**GIS**  
Fort Lauderdale

## **EXHIBIT X EXISTING DOCK PERMITS IN THE VICINTY**

## EXISTING DOCK PERMITS IN THE VICINITY



ADDRESS	YEAR GRANTED
621 Cordova Road	2011, 2013
915 Cordova Road	2021
1009 Cordova Road	2015, 2021
1029 Cordova Road	2021
1028 SE 13 <sup>th</sup> Terrace	2021
116 SE 11 <sup>th</sup> Ave	2019
1700 Brickell Drive	2019
<b>Subject Site</b>	<b>Requested Jan 2023</b>

**EXHIBIT XI  
PROPERTIES WITH EXISTING DOCK STRUCTURES PRIOR  
TO THE INSTALLATION OF THE CITY OF FORT  
LAUDERDALE CORDOVA RD SEAWALL PROJECT**

**EXISTING STRUCTURES PRIOR TO THE INSTALLATION OF THE CITY OF FORT LAUDERDALE CORDOVA RD SEAWALL PROJECT**



Address	Structures
1516 Ponce De Leon Dr	Yes
621 Cordova Rd	Yes
701 Cordova Rd	Yes
705 Cordova Rd	Yes
711 Cordova Rd	Yes
721 Cordova Rd	Yes
805 Cordova Rd	Yes
811 Cordova Rd	Yes
817 Cordova Rd	Yes
901 Cordova Rd	Yes
909 Cordova Rd	Yes
1342 Ponce De Leon Dr	Yes

Address	Structures
919 Cordova Rd	Yes
1320 Ponce De Leon Dr	Yes
1326 Ponce De Leon Dr	Yes
1009 Cordova Rd	Yes
1013 Cordova Rd	Yes
1028 SE 13th Terr	Yes
1025 Cordova Rd	Yes
1029 Cordova Rd	Yes
1101 Cordova Rd	Yes
1109 Cordova Rd	Yes
1410 SE 11th St	Yes
1415 SE 11th Ct	Yes

## EXHIBIT XII LETTERS OF SUPPORT

December 2, 2022

William & Anne Scherer  
1326 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

RE: 1326 Ponce De Leon Drive  
City of Fort Lauderdale Waiver Request

Dear Mr. William Scherer and Mrs. Anne Scherer,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock and boat lift. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 919 Cordova Rd, and support the project as proposed.

Sincerely,

A handwritten signature in blue ink that reads "William & Linda Trethewey". The signature is written in a cursive style.

William & Linda Trethewey  
919 Cordova Rd  
Fort Lauderdale, FL 33316

December 2, 2022

William & Anne Scherer  
1326 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

RE: 1320 Ponce De Leon Drive  
City of Fort Lauderdale Waiver Request

Dear Mr. William Scherer and Mrs. Anne Scherer,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock and boat lift. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 1005 Cordova Road, and support the project as proposed.

Sincerely,



Rudi & Louise Dill  
1005 Cordova Road  
Fort Lauderdale, FL 33316

December 2, 2022

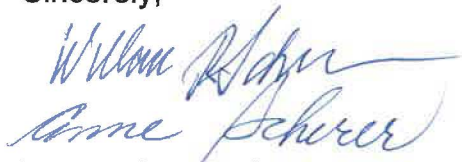
William & Anne Scherer  
1326 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

RE: 1326 Ponce De Leon Drive  
City of Fort Lauderdale Waiver Request

Dear Mr. William Scherer and Mrs. Anne Scherer,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock and boat lift. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 1320 Ponce De Leon Drive, and support the project as proposed.

Sincerely,

Handwritten signatures of William and Anne Scherer in blue ink. The signature of William Scherer is on top, and the signature of Anne Scherer is below it.

William & Anne Scherer  
1320 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

# ITEM X

## MEMORANDUM MF NO. 23-04

DATE: December 8, 2022

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: February 2, 2023 MAB Meeting – Application for Dock Permit – William S. & Linda M. Trethewey / 919 Cordova Road

Attached for your review is an application from William S. & Linda M. Trethewey / 919 Cordova Road.

### APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the construction and usage of a proposed 63.4'+/- long x 6'+/- wide marginal dock and access steps extending a maximum distance of 6'+/- from the outside edge of the seawall cap on public property abutting the waterway adjacent to 919 Cordova Road. City Code Section 8-144 authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

### PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

### ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.

Marine Advisory Board

February 2, 2023

Page 2

4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.
5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock of attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation  
Jonathan Luscomb, Marine Facilities Supervisor

**WILLIAM S TRETHERWEY & LINDA M TRETHERWEY  
919 CORDOVA ROAD  
APPLICATION FOR PRIVATE USE OF PUBLIC PROPERTY  
ABUTTING WATERWAYS**



## Table of Contents

SUMMARY DESCRIPTION .....	3
WARRANTY DEED & BCPA.....	5
ORIGINAL SURVEY .....	9
SITE PHOTOGRAPHS .....	11
STANDARD LANDSCAPE PLAN .....	20
EXHIBIT A.....	22
ZONING AERIAL .....	24
EXISTING DOCK PERMITS IN THE VICINTY .....	26
PROPERTIES WITH EXISTING DOCK STRUCTURES PRIOR TO THE INSTALLATION OF THE CITY OF FORT LAUDERDALE CORDOVA RD SEAWALL PROJECT .....	28
LETTERS OF SUPPORT .....	30

## EXHIBIT II SUMMARY DESCRIPTION

**Summary Description**  
**919 Cordova Road**  
**TCG Project No. 22-0070**

The project site is located along the Rio Cordova at 919 Cordova Road, in Section 11, Township 50, Range 42, in the City of Fort Lauderdale, Broward County, Florida

The property is located along the Rio Cordova, which is a tidal water. The nearest direct connection to the Atlantic Ocean is approximately 2 miles to the south at the Port Everglades Inlet. As the project site is located along the Rio Cordova, the incoming tidal waters (flood) at the site move to the north and the outgoing waters (ebb) move to the south.

