



BOARD OF ADJUSTMENT MEETING NOTICE

September 26, 2022

A Public Hearing will be held before the Board of Adjustment on: **Wednesday, October 12, 2022, at 6:00 P.M**

This meeting will be held in the City Commission Chambers, City Hall, 1st Floor, 100 North Andrews Avenue, Fort Lauderdale, Florida 33301 to determine whether the following application should be granted:

CASE: PLN-BOA-22070003

OWNER: SILVA, ERIC B H/E; HERNANDEZ-SILVA, SILVIA M

AGENT: N/A

ADDRESS: 2536 WHALE HARBOR LANE, FORT LAUDERDALE, FL 33312

LEGAL DESCRIPTION: LOT 14, RESUBDIVISION OF PORTION OF BLOCK 12, OF "LAUDERDALE ISLES NO. 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 41, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY.

ZONING DISTRICT: RS-6.85A - IRREGULAR RESIDENTIAL

COMMISSION DISTRICT: 4

APPEALING: **Appealing the Zoning Administrator's Interpretation that the maximum building or structure height of two (2) stories as provided in Sec.47-39.A.6.D is equivalent to 20 feet pursuant to the definition of story provided in Sec. 47-39.A.2.B:**

Story: A habitable area of a building horizontally enclosed by the exterior walls of the building, with a vertical clearance between the floor and ceiling of at least seven and one-half (7½) feet. Any upper story which does not exceed two-thirds (⅔) of the area of the first-floor level shall not be considered a story except for determining the height of the building. For the purposes of determining the height of a building, a story shall be considered to be every ten (10) feet of building height above first floor level measured from the exterior elevation. For purposes of determining the height of a structure other than a building, a story shall be each ten (10) feet in height of the structure above the established grade. Whereas the applicant has interpreted that the height of a story shall be every 10 feet therefore 30 feet is needed to exceed the 2-story limit.

Whereas the applicant has interpreted that the height of a story shall be every 10 feet therefore 30 feet is needed to exceed the 2-story limit.

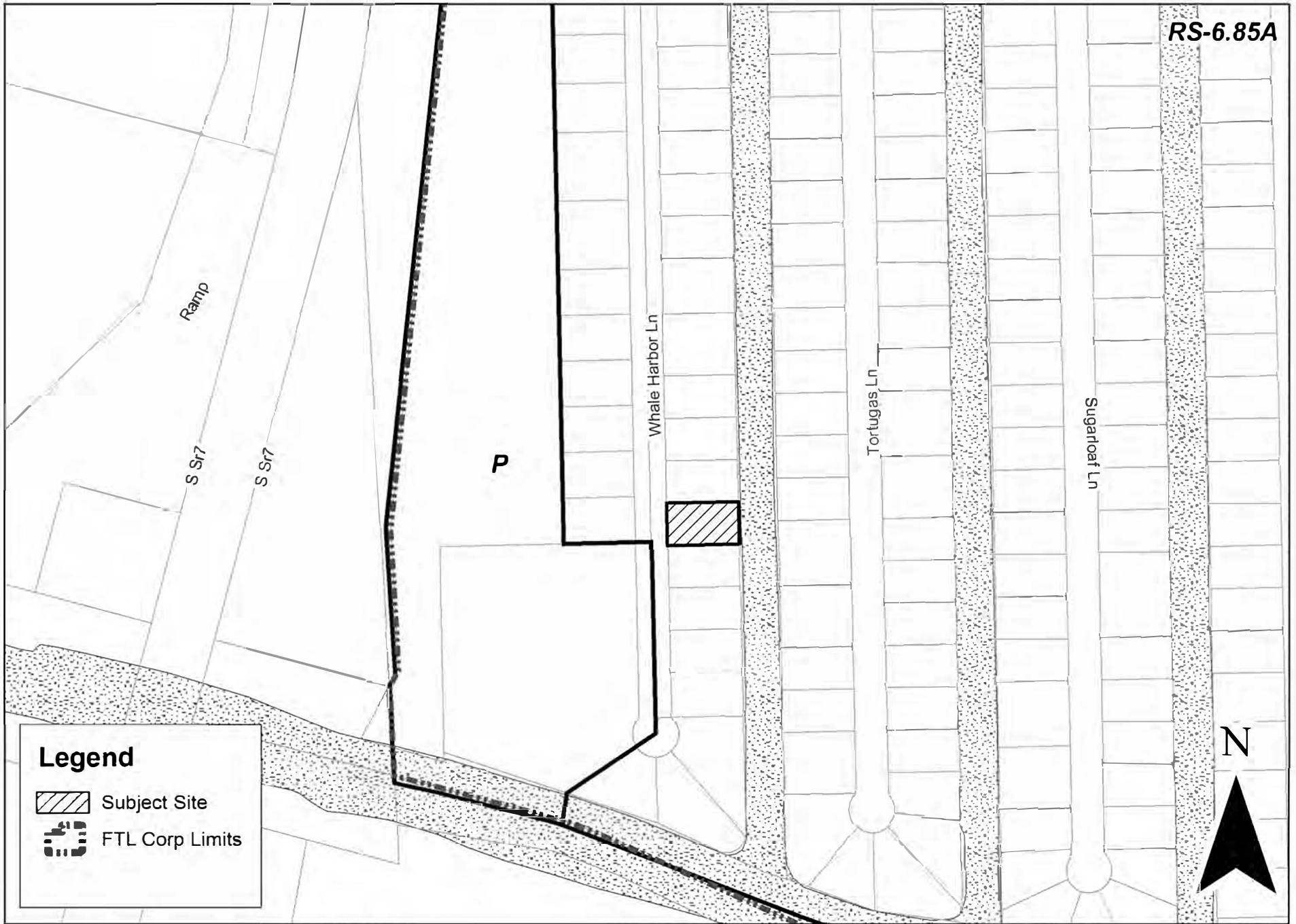
Note: To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA

If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALIK
ZONING ADMINISTRATOR

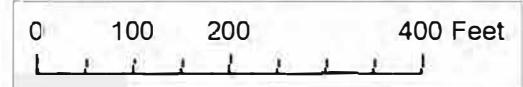
Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.



PLN-BOA-22070003

Path: J:\DSD\DRCLocationMaps_16_RMIArcMap\BOA_2022_10-12\PLN-BOA-22070003.mxd



Graphic Scale



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENT MEETING

DATE: OCTOBER 12, 2022

TIME: 6:00 PM

CASE: PLN-BOA-22070003

Appealing the Zoning Administrator's Interpretation that the maximum building or structure height of two (2) stories as provided in Sec.47-39.A.6.D is equivalent to 20 feet pursuant to the definition of story provided in Sec. 47-39.A.2.B:

Story: A habitable area of a building horizontally enclosed by the exterior walls of the building, with a vertical clearance between the floor and ceiling of at least seven and one-half (7½) feet. Any upper story which does not exceed two-thirds (⅔) of the area of the first-floor level shall not be considered a story except for determining the height of the building. For the purposes of determining the height of a building, a story shall be considered to be every ten (10) feet of building height above first floor level measured from the exterior elevation. For purposes of determining the height of a structure other than a building, a story shall be each ten (10) feet in height of the structure above the established grade.

Whereas the applicant has interpreted that the height of a story shall be every 10 feet therefore 30 feet is needed to exceed the 2-story limit.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must POST SIGNS (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use. Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA
BROWARD COUNTY

BOA CASE NO. 22070003

APPLICANT: ERIC SILVA

PROPERTY: 2536 Whale Harbor Lane

PUBLIC HEARING DATE: 10/12/22

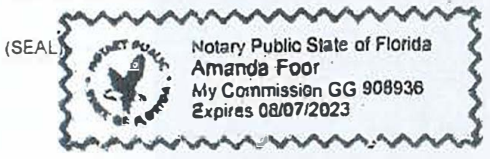
BEFORE ME, the undersigned authority, personally appeared Eric Silva who upon being duly sworn and cautioned, under oath deposes and says:

- 1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least fifteen (15) days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the Zoning & Landscaping Division five (5) calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. (initial here)

Affiant [Signature]

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 3 day of October 2022



[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES: 8/7/23

BOA CASE # PLN-BOA-22070003

Sec. 47-39.A.6. - Dimensional requirements.

D. *Height.* No building or structure, or part thereof, shall be erected or altered to exceed the maximum height of two (2) stories: scenery lofts, towers, cupolas, steeples and domes, not exceeding in gross area, at a maximum horizontal section, thirty (30) percent of the roof area, and flag poles, airplane beacons, broadcasting towers, antenna, chimneys, stacks, tanks and roof structures used for ornamental or mechanical purposes, may exceed the permissible height limit in any district by not more than twenty-five (25) percent. Parapet walls may extend not more than five (5) feet above the allowable height of a building. (Inserted from Broward County Code 39-103 entitled "Exclusions from height limits").

Record, Permit, or Account #	Record Description	Application Name	Record Type	Balance	Planner Name	Street #	Dir	Street Name	Type	Opened Date	Status
PLN-BOA-22070003		Silva-Zoning Interpretation	Z- Board of Adjustment (BOA)	0		2536		WHALE HARBOR	LN	7/22/2022	Open
ELE-RES-22040219	ELECTRICAL FOR BLD-RNC-22040038	Silva - New House Electrical	Electrical Residential Permit	0		2536		WHALE HARBOR	LN	4/29/2022	In Process
PLB-RES-22040244	PLUMBING FOR BLD-RNC-22040038	Silva - New House Plumbing	Plumbing Residential Permit	0		2536		WHALE HARBOR	LN	4/29/2022	Plan Set Submitted
MEC-RES-22040083	MECHANICAL FOR BLD-RNC-22040038	Silva - New House Mechanical	Mechanical Residential Permit	280		2536		WHALE HARBOR	LN	4/29/2022	Awaiting Client Reply
BLD-RNC-22040038	CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE	Silva - New House	Residential New Construction Permit	1568		2536		WHALE HARBOR	LN	4/26/2022	Awaiting Client Reply
	NEW 5 X 40 FT WOOD DOCK AND 5 NEW PILES ~ ~ ~										
PM-15110401	~ER #: 000393918 ~DR #: 0040867 ~RECORDED NOC RECEIVED, ATTACHED TO PLANS	NEW 5 X 40 FT WOOD DOCK AND 5 NEW PILES	Boatlift-Dock-Seawall-Pile Permit	0		2536		WHALE HARBOR	LN	11/5/2015	Complete
CE15051803	HOUSE HAS NOT BEEN MAINTAINED IN YEAR. OVERGROWN, LAWN AND TREES	SILVA,ERIC B H/E HERNANDEZ-SILVA,SI	Code Case	0		2536		WHALE HARBOR	LN	5/27/2015	Closed
VIO-CE15051803_1		SILVA,ERIC B H/E HERNANDEZ-SILVA,SI	Violation-CODE Hearing	0		2536		WHALE HARBOR	LN	5/27/2015	Closed
CE14100126	RESPONDED TO THE AREA OF LAUDERDALE ISLES AS A, FOLLOW UP OF A COMPLAINT OF THE HOMEOWNERS, ASSOCIATION IN REFERENCE TO DOCKS IN DISREPAIR., WE WENT WITH MARINE UNIT POLICE OFFICER IN THEIR, VESSEL AND SAW THE DOCK IN DISREPAIR BEHIND THIS, PROPERTY MENTIONED ABOVE., SENIOR CODE OFFICER ADAM FELDMAN, CODE OFFICER, DEANGELIS GIBSON AND BUILDING INSPECTOR BOB, PIGNATARO WERE WITH ME., MAILED INSPECTION REPORT TO OWNER, LISTED, ON BCPA ADVISING TO REPAIR/REPAIR OR, REMOVE THE DOCK IN A TIMELY MATTER., WHILE ENGAGING A LICENSED CONTRACTOR IN, ORDER TO OBTAIN REQUIRED PERMIT IF, NECESSARY., WE ADDED, IF APPLICABLE, CITY ORDINANCE 9-313, WHICH ADVISES OWNERS TO IDENTIFY THEIR PROPERTY, WITH ASSIGNED STREET NUMBER FROM THE WATERWAY., , INSPECTION REPORT GIVES BUILDING, INSPECTOR BOB PIGNATARO TELEPHONE, NUMBER, FOR ANY QUESTIONS REGARDING THE PERMIT., , SEE PICTURES TAKEN MONDAY 9/28/14.	SILVA,ERIC B H/E HERNANDEZ-SILVA,SI	Code Case	0		2536		WHALE HARBOR	LN	10/2/2014	Closed
VIO-CE14100126_1	RESPONDED TO THE AREA OF LAUDERDALE ISLES AS A	SILVA,ERIC B H/E HERNANDEZ-SILVA,SI	Violation-CODE Hearing	0		2536		WHALE HARBOR	LN	10/2/2014	Closed
VIO-CE14100126_2	RESPONDED TO THE AREA OF LAUDERDALE ISLES AS A	SILVA,ERIC B H/E HERNANDEZ-SILVA,SI	Violation-CODE Hearing	0		2536		WHALE HARBOR	LN	10/2/2014	Closed
PM-04102389	REROOF FLAT ROOF 2281SQ FT	REROOF FLAT ROOF 2281SQ FT	Re-Roof Permit	0		2536		WHALE HARBOR	LN	10/28/2004	Complete
PM-04080327	ADD AC DROP EXHAUST FAN IN BATH	ADD AC DROP EXHAUST FAN IN BATH	Mechanical Residential Permit	0		2536		WHALE HARBOR	LN	8/4/2004	Complete
PM-04072027	AC DROP AND 1 EXHAUST FAN	AC DROP AND 1 EXHAUST FAN	Mechanical Residential Permit	57.53		2536		WHALE HARBOR	LN	7/26/2004	In Process
PM-04041471	ELECTRIC FOR REMODEL BP#04011375	ELECTRIC FOR REMODEL BP#04011375	Electrical Residential Permit	0		2536		WHALE HARBOR	LN	4/19/2004	Complete
PM-04041472	PLUMBING FOR REMODEL BP#04011375	PLUMBING FOR REMODEL BP#04011375	Plumbing Residential Permit	0		2536		WHALE HARBOR	LN	4/19/2004	Complete
PM-04011375	REMODEL BATH & ENCLOSE CARPORT ~B-RECHECK 3/18/04 M-P	REMODEL BATH & ENCLOSE CARPORT	Residential Alteration Permit	0		2536		WHALE HARBOR	LN	1/21/2004	Complete