The project site consists of an existing  $\pm 76$  ln. ft. sheet pile seawall recently installed by the City of Fort Lauderdale under the Cordova Road Seawall Project. The proposed project includes the installation of a  $\pm 380$  sq. ft. composite dock (63.4'x6') with steps located on the uplands. The proposed dock will be located a maximum distance of 58.7' from the applicant's property line and a maximum distance of 6' from the existing seawall cap. The property owners currently do not have a vessel but if one is purchased, information will be provided to the City Marine Facilities. As this property is owned by the city, the proposed composite dock will require approval of private use of public property abutting a waterway.

If this request is approved, the applicant will comply with all other necessary codes of ordinances (Sec. 8-144).

**EXHIBIT III  
WARRANTY DEED & BCPA**

Prepared by and return to:  
Kenneth P. Wurttenberger  
Kopelowitz Ostrow P.A.  
200 SW 1st Avenue Suite 1200  
Fort Lauderdale, FL 33301  
954-525-4100  
File Number: 12664-002s

[Space Above This Line For Recording Data]

## Warranty Deed

**This Warranty Deed** made this 15<sup>th</sup> day of April, 2015 between **Ponce Partners, LLC**, a Florida limited liability company whose post office address is 200 SW 1st Ave, Suite 1200, Fort Lauderdale, FL 33301, grantor, and **William S. Trethewey and Linda M. Trethewey, husband and wife** whose post office address is 919 Cordova Road, Fort Lauderdale, FL 33316, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals; and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida** to-wit:

All of Lot 23 and that part of Lot 22, Block 22, RESUBDIVISION OF BLOCK 22, RIO VISTA ISLES (original Unit 3 Rio Vista Isles, recorded in Plat Book 7, Page 47, of the Public Records of Broward County, Florida) according to the Plat thereof, as recorded in Plat Book 23, Page 30, of the Public Records of Broward County, Florida, said part of Lot 22 described as follows:

Beginning at the Southeast corner of said Lot 22, thence North along the East boundary of said Lot 22, a distance of 25.00 feet, thence Southwesterly, a distance of 114.58 feet to an intersection with the West boundary of Lot 22, said point being 5.00 feet North of (as measured along said West boundary) the Southwest corner of Lot 22; thence Southerly along said West boundary, a distance of 5.00 feet to the Southwest corner of Lot 22; thence Northeasterly along the Southerly boundary of said Lot 22, a distance of 109.22 feet to the point of beginning.

Parcel Identification Number: 504211-19-0022

Subject to taxes for 2015 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold** the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2014**.

**In Witness Whereof**, grantor has heretunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Debbie Schena  
Witness Name: Debbie Schena

Brenda S. Kissel  
Witness Name: Brenda S. Kissel

Brenda S. Kissel  
Witness Name: Brenda S. Kissel

Catherine Sambrano  
Witness Name: Catherine Sambrano

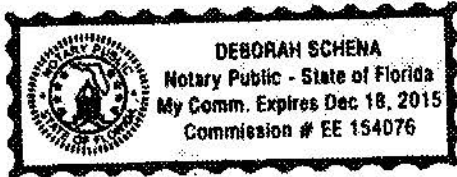
Ponce Partners, LLC, a Florida limited liability company  
By: [Signature]  
Bart A. Houston, Manager

By: [Signature]  
Thomas R. Shahady, Manager

State of Florida  
County of Broward

The foregoing instrument was acknowledged before me this 13 day of April, 2015 by Bart A. Houston, Manager of Ponce Partners, LLC, a Florida limited liability company, on behalf of said firm. He  is personally known or  has produced a driver's license as identification.

[Notary Seal]



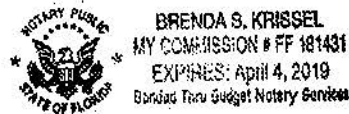
[Signature]  
Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

State of Florida  
County of Broward

The foregoing instrument was acknowledged before me this 15 day of April, 2015 by Thomas R. Shahady, Manager of Ponce Partners, LLC, a Florida limited liability company, on behalf of said firm. He  is personally known or  has produced a driver's license as identification.

[Notary Seal]

[Signature]  
Notary Public  
Printed Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_





<b>Site Address</b>	<b>919 CORDOVA ROAD, FORT LAUDERDALE FL 33301</b>	<b>ID #</b>	5042 11 19 0022
<b>Property Owner</b>	TRETHEWEY, WILLIAM S & LINDA M	<b>Millage</b>	0312
<b>Mailing Address</b>	919 CORDOVA RD FORT LAUDERDALE FL 33316	<b>Use</b>	01-01
<b>Abbr Legal Description</b>	RESUB BLK 22 RIO VISTA ISLES 23-30 B ALL LOT 23 & POR LOT 22 DESC AS: BEG SE COR LOT 22,N 25,SW 114.58 S ALG W/L 5' TO SW COR LOT 22, NE 109.22 TO POB		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

\* 2023 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2023	\$326,200	\$2,018,960	\$2,345,160	\$1,966,010	
2022	\$326,200	\$2,018,960	\$2,345,160	\$1,966,010	\$36,226.61
2021	\$326,200	\$1,755,050	\$2,081,250	\$1,908,750	\$35,206.53

2023 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$2,345,160	\$2,345,160	\$2,345,160	\$2,345,160
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH 16</b>	\$1,966,010	\$1,966,010	\$1,966,010	\$1,966,010
<b>Homestead 100%</b>	\$25,000	\$25,000	\$25,000	\$25,000
<b>Add. Homestead</b>	\$25,000	0	\$25,000	\$25,000
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$1,916,010	\$1,941,010	\$1,916,010	\$1,916,010