ERIC SILVA
954-770-0644

BOA-20070003



DEVELOPMENT SERVICES – ZONING & LANDSCAPING
BOARD OF ADJUSTMENT (BOA) APPLICATION

Rev: 3 Revision Date: 05/17/2021 | Print Date: 05/17/2021
I.D. Number: Z&L-BOA

BOARD OF ADJUSTMENT (BOA) APPLICATION

- Cover:** Deadline, Notes, and Fees
Page 1: Applicant Information Sheet
Page 2: Variance Request Criteria
Page 3: Required Documentation & Mail Notice Requirements
Page 4: Sign Notice Requirements & Affidavit
Page 5: Technical Specifications

DEADLINE: Submittals must be received prior to 4:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if plans do not meet the submittal requirements and if changes are required.

APPLICATION SUBMITTAL: Submit your Board of Adjustment (BOA) application, required documents and fees online by visiting: <https://aca-prod.accela.com/FTL>. After application and document submission, you should receive a case number and will be invoiced for the fee amount due. Prior to formal submittal of applications, applicants are encouraged to schedule an appointment with the Board Liaison and staff to obtain feedback regarding proposals. The meetings provide an opportunity for applicants to obtain feedback and general direction, prior to expending significant effort on preparation of submittal documents. To request a meeting to discuss your variance request, please contact Chakila Crawford at chcrawford@fortlauderdale.gov and/or Stephanie Hughey at shughey@fortlauderdale.gov.

FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

- Variance/Special Exception/Interpretation (Before): **\$2,200**
- Variance/Special Exception/Interpretation (After): **\$2,800**
- Parking Variance (per space): **\$2,600**
- Variance/Special Exception/Interpretation (Before)- Residential Homesteaded Only-
Accessory Structures & Existing Non-Conforming Structures: **\$650**
- Variance/Special Exception/Interpretation (After)- Residential Homesteaded Only- Accessory
Structures & Existing Non-Conforming Structures: **\$850**
- Request for Continuance: **\$900**
- Request for Rehearing: **\$300**
- Rehearing before the Board: **\$1,150**

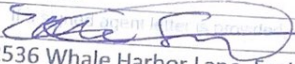
BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number _____
 Date of complete submittal _____

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name: Eric Silva
 Property Owner's Signature: 
 Address, City, State, Zip: 2536 Whale Harbor Lane, Fort Lauderdale, Florida 33312
 E-mail Address: spotowl@bellsouth.net
 Phone Number: 954-770-0644
 Proof of Ownership: Warranty Deed or Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name: Eric Silva
 Applicant / Agent's Signature: Eric Silva
 Address, City, State, Zip: 2536 Whale Harbor Lane, Fort Lauderdale, Florida 33312
 E-mail Address: spotowl@bellsouth.net
 Phone Number: 954-770-0644

Letter of Consent Submitted: N/A

Development / Project Name: Silva Single Family Home

Existing / New: Existing: Single family to be demolished New: New single family home to be constructed

Project Address: Address: 2536 Whale Harbor Lane

Legal Description: LAUDERDALE ISLES NO 2-RESUB OF POR BLK 12 41-10 B LOT 14

Tax ID Folio Numbers (For all parcels in development): 504219160130

Request / Description of Project: Zoning Interpretation for Maximum Height in Section 47-39A

Applicable ULDR Sections: Section 47-39A; Section 47-39.A.6.; Section 47-39.A.2. B

Current Land Use Designation	Irregular Residential 6.85	
Current Zoning Designation	RS-9.85A	
Current Use of Property	Single Family Home	
Site Adjacent to Water	Yes	
Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front - West	25'	25' 6"
Side - North	7' 6"	7' 11"
Side - South	7' 6"	7' 11"
Rear - East	15'	25' 6"

Board of Adjustment (BOA) Criteria for Variance Request

Complete this page and an attached narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

The request is for a zoning interpretation for the maximum height permitted in Sec. 47-39.A.2.

Current Interpretation: *Maximum height 20 feet*

Building permit #BLD-RNC-22040038 was rejected by staff because the building height for a new two-story home was greater than 20 feet.

Proposed Interpretation: *Maximum height is two stories; a story is every 10 feet of building; three stories are needed to exceed the two-story maximum.*

Attachment 1 contains an explanation of the proposed interpretation.


CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

- a. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:
- b. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and
- c. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

d. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

AFFIDAVIT: I, ERIL SILVA the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.



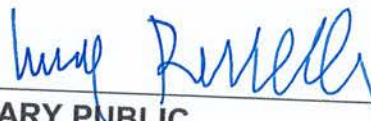
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 17 day of August, 20

(SEAL)



LUKE RINKUS
Commission # HH 057058
Expires October 26, 2024
Bonded Thru Budget Notary Services



NOTARY PUBLIC
MY COMMISSION EXPIRES: Oct 26, 2024

Required Documentation & Mail Notice Requirements

- One (1) original set, signed and sealed, with plans at 24" x 36"
- One (1) electronic version (CD or USB) of complete application and plans in PDF format
- Fourteen (14) copy sets of each item below and plans at half-size scale 11" x 17"

Completed application (all pages must be filled out where applicable)

Mail notification documents (mail notification instructions at bottom of page)

Proof of ownership (warranty deed, Sunbiz and/or tax record), including corporation documents if applicable

d. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

AFFIDAVIT: I, SILVIA SILVA the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Silvia Silva
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 2nd day of SEPTEMBER, 2022

(SECONDS)

(SEAL)



Harold S. Miranda
NOTARY PUBLIC
MY COMMISSION EXPIRES: Oct 27th, 2023

Required Documentation & Mail Notice Requirements

- One (1) original set, signed and sealed, with plans at 24" x 36"
- One (1) electronic version (CD or USB) of complete application and plans in PDF format
- Fourteen (14) copy sets of each item below and plans at half-size scale 11" x 17"

- Completed application (all pages must be filled out where applicable)
- Mail notification documents (mail notification instructions at bottom of page)

Proof of ownership (warranty deed, Sunbiz and/or tax record), including corporation documents if applicable



Site Address	2536 WHALE HARBOR LANE, FORT LAUDERDALE FL 33312-4646	ID #	5042 19 16 0130
Property Owner	SILVA, ERIC B H/E HERNANDEZ-SILVA, SILVIA M	Millage	0312
Mailing Address	2536 WHALE HARBOR LANE FORT LAUDERDALE FL 33312-4646	Use	01-01
Abbr Legal Description	LAUDERDALE ISLES NO 2-RESUB OF POR BLK 12 41-10 B LOT 14		

The just values displayed below were set in compliance with **Sec. 193.011**, Fla. Stat., and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2022 values are considered "working values" and are subject to change.
Property Assessment Value.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2022*	\$178,750	\$240,460	\$419,210	\$243,560	
2021	\$178,750	\$166,360	\$345,110	\$236,470	\$4,204.41
2020	\$178,750	\$152,680	\$331,430	\$233,210	\$4,127.10

2022* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$419,210	\$419,210	\$419,210	\$419,210
Portability	0	0	0	0
Assessed/SOH 00	\$243,560	\$243,560	\$243,560	\$243,560
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$193,560	\$218,560	\$193,560	\$193,560

Sales History			
Date	Type	Price	Book/Page or CIN
7/28/1999	WD	\$158,000	29724 / 1521
9/10/1998	QCD	\$100	29012 / 701
3/1/1993	WD	\$147,000	20488 / 700
4/1/1990	WD	\$134,300	
2/1/1988	PRD	\$125,000	

Land Calculations		
Price	Factor	Type
\$25.00	7,150	SF
Adj. Bldg. S.F. (Card, Sketch)		1689
Units/Beds/Baths		1/2/2
Eff./Act. Year Built: 1958/1957		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03			L1			F1		
R			L1					
1						1		



INSTR # 99457428
 OR BK 29724 PG 1521
 RECORDED 08/04/99 11:44 AM
 COMMISSION
 BROWARD COUNTY
 DOC STMP-D 1,106.00
 DEPUTY CLERK 1033

THIS INSTRUMENT PREPARED BY AND RETURN TO:
 Bonnie Phillips (Ext. 202)
 Affiliated Title Co.
 5909 S. University Drive
 Davie, Florida 33328
 99-1230R

Handwritten initials

WARRANTY DEED
 (Ind. - Ind)
 (Statutory Form-Section 689.02 F.S.)

This Indenture, made this 28th day of July, 1999, between

Gregory Taylor Glading, a married man, joined by his wife Gina Becerra De Glading

whose post office address is 40 2536 Whale Harbor Lane Ft Lauderdale FL 33312, hereinafter called the Grantor*, and

Eric B. Silva and Silvia M. Hernandez- Silva, his wife

whose post office address is 2536 Whale Harbor Lane, Ft. Lauderdale, FL 33312, hereinafter called the grantee*.

WITNESSETH: That said grantor, for and in consideration of the sum of **TEN AND NO/100 (\$10.00)** Dollars, and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to wit:

Property Folio No. : 10219-16-01300

Lot 14, RESUBDIVISION OF PORTION OF BLOCK 12 OF LAUDERDALE ISLES NO. 2, according to the Plat thereof, as recorded in Plat Book 41, Page 10, of the Public Records of Broward County, Florida.

Subject to restrictions, reservations, easements and limitations of record, if any, provided that this shall not serve to reimpose same, zoning ordinances, and taxes for the current year and subsequent years.

Said grantor does hereby fully warrant the title to said land, and will defend that same against the lawful claims of all persons whomsoever.

**Grantor* and *grantee* are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written. Signed, sealed and delivered in our presence.

Signature of Charles Del Grano

Signature of Witness
 CHARLES DEL GRANO

Print/Type name of Witness
 WALLACE FINE

Signature of Witness
 WALLACE FINE

Print/Type name of Witness

Signature of Gregory Taylor Glading

Gregory Taylor Glading

Signature of Gina Becerra De Glading

Gina Becerra De Glading

STATE OF Florida
 COUNTY OF Broward

The foregoing instrument was acknowledged before me this 28th day of July, 1999, by Gregory Taylor Glading and ***, who is personally known to me or who has produced Drivers' License and Passport/Photo as identification and who did not take an oath.

***Gina Becerra De Glading

Notary Seal
 (SEAL)

 (Signature) Notary Public, Commission No.

 (Name of Notary typed, printed or stamped)

ROXANNE MARTUCCI
 MY COMMISSION # CC 654609
 EXPIRES: June 16, 2001
 Bonded thru Notary Public Underwriters



0 37.5 75 150 225 300 Feet

MARTY KIAR
BROWARD COUNTY PROPERTY APPRAISER



SILVA SINGLE FAMILY HOME
DATE OF PRINT: 08/12/2022

FOLIO_NUMB	NAME_LINE_
504219020490	PUBLIC LAND % LAUDERDALE ISLES
504219140140	LIBERTELLI,GERRY
504219140150	WHITNEY,JUNE GARREN
504219140160	SUSAN L WOODHEAD TR
504219140170	MOLDENHAUER,KAROL H/E
504219140180	MEJIA,MEGAN CLANCY H/E
504219140190	2548 TORTUGAS LLC
504219140200	PIERCE,RYAN M
504219140280	ADELSON,CHARLES J
504219140290	FRANCO,ALBERT L & JOYCE B
504219140300	GULLO,JENNIFER & DENNIS
504219140310	SPURGEON,PETER
504219140320	PICCIOLO,LINDA L & RAYMOND
504219140330	KOHEN,MATTHEW
504219140340	2525 TORTUGAS LN 770 LLC
504219140350	FRANCO,THEODORE LOUIS III
504219140360	WEIL,MARK
504219140370	COHEN,JEFFREY I
504219140460	PUBLIC LAND
504219150040	ROBINSON,ELIZABETH LYNN
504219150070	YACHT CLUB INTERNATIONAL INC
504219150080	BARBOZA,JOSE LUIS
504219150090	BOST,WILFRED & KATHLEEN M
504219150100	DUESING,BRETT
504219150110	KHAN,ANWAR H
504219150120	ALVERIO,GEORGE
504219150130	STACK,DANNIELLE
504219150190	PUBLIC LAND
504219160080	SOTOS,THOMAS & LINDA S
504219160090	MONTES DE OCA,KATERINE
504219160100	FL 2518 LLC
504219160110	BRACEY,ROY M III & ANNAMARIE C
504219160120	SOLOMON,DAN
504219160130	SILVA,ERIC B H/E
504219160140	HANNA,DAWN
504219160150	GROSVENOR,MELISSA
504219160160	JUST INSPIRE LLC
504219160170	FERRARI,TONY
504219160180	PUBLIC LAND
504219230010	CITY OF FORT LAUDERDALE