Sales History			
Date	Type	Price	Book/Page or CIN
4/13/2015	WD-Q	\$2,150,000	112954456
1/9/2004	WD*	\$1,250,000	36738 / 57

Land Calculations		
Price	Factor	Type
\$40.00	8,155	SF
<b>Adj. Bldg. S.F. (Card, Sketch)</b>		4970
<b>Units/Beds/Baths</b>		1/5/5.1
<b>Eff./Act. Year Built: 2010/2009</b>		

\* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		

## EXHIBIT IV ORIGINAL SURVEY



## EXHIBIT V SITE PHOTOGRAPHS



**1. Northern portion of the subject site, facing south along the canal.**



**2. Southern portion of the subject site, facing north along the canal.**



**3. Central portion of the subject site, facing southeast.**

## EXHIBIT VI PROJECT PLANS

# 919 CORDOVA ROAD CITY OF FORT LAUDERDALE PLAN SET



## DRAWING INDEX

**SHEET 1: COVER**

**SHEET 2: EXISTING  
CONDITIONS**

**SHEET 3: PROPOSED  
CONDITIONS**

**SHEET 4: SECTION A**

**SHEET 5: DETAILS**



**VICINITY AERIAL (N.T.S.)**

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Pompano Beach, Florida 33060  
tel. 954.782.1908  
fax. 954.782.1108  
[www.thechappellgroup.com](http://www.thechappellgroup.com)

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- Mitigation Design & Monitoring
- T&E Species Surveys
- Tree Surveys/Appraisals

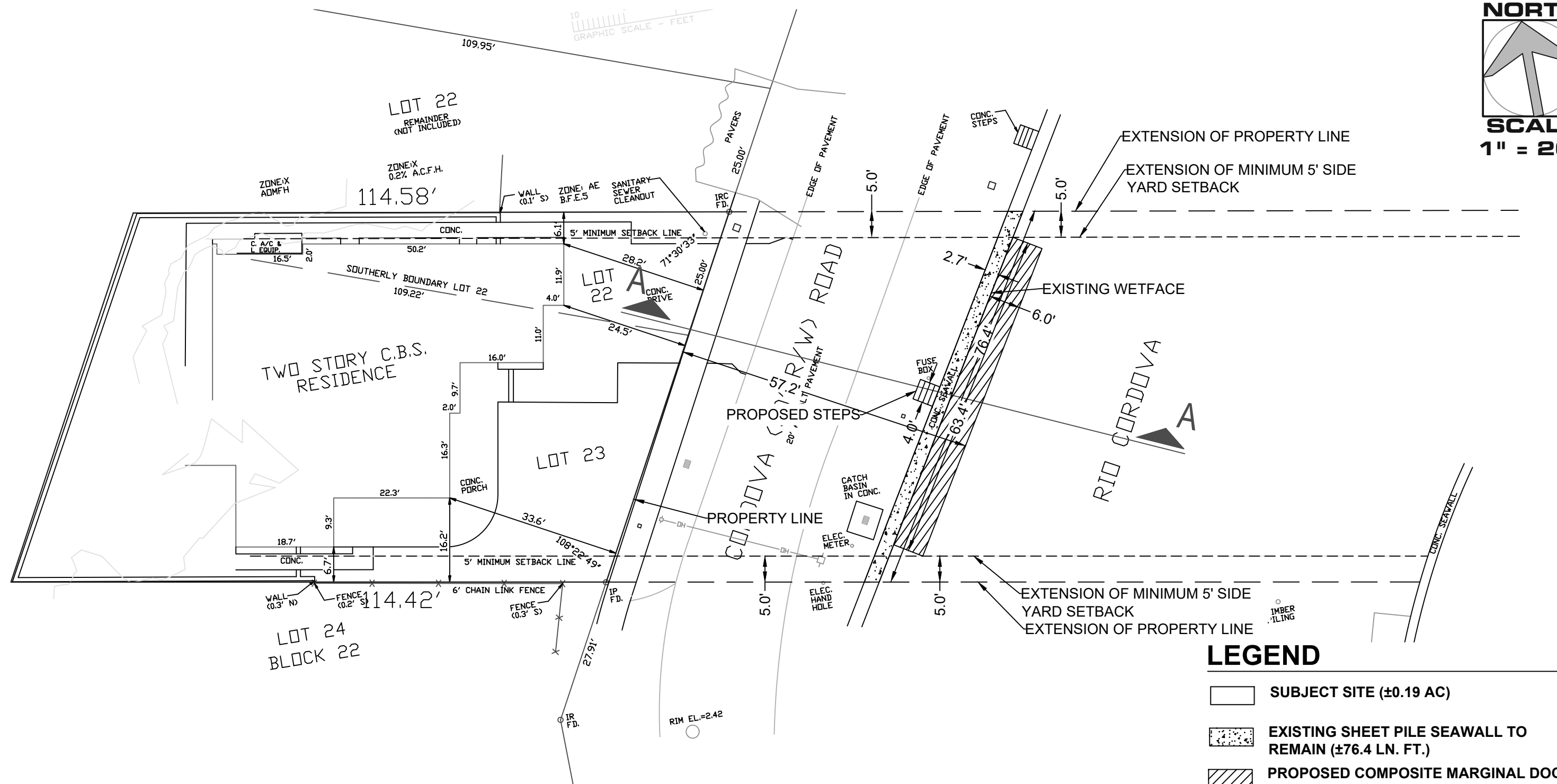
**919 CORDOVA RD**

PREPARED FOR:  
**WILLIAM S. TRETHERWEY & LINDA M. TRETHERWEY**

COVER

Date: 1/18/2023	Sheet : <b>1</b>	of : <b>5</b>
Proj No.: 22-0070		





**LEGEND**

- SUBJECT SITE (±0.19 AC)
- EXISTING SHEET PILE SEAWALL TO REMAIN (±76.4 LN. FT.)
- PROPOSED COMPOSITE MARGINAL DOCK (±380 SQ. FT.)

M.H.W. = 0.32' NAVD    M.L.W. = (-)2.10' NAVD  
 NOTE: SURVEY INFORMATION PROVIDED BY  
 VIC-SCOTT LAND SURVEYING & MAPPING.  
 ELEVATIONS SHOWN AS NAVD88.

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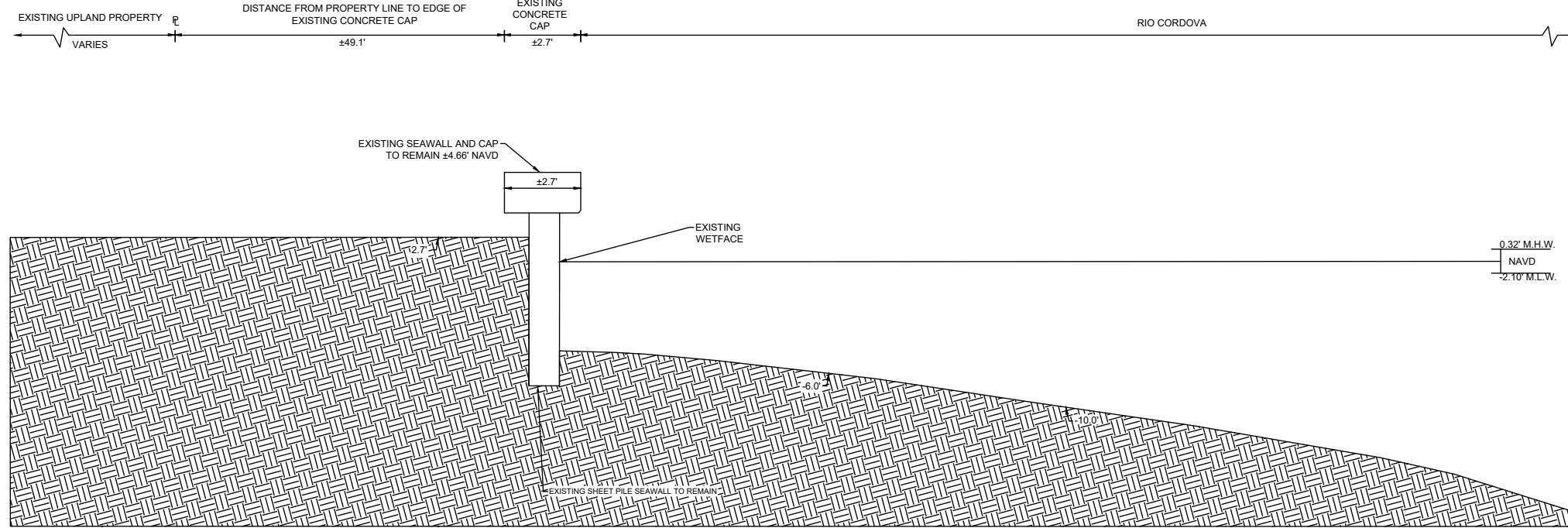
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**919 CORDOVA RD**  
 PREPARED FOR:  
 WILLIAM S. TRETHERWEY & LINDA M. TRETHERWEY

PROPOSED CONDITIONS		
Date: 1/18/2023	Sheet : <b>3</b>	of : <b>5</b>
Proj No.: 22-0070		

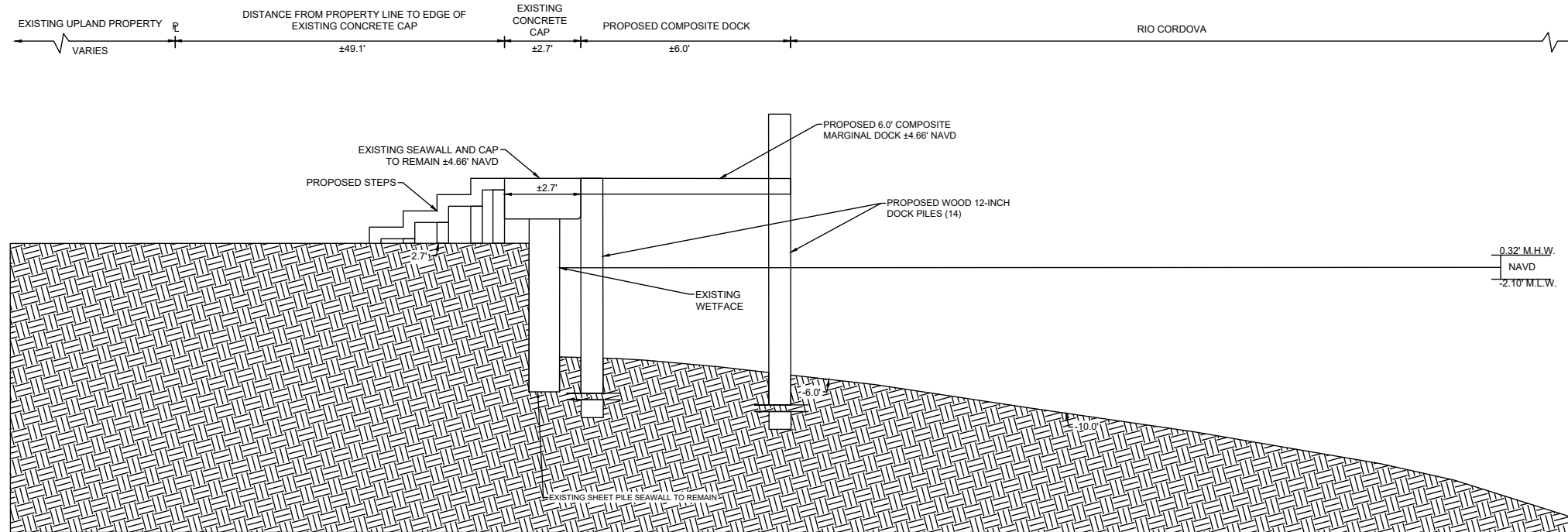
**EXISTING CONDITIONS A-A (TYP.)**

N.T.S.