NAME_LINE1
WATER MANAGEMENT DISTRICT

WOODHEAD,SUSAN L TRSTEE
MOLDENHAUER,ALEXANDER
MEJIA,SEBASTIAN

CHARLES J ADELSON TR

PICCIOLO FAM REV TR ETAL

GRAUBARD,ADRIANA
GROSS,ANDREW

% CITY OF FORT LAUDERDALE

MIRANDA,HAROLD
BOST,JOSEPH J
TROEHLER,KERI A

BRAMFELD,JAMIE LYNN

% CITY OF FORT LAUDERDALE

LOPEZ VALIDO,MAYKEL

SOLOMON,LAURA
HERNANDEZ-SILVA,SILVIA M

% CITY OF FORT LAUDERDALE

ADDRESS_LI
PO BOX 122271
2512 TORTUGAS LN
2518 TORTUGAS LN
2530 TORTUGAS LN
2536 TORTUGAS LN
2542 TORTUGAS LN
433 LOCUST ST
2554 TORTUGAS LN
2613 TORTUGAS LN
2607 TORTUGAS LN
2555 TORTUGAS LN
2549 TORTUGAS LN
2537 TORTUGAS LN
2531 TORTUGAS LN
19630 NE 26 AVE
2519 TORTUGAS LN
205-46 BRIAN CRES
2507 TORTUGAS LANE
100 N ANDREWS AVE
2612 WHALE HARBORLN
2413 SUGAR LOAF LN
2531 WHALE HARBOR LN
2519 WHALE HARBOR LN
9427 N CALHOUN AVE
2507 WHALE HARBOR LANE
2455 WHALE HARBOR LN
2449 WHALE HARBOR LANE
100 N ANDREWS AVE
2454 WHALE HARBOR LN
2512 WHALE HARBOR LN
2127 BRICKELL AVE #1602
2524 WHALE HARBOR LANE
2530 WHALE HARBOR LN
2536 WHALE HARBOR LANE
2542 WHALE HARBOR LANE
2548 WHALE HARBOR LN
852 NW 81 AVE
2606 WHALE HARBOR LN
100 N ANDREWS AVE
100 N ANDREWS AVE

CITY	STATE	ZIP
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
DENVER	CO	80220
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
MIAMI	FL	33180
FORT LAUDERDALE	FL	33312
BAYSIDE	NY	11360
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33301
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
PORTLAND	OR	97203
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33301
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
MIAMI	FL	33129
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33312
PLANTATION	FL	33324
FORT LAUDERDALE	FL	33312
FORT LAUDERDALE	FL	33301
FORT LAUDERDALE	FL	33301

Mr. Mohammed Malik, Zoning Administrator
City of Fort Lauderdale
Urban Design & Development - BOA
700 NW 19th Avenue
Fort Lauderdale, FL 33311

RE: Narrative for Board of Adjustment Application – 2536 Whale Harbor Lane

Dear Mr. Malik:

Please find attached an application for a zoning interpretation regarding the maximum height permitted in ULDR Section 47-39.A.2. Building permit #BLD-RNC-22040038 was rejected by staff because the building height for a new two-story home was greater than 20 feet. The proposed interpretation is as follows:

- 1) Maximum height is two stories;
- 2) A story is every 10 feet of building; and
- 3) Three stories are need to exceed the two-story maximum.

As noted in the enclosed Board of Adjustment application and Attachment 1, the following ULDR sections are applicable to this request:

Section 47-39.A;
Section 47-39.A.2;
Section 47-39.A.6;
Section 47-5.30;
Section 47-5.31; and
Section 47-5.32.

Thank you for your review and consideration of this application. Feel free to contact me with any questions.

Sincerely,

Eric Silva, AICP
2536 Whale Harbor Lane
Fort Lauderdale, Florida 33312
954-770-0644

Attachment 1

Unified Land Development Regulations - Section 47-39A Melrose Park and Riverland Road

In 2002, the Melrose Park and Riverland Road areas were annexed into the City of Fort Lauderdale. In 2009, the City of Fort Lauderdale adopted the Broward County Zoning Code for these areas.

The information below explains that the height limit for Melrose Park and Riverland Road is two stories not 20 feet.

- 1) City of Fort Lauderdale ULDR Height Limit (two stories) and Story Definition (a story is every 10 feet of building)
- 2) 2517 Andros Lane Approved Permit over 20 feet
 - 2015 Board of Adjustment Hearing for a front setback variance but no application for a height variance. This supports the interpretation that a story is every 10 feet.
- 3) Broward County Zoning History
 - This is relevant because it shows intent and establishes a pattern for height requirements in the Melrose Park and Riverland areas.
 - In the 1950's when the Melrose Park and Riverland areas were developed, the height limit was 35 feet.

City of Fort Lauderdale ULDR

Sec. 47-39.A.6. - Dimensional requirements.

D. Height. No building or structure, or part thereof, shall be erected or altered to exceed the maximum height of two (2) stories: scenery lofts, towers, cupolas, steeples and domes, not exceeding in gross area, at a maximum horizontal section, thirty (30) percent of the roof area, and flag poles, airplane beacons, broadcasting towers, antenna, chimneys, stacks, tanks and roof structures used for ornamental or mechanical purposes, may exceed the permissible height limit in any district by not more than twenty-five (25) percent. Parapet walls may extend not more than five (5) feet above the allowable height of a building. (Inserted from Broward County Code 39-103 entitled "Exclusions from height limits").

Proposed Interpretation:

- 1) The maximum height is two stories. It is not a dimensional limit of a specific number of feet.
- 2) Twenty feet is not the limit.
- 3) Three stories would exceed the limit.

Sec. 47-39.A.2. - Definitions and Measurements.

Story: A habitable area of a building horizontally enclosed by the exterior walls of the building, with a vertical clearance between the floor and ceiling of at least seven and one-half (7½) feet. Any upper story which does not exceed two-thirds ($\frac{2}{3}$) of the area of the first-floor level shall not be considered a story except for determining the height of the building. For the purposes of determining the height of a building, a story shall be considered to be every ten (10) feet of building height above first floor level measured from the exterior elevation. For purposes of determining the height of a structure other than a building, a story shall be each ten (10) feet in height of the structure above the established grade.

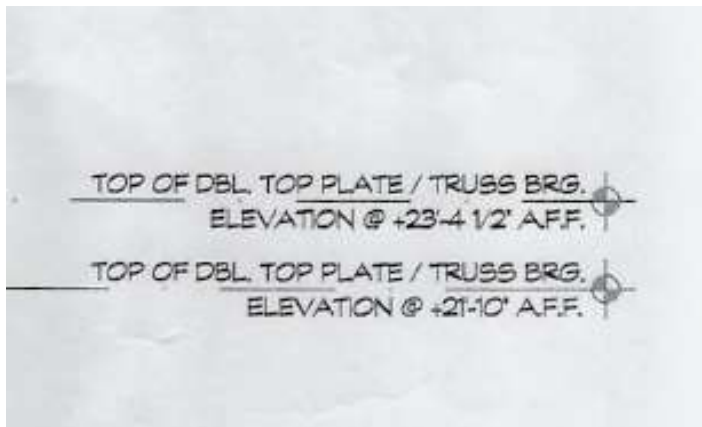
Proposed Interpretation:

- 1) A story is a habitable area between the floor and ceiling.
- 2) To determine (not measure) the height of a building, a story is every 10 feet of building.
- 3) Ten feet of building is required to meet the definition of a story.
- 4) Measured from the exterior elevation. A distinction is made from the first statement which describes a story as a habitable area from floor to ceiling. The exterior elevation includes a second-floor concrete slab, air conditioning ducts, garages, etc., which are not habitable. This is significant because it explains that the purpose is to determine the number of stories. An additional height limit is not to be embedded within the story definition.
- 5) The number of stories must be calculated to determine if a building meets the requirements of *Section. 47-39.A.6.D. Height*.
- 6) A 25-foot house would be two stories which would be permitted.
- 7) A 30-foot house would be three stories which would exceed the two-story limit.