**PROPOSED CONDITIONS A-A (TYP.)**

N.T.S.



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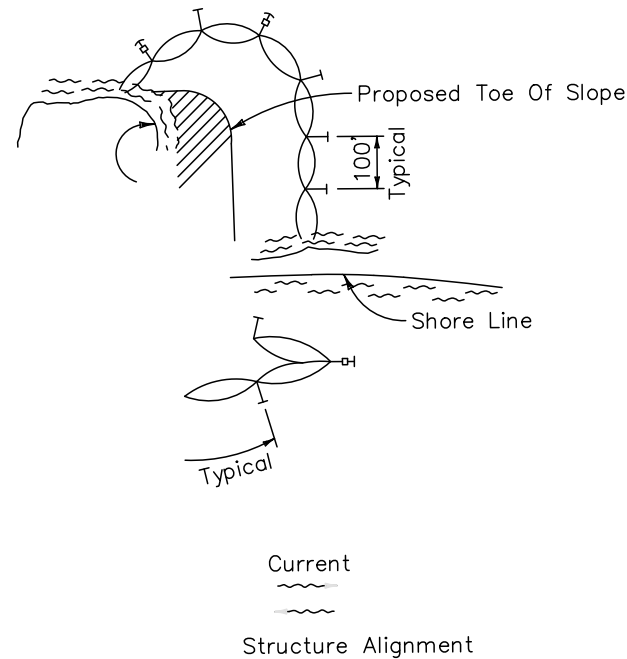
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 PREPARED FOR:  
**WILLIAM S. TRETHERWEY & LINDA M. TRETHERWEY**

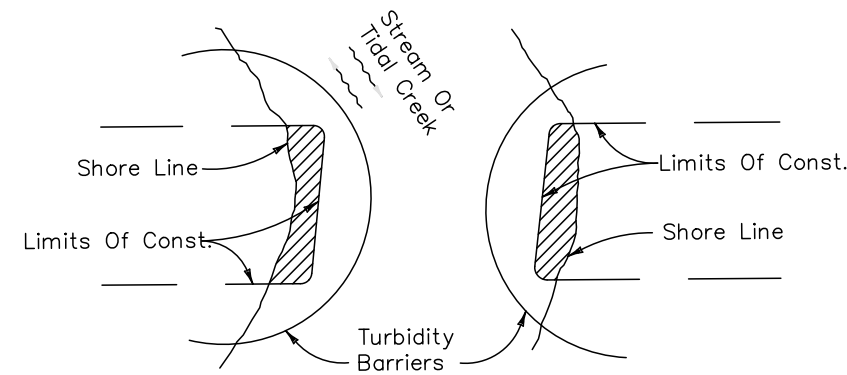
SECTION A		
Date: 1/18/2023	Sheet : <b>4</b>	of : <b>5</b>
Proj No.: 22-0070		

# CONSTRUCTION BARGE (TYP.)



## LEGEND

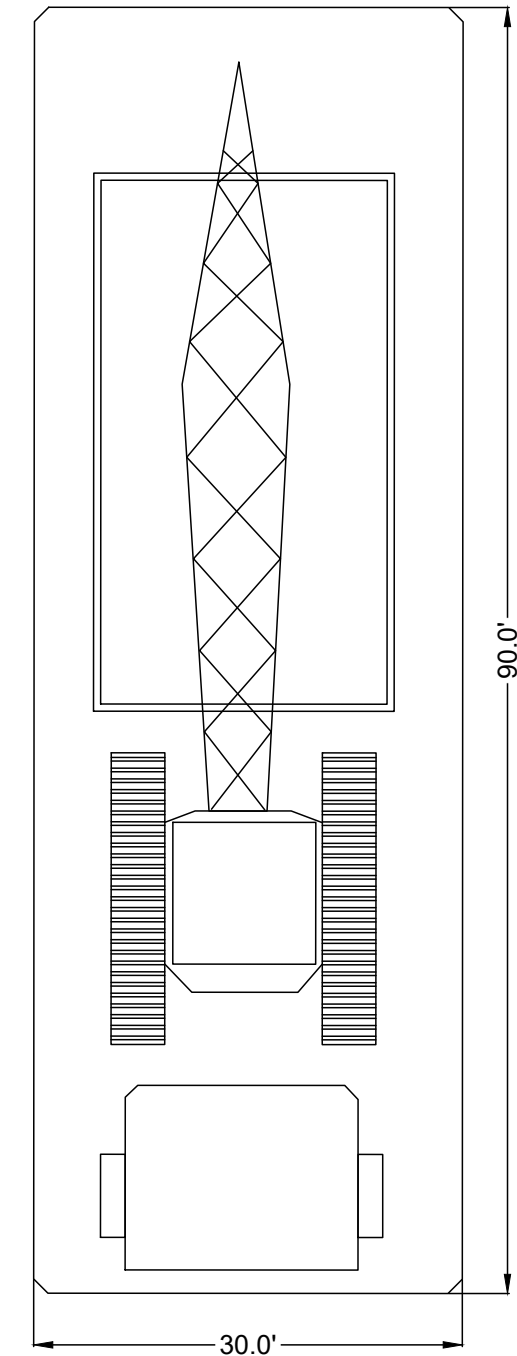
- Pile Locations
- ▨ Dredge Or Fill Area
- ⊕ Mooring Buoy w/Anchor
- ⊖ Anchor
- ⊖ Barrier Movement Due To Current Action



Note:  
Turbidity barriers for flowing streams and tidal creeks may be either floating, or staked types or any combinations of types that will suit site conditions and meet erosion control and water quality requirements. The barrier type(s) will be at the Contractors option unless otherwise specified in the plans, however payment will be under the pay item(s) established in the plans for Floating Turbidity Barrier and/or Staked Turbidity Barrier. Posts in staked turbidity barriers to be installed in vertical position unless otherwise directed by the Engineer.

to be used in all permanent bodies of water regardless of water depth.  
of anchors dependent on current velocities.  
around pile locations may vary to accommodate construction operations.  
e segmenting barrier during construction operations.  
tion see Section 104 of the Standard Specifications.

## TURBIDITY BARRIER APPLICATIONS



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919 CORDOVA RD  
PREPARED FOR:  
WILLIAM S. TRETHERWEY & LINDA M. TRETHERWEY

## DETAILS

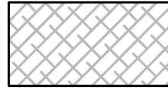
Date: 1/18/2023	Sheet : <b>5</b>	of : <b>5</b>
Proj No.: 22-0070		

## EXHIBIT VII STANDARD LANDSCAPE PLAN

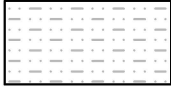
## LEGEND



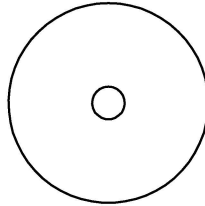
ST. AUGUSTINE SOD,  
TIGHT SEAMS, FULL COVERAGE



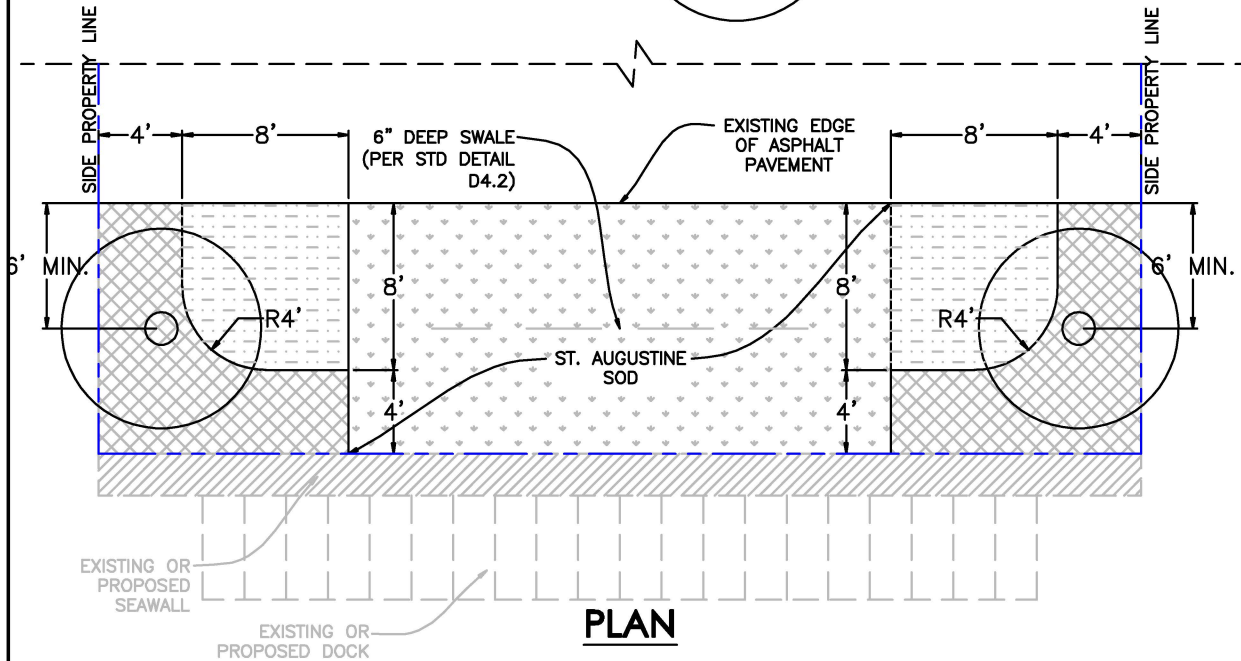
MUHLY GRASS:  
18" - 24" TALL  
18" - 24" ON CENTER