New Home at 2517 Andros Lane (Lauderdale Isles)

On April 8, 2015, the Board of Adjustment approved a front setback variance for a new home at 2517 Andros Lane. Below is the elevation sheet from the approved permit set, it shows a home greater than 20 feet. Since a height variance was not requested, staff must have concluded that a story is every 10 feet. Mean height less than 30 feet so it was only two stories.

2517 Andros Lane
31' Top of Roof
23' 4.5" to Trusses



Broward County Zoning Code History

In the 1950's when homes in the Melrose Park and Riverland were constructed the height limit was 35 feet. In 1996, the code was changed to include the two-story maximum and story definition that is in the City of Fort Lauderdale ULDR. In 2020, Broward County amended the code to provide for a two-story limit, not to exceed 35 feet.

Over the past 70 years of the Broward County Zoning Code there was never a 20-foot height limit for single family homes. Similar to most municipalities in south Florida, height was limited to 35 feet which is much more consistent with the interpretation that a story must be every ten feet (two stories, not to exceed 30 feet under the ULDR). It would also make it much more consistent with the explanation above regarding habitable space and the intent to use the definition to determine the number of stories rather than measure a building.

1952 Zoning Code

SECTION 500.0 ZONE R-1. SINGLE FAMILY RESIDENCE.

SEC. 501.0 USE.

No building or premises shall be used, and no building with its usual accessories shall be erected or altered, other than a building or premises arranged, intended or designed for one or more of the following uses:

one single family residence
church or parish building
public library
public park and children's playground

SEC. 502.0 HEIGHT.

No residence shall be erected to a height greater than 35 feet, excepting in the case of a church, or other public or semi-public building, which shall not be erected to a height greater than 50 feet.

1996 Broward County Zoning Code Amendment

Ordinance #96-15 - Changed height limit from 35 feet to a number of stories.

7 Sec. 39-284. Height.

3 No building or structure, or part thereof, shall be erected or
9 altered to exceed the maximum heights specified as follows, except
0 structures specifically permitted in accordance with Section 39-157
1 of this Code, titled "exclusions from height limits":

2

3	<u>RS-2 to RS-6.....</u>	<u>2 stories</u>
4	<u>RM-7 to RM-8.....</u>	<u>3 stories</u>
5	<u>RM-9 to RM-15.....</u>	<u>4 stories</u>
5	<u>RM-16 to RM-20.....</u>	<u>6 stories</u>
7	<u>RM-21 to RM-23.....</u>	<u>10 stories</u>
8	<u>RM-24 to RM-25.....</u>	<u>15 stories</u>

9

1996 Broward County Zoning Code Amendment

Ordinance #96-17 - Added Story definition to Zoning Code

:0 Story: A habitable area of a building horizontally enclosed
:1 by the exterior walls of the building, with a vertical clearance
:2 between the floor and ceiling of at least seven and one-half (7½)
:3 feet. Any upper story which does not exceed two-thirds of the area
:4 of the first floor level shall not be considered a story except for
:5 determining the height of the building. For the purposes of
:6 determining the height of a building, a story shall be considered
:7 to be every ten (10) feet of building height above first floor
:8 level measured from the exterior elevation.
:9
0
1

2020 Broward County Zoning Code Amendment

Ordinance #2020-34

Deleted Story definition to Zoning Code.

Changed height limit to two stories not to exceed 35 feet.

This is more consistent with the interpretation that story is every 10 feet, which would be two stories, not to exceed 30 feet.

8 ~~Story: A habitable area of a building horizontally enclosed by the exterior walls of~~
9 ~~the building, with a vertical clearance between the floor and ceiling of at least seven and~~
0 ~~one half (7½) feet. Any upper story which does not exceed two thirds of the area of the~~
1 ~~first floor level shall not be considered a story except for determining the height of the~~
2 ~~building. For the purposes of determining the height of a building, a story shall be~~
3 ~~considered to be every ten (10) feet of building height above first floor level measured~~
4 ~~from the exterior elevation. For purposes of determining the height of a structure other~~
5 ~~than a building, a story shall be each ten (10) feet in height of the structure above the~~
6 ~~established grade.~~

<i>District</i>	<i>Number of stories</i>
4 RS-2 to RS-6	2, <u>not to exceed thirty-five (35) feet</u>
5 RD-4 to RD-10	2, <u>not to exceed thirty-five (35) feet</u>
6 RM-5 to RM-6	2, <u>not to exceed thirty-five (35) feet</u>
7 RM-7 to RM-8	3, <u>not to exceed forty-five (45) feet</u>
8 RM-9 to RM-15	4, <u>not to exceed fifty-five (55) feet</u>
9 RM-16 to RM-20	6, <u>not to exceed seventy-five (75) feet</u>
10 RM-21 to RM-23	10, <u>not to exceed one hundred twenty (120) feet</u>
11 RM-24 to RM-25	15, <u>not to exceed one hundred eighty (180) feet</u>

Please see the link for Broward County Zoning History.

<https://www.broward.org/Planning/Pages/HistoricZoningOrdinancesMaps.aspx>

Other Fort Lauderdale Single Family Zoning Districts

It should also be noted that other than RS-8A (28 feet) all other zoning districts allow a maximum structure height of 35 feet.

Sec. 47-5.30. - Table of dimensional requirements for the RS-4.4 district. (Note A)

<i>Requirements</i>	<i>RS-4.4</i>
Maximum density	4.4 du/net ac.
Minimum lot size	10,000 sq. ft.
Maximum structure height	35 ft.

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

9

<i>Requirements</i>	<i>RS-8</i>	<i>RS-8A</i>
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.

Sec. 47-5.32. - Table of dimensional requirements for the RD-15 and RDs-15 districts. (Note A)



 EXPAND

<i>Requirements</i>	<i>Single Family Dwelling</i>	<i>Single Family Dwelling, Attached: Duplex/Two(2) Family Dwelling</i>	<i>Single Family Dwelling: Zero-Lot-Line</i>	<i>Single Family Dwelling, Attached: Cluster</i>
Maximum density (du/net acre)	15	15	15	15
Minimum lot size (sq. ft.)	6,000	6,000 3,000 each du	4,000	3,000 each du
Maximum structure height (ft.)	35	35	35	35



2530

2530





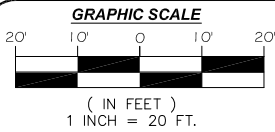






2536





MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 19, TOWNSHIP 50 SOUTH, RANGE 42 EAST
LYING AND BEING IN BROWARD COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE "20"
MAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL: REQUEST@LMSURVEYING.COM

LEGAL DESCRIPTION:
LOT 14, RESUBDIVISION OF PORTION OF BLOCK 12, OF "LAUDERDALE ISLES NO. 2", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 41, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:
FOLIO NO. 5042 19 16 0130

2536 WHALE HARBOR LANE,
FORT LAUDERDALE, FL 33312

AREA OF PROPERTY: 7,150 SQUARE FEET AND/OR
0.164 ACRES MORE OR LESS.