INDIAN HAWTHORN:  
12" - 18" TALL  
12" - 18" ON CENTER



12' SILVER BUTTWOOD TREE,  
MULTI



## GENERAL NOTES:

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED:  
2/2015



CITY OF FORT LAUDERDALE  
DEPT. OF SUSTAINABLE DEVELOPMENT

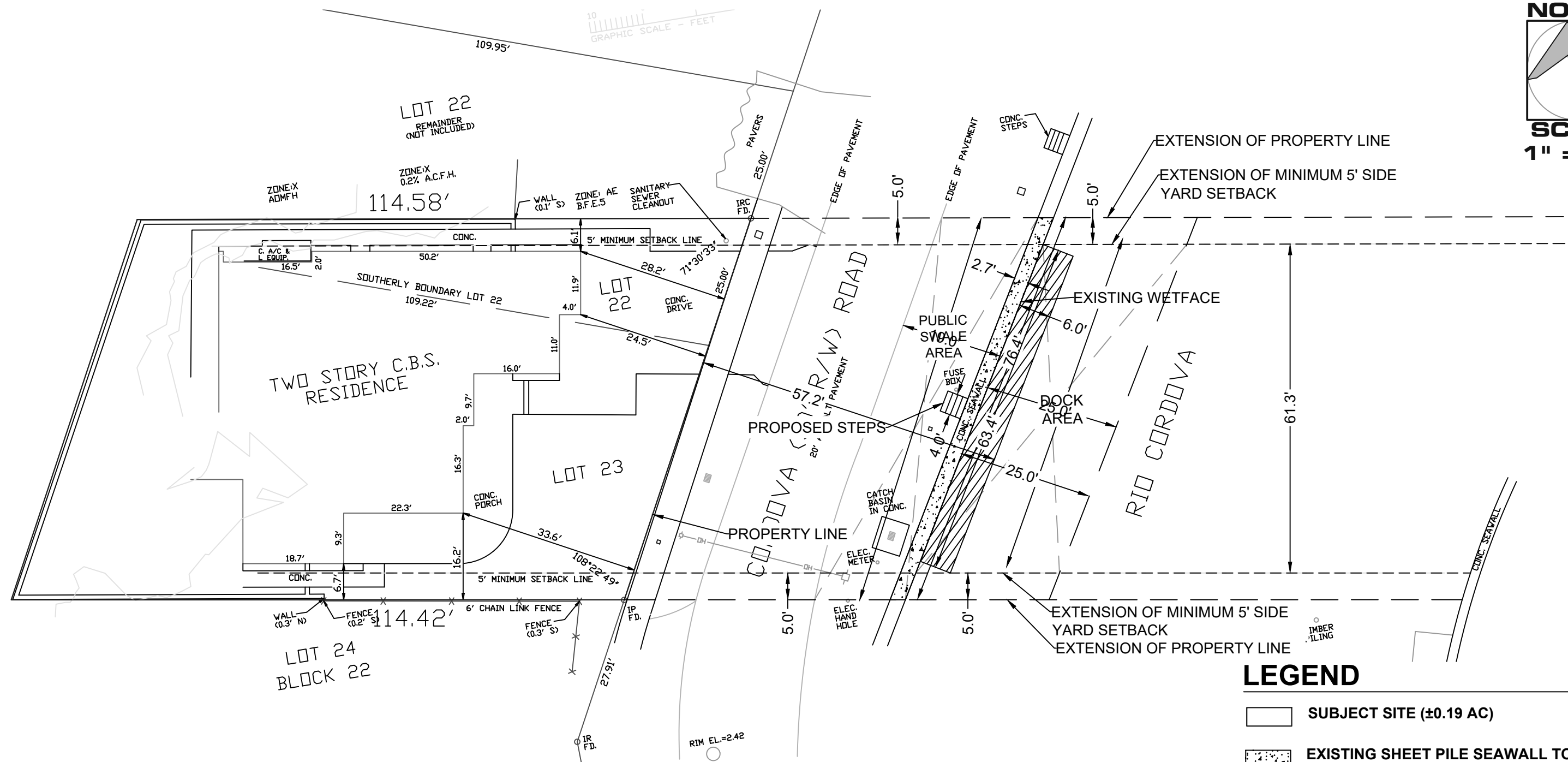
REVISED:

URBAN DESIGN & PLANNING  
ENGINEERING DIVISION




LANDSCAPING PLAN (ROW)

SCALE:  
1"=10'

**EXHIBIT VIII  
EXHIBIT A**



**LEGEND**

-  SUBJECT SITE (±0.19 AC)
-  EXISTING SHEET PILE SEAWALL TO REMAIN (±76.4 LN. FT.)
-  PROPOSED COMPOSITE MARGINAL DOCK (±380 SQ. FT.)

M.H.W. = 0.32' NAVD M.L.W. = (-)2.10' NAVD  
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**919 CORDOVA RD**  
 PREPARED FOR:  
 WILLIAM S. TRETHERWEY & LINDA M. TRETHERWEY

EXHIBIT A		
Date: 1/18/2023	Sheet :	of :
Proj No.: 22-0070	1	1

## **EXHIBIT IX ZONING AERIAL**



City of Fort Lauderdale © S



CITY OF FORT LAUDERDALE

919 Cordova Rd

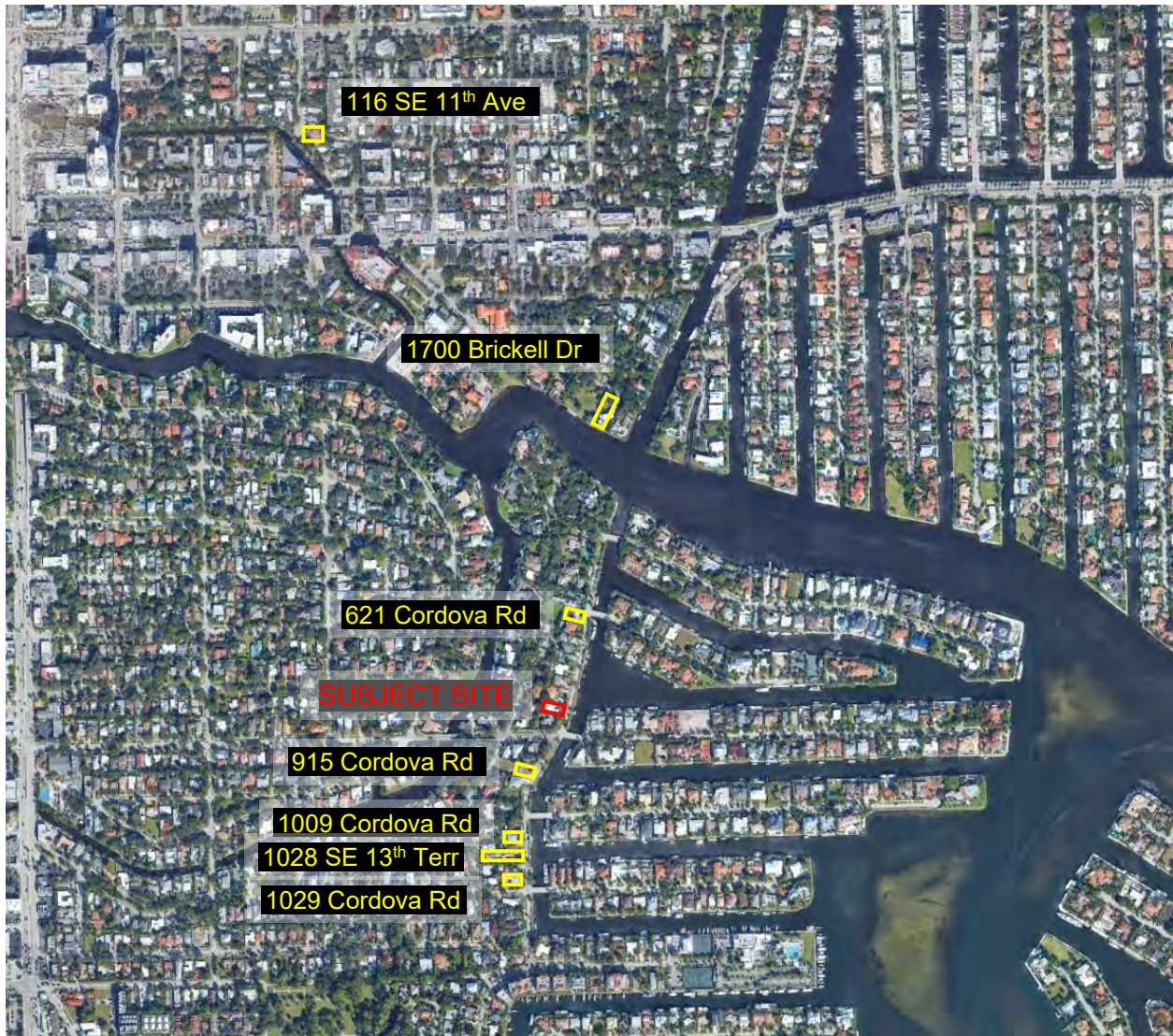


0 90 180 Feet

**GIS**  
Fort Lauderdale

## EXHIBIT X EXISTING DOCK PERMITS IN THE VICINTY

## EXISTING DOCK PERMITS IN THE VICINITY



ADDRESS	YEAR GRANTED
621 Cordova Road	2011, 2013
915 Cordova Road	2021
1009 Cordova Road	2015, 2021
1029 Cordova Road	2021
1028 SE 13 <sup>th</sup> Terrace	2021
116 SE 11 <sup>th</sup> Ave	2019
1700 Brickell Drive	2019
<b>Subject Site</b>	<b>Requested Jan 2023</b>

**EXHIBIT XI  
PROPERTIES WITH EXISTING DOCK STRUCTURES PRIOR  
TO THE INSTALLATION OF THE CITY OF FORT  
LAUDERDALE CORDOVA RD SEAWALL PROJECT**

**EXISTING STRUCTURES PRIOR TO THE INSTALLATION OF THE CITY OF FORT LAUDERDALE CORDOVA RD SEAWALL PROJECT**



Address	Structures
1516 Ponce De Leon Dr	Yes
621 Cordova Rd	Yes
701 Cordova Rd	Yes
705 Cordova Rd	Yes
711 Cordova Rd	Yes
721 Cordova Rd	Yes
805 Cordova Rd	Yes
811 Cordova Rd	Yes
817 Cordova Rd	Yes
901 Cordova Rd	Yes
909 Cordova Rd	Yes
1342 Ponce De Leon Dr	Yes

Address	Structures
919 Cordova Rd	Yes
1320 Ponce De Leon Dr	Yes
1326 Ponce De Leon Dr	Yes
1009 Cordova Rd	Yes
1013 Cordova Rd	Yes
1028 SE 13 <sup>th</sup> Terr	Yes
1025 Cordova Rd	Yes
1029 Cordova Rd	Yes
1101 Cordova Rd	Yes
1109 Cordova Rd	Yes
1410 SE 11 <sup>th</sup> St	Yes
1415 SE 11 <sup>th</sup> Ct	Yes

## EXHIBIT XII LETTERS OF SUPPORT

December 2, 2022

William & Linda Trethewey

RE: 919 Cordova Road  
City of Fort Lauderdale Waiver Request

Dear Mr. William Trethewey and Mrs. Linda Trethewey,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 1320 Ponce De Leon Drive, and support the project as proposed.

Sincerely,



William & Anne Scherer  
1320 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

December 2, 2022


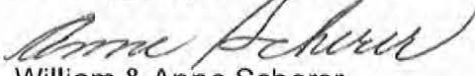
William & Linda Trethewey

RE: 919 Cordova Road  
City of Fort Lauderdale Waiver Request

Dear Mr. William Trethewey and Mrs. Linda Trethewey,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 1326 Ponce De Leon Drive, and support the project as proposed.

Sincerely,

  
  
William & Anne Scherer  
1326 Ponce De Leon Drive  
Fort Lauderdale, FL 33316

January 17, 2023

William & Linda Trethewey  
919 Cordova Rd  
Fort Lauderdale, FL 33316

RE: 919 Cordova Rd  
City of Fort Lauderdale Waiver Request

Dear Mr. William Trethewey and Mrs. Linda Trethewey,

I have reviewed the attached plans (Attachment A), for the proposed project to install a marginal dock. I understand that the proposed project will require a waiver of limitations through the City of Fort Lauderdale for the Private Use of a Public Waterway along with permitting through the regulatory agencies. I reside at 1500 SE 9<sup>th</sup> Street, Fort Lauderdale, FL 33316, and support the project as proposed.

Sincerely,



Salvatore Naro  
1500 SE 9<sup>th</sup> Street  
Fort Lauderdale, FL 33316

*Home Owner*