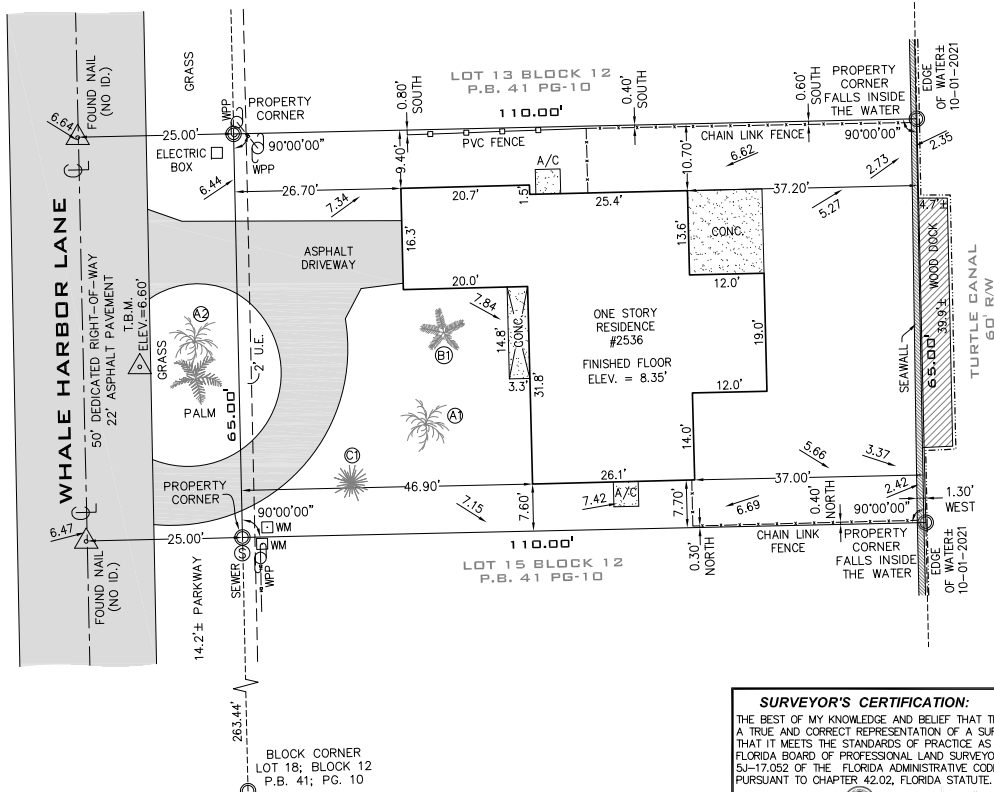
CERTIFIED TO:
THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

-ERIC B. SILVA AND SILVIA M. HERNANDEZ-SILVA

- SURVEYOR'S NOTES:**
- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION; PROVIDED BY CLIENT.
 - 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
 - 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
 - 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.5IFAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
 - 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
 - 6.) TYPE OF SURVEY: BOUNDARY SURVEY
 - 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.88)
 - 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
 - 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
 - 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
 - 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
 - 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
 - 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
 - 14.) WALL TIES ARE TO THE FACE OF THE WALL.
 - 15.) FENCE OWNERSHIP NOT DETERMINED.
 - 16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
 - 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
 - 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
 - 19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "LAUDERDALE ISLES NO. 2" RECORDED IN PLAT BOOK 41, AT PAGE 10.
 - 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 20 FEET OR SMALLER.

TREE TABLE

NO.	SYMBOLS	TREE	DESCRIPTION	
			(1)	(2)
A		TREE	D- 1.5' H- 25' C- 20'	D- 0.4' H- 10' C- 5'
B		PALM	D- 0.5' H- 20' C- 5'	-
C		OAK	D- 1.5' H- 25' C- 20'	-



SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42.02, FLORIDA STATUTE.

SIGNED: FOR THE FIRM
ARTURO MENDIGUITA, P.S.M. P.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

Digitally signed by Arturo Mendiguita
Date: 2021.11.15 11:05:36 -05'00'

ABBREVIATIONS AND LEGEND:

- A/C = DENOTES AIR CONDITIONING UNIT
- B.S. = DENOTES BASIS OF BEARINGS
- ASPH. = DENOTES ASPHALT
- P = DENOTES PROPERTY LINE
- B.M. = DENOTES BENCH MARK
- C.B.S. = DENOTES CONCRETE BLOCK STUCCO
- CONC. = DENOTES CONCRETE
- LP = DENOTES LIGHT POLE
- CB = DENOTES CATCH BASIN
- C.L. = DENOTES CENTERLINE
- M.L. = DENOTES MONUMENT LINE
- L.M.E. = DENOTES LAKE & MAINTENANCE EASEMENT
- D.E. = DENOTES DRAINAGE EASEMENT
- D.H. = DENOTES DRILL HOLE
- (M) = DENOTES MEASUREMENT
- (R) = DENOTES RECORD
- W.P. = DENOTES WOOD POWER POLE
- U.E. = DENOTES UTILITY EASEMENT
- P.B. = DENOTES PLAT BOOK
- P.G. = DENOTES PAGE
- P.C.P. = DENOTES PERMANENT CONTROL POINT
- P.O.B. = DENOTES POINT OF BEGINNING
- TYP. = DENOTES TYPICAL
- M.H.W. = DENOTES MEAN HIGH WATER LINE
- = DENOTES WOOD FENCE
- - - = DENOTES CHAIN LINK FENCE
- - - x - - - = DENOTES IRON FENCE
- - - o - - - = DENOTES FOUND IRON PIPE (NO ID.)
- - - x - - - = DENOTES FOUND NAIL AND DISC
- - - = DENOTES ASPHALT PAVEMENT
- X XX = DENOTES ELEVATIONS
- BRICK = DENOTES BRICK
- CONC. PAD = DENOTES CONCRETE PAD

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORDED AND MEASURED UNLESS OTHERWISE NOTED.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:	X	
ELEVATION:	N/A	
COMMUNITY:	125105	
PANEL:	12011C0554	
DATE OF FIRM:	08-18-2014	
SUFFIX:	H	
ORIGINAL FIELD WORK SURVEY DATE	10-01-2021	
BENCH MARK:	N/A	
ELEVATION:	N/A	
DATE	DRAWN BY	SCALE
10-01-2021	J.FEE	1"=20'
REVISION / UPDATE OF SURVEY		
DATE	DESCRIPTION	
N/A	N/A	
JOB No.		
2109.0302		

SINGLE FAMILY RESIDENCE

NEW CONSTRUCTION

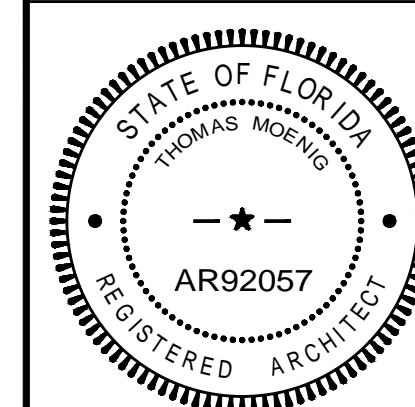
2536 WHALE HARBOR LANE
FORT LAUDERDALE, FLORIDA 33312

TMA
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THOMAS MOENIG ARCHITECT, LLC



THOMAS MOENIG
AR92057

PERMIT SET

THIS DRAWING SHALL NOT BE VALID FOR CONSTRUCTION UNLESS IT CONTAINS AN ORIGINAL SIGNATURE BY THE ARCHITECT OF RECORD AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED

REVISIONS

- 1
- 2
- 3
- 4

NEW CONSTRUCTION
SINGLE-FAMILY RESIDENCE
2536 WHALE HARBOR LANE
FORT LAUDERDALE, FL 33312

DRAWING SCALES INDICATED ON THESE PLANS ARE INTENDED FOR 24" X 36" PLOTS ONLY

DRAWN BY	CHECKED BY
T M	T M

DATE 04-07-2022

TMA PROJECT NUMBER 342101

SHEET **A-0.0**

- ### GENERAL CONSTRUCTION NOTES
- WORK SHALL INCLUDE ALL ITEMS (BUILDING AND SITE) AS INDICATED ON THIS SET OF DRAWINGS UNLESS NOTED OTHERWISE.
 - DEPOSITS AND FEES:** DEPOSITS FOR UTILITIES INCLUDING WATER METER, TELEPHONE AND ELECTRICAL SERVICE TO BE MADE BY THE GENERAL CONTRACTOR. PERMIT FEES, AS REQUIRED, SHALL BE PAID BY THE CONTRACTOR FOR THAT PORTION OF THE WORK.
 - GENERAL CONTRACTOR SHALL MAINTAIN TEMPORARY ELECTRICAL, WATER, AND SANITARY FACILITIES AS REQUIRED FOR THE DURATION OF CONSTRUCTION.
 - PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE PLANS. WRITTEN FIGURES INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALING THE DRAWINGS. MEASUREMENTS BY SCALING SHALL NOT BE USED AS DIMENSIONS TO WORK BY. FIELD MEASUREMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SHOP DRAWINGS MUST BE FIELD VERIFIED.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OR RESTRICTIONS HAVING JURISDICTION. GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON THE OBSERVANCE OF ANY VARIATION BETWEEN THESE DOCUMENTS AND ANY APPLICABLE CODES OR ORDINANCES.
 - ALL CONSTRUCTION MATERIALS SHALL BE NEW AND SHALL BEAR UNDERWRITER'S LABELS WHERE APPLICABLE.
 - ALL PIERS, SUPPORTS, SHELVING, FOUNDATIONS, ANCHOR BOLTS, HANGERS, WHICH ARE REQUIRED BY A SUBCONTRACTORS FOR THE SUPPORT OR HANGING OF THEIR EQUIPMENT SHALL BE SUPPLIED BY THE CONTRACTOR REQUIRING SAME.
 - FOR CONVENIENCE IN DESCRIPTION & AS A STANDARD FOR GRADE, TYPE, QUALITY AND PERFORMANCE CHARACTERISTICS, PROPRIETARY NAMES ARE INCLUDED WITH SOME DESCRIPTIONS. THIS DOES NOT IMPLY ANY PREFERENCE TO A PARTICULAR MANUFACTURER, BUT MINIMUM REQUIREMENTS, WITH FINAL DECISIONS BEING MADE BY THE OWNER AND ARCHITECT.
 - ARRANGE FOR SUITABLE STORAGE SPACE FOR MATERIALS TO PREVENT INCLUSION OF FOREIGN MATERIALS AND DELIVER AT SUCH TIMES AS NOT TO INTERFERE WITH OTHER OPERATIONS. MATERIALS ON SITE SHALL BE KEPT IN UNOPENED, ORIGINAL CONTAINERS OR PACKAGES THAT BEAR IDENTIFYING LABELS WHICH ARE NOT TO BE REMOVED UNTIL THEIR IMMEDIATE USE. PROTECT ALL MATERIALS FROM MINOR ABRASIONS AND HANDLE MASONRY PRODUCTS WITH CARE TO PREVENT CHIPPING AND DAMAGE.
 - GENERAL CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE JOB SITE & LEAVE BUILDING BROOM CLEAN. ALL GLASS SHALL BE THOROUGHLY CLEANED AT COMPLETION OF WORK. ANY PAINT SPECKS & OTHER CONSTRUCTION MARKS SHALL BE REMOVED FROM ALL FINISHED SURFACES.
 - GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE OF DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM THE DATE OF ACCEPTANCE. CORRECTION OF DEFECTS SHALL BE COMPLETED IN A TIMELY MANNER WITHOUT ADDITIONAL CHARGE. THIS SHALL INCLUDE ELEMENTS WHICH ARE DAMAGED BY SAID DEFECTS.
 - ALL LUMBER SHALL BE DOUGLAS FIR WITH A MINIMUM FIBER STRESS OF 1,000 PSI, OR NO. 2 SOUTHERN PINE, UNLESS NOTED OTHERWISE. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 - ALL METAL USED FOR CONNECTING WOOD MEMBERS SHALL BE GALVANIZED. ALL NAILS, BOLTS OR OTHER METAL CONNECTORS SHALL BE GALVANIZED OR SHALL BE CORROSION RESISTANT.

GENERAL NOTES

GOVERNING CODE: FLORIDA BUILDING CODE 2020, 7TH EDITION, RESIDENTIAL. ANSI / ASCE 7-16 FOR WIND LOADS.

REFERENCE STANDARDS: REFERENCE TO ASTM AND OTHER STANDARDS SHALL MEAN THE LATEST EDITION IN EFFECT ON THE BID DATE OR DATE OF OWNER-CONTRACTOR AGREEMENT UNLESS NOTED IN THESE DOCUMENTS OR DESIGNATED BY THE GOVERNING CODE.

NOTES: NOTES ON THE INDIVIDUAL STRUCTURAL DRAWINGS SHALL TAKE PRIORITY OVER STRUCTURAL NOTES ON ARCHITECTURAL SHEETS.

SPECIFICATIONS: REFER TO THE SPECIFICATIONS FOR INFORMATION IN ADDITION TO THESE NOTES.

ARCHITECTURAL: REFER TO THE ARCHITECTURAL DRAWINGS FOR ELEVATIONS, DOORS, WINDOWS, NONBEARING WALLS, CURTAIN WALLS, ELEVATORS, STAIRS, SLOPES, CURBS, DRAINS, DEPRESSIONS, RAILINGS, WATERPROOFING, FINISHES, ...

DISCREPANCIES: IN CASE OF DISCREPANCIES BETWEEN THE PLANS, SPECIFICATIONS, REFERENCE STANDARDS & GOVERNING CODE, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.

SITE VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK, AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED, IN WRITING, OF ANY DISCREPANCIES. IN NO CASE CASE SHALL DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE DRAWINGS.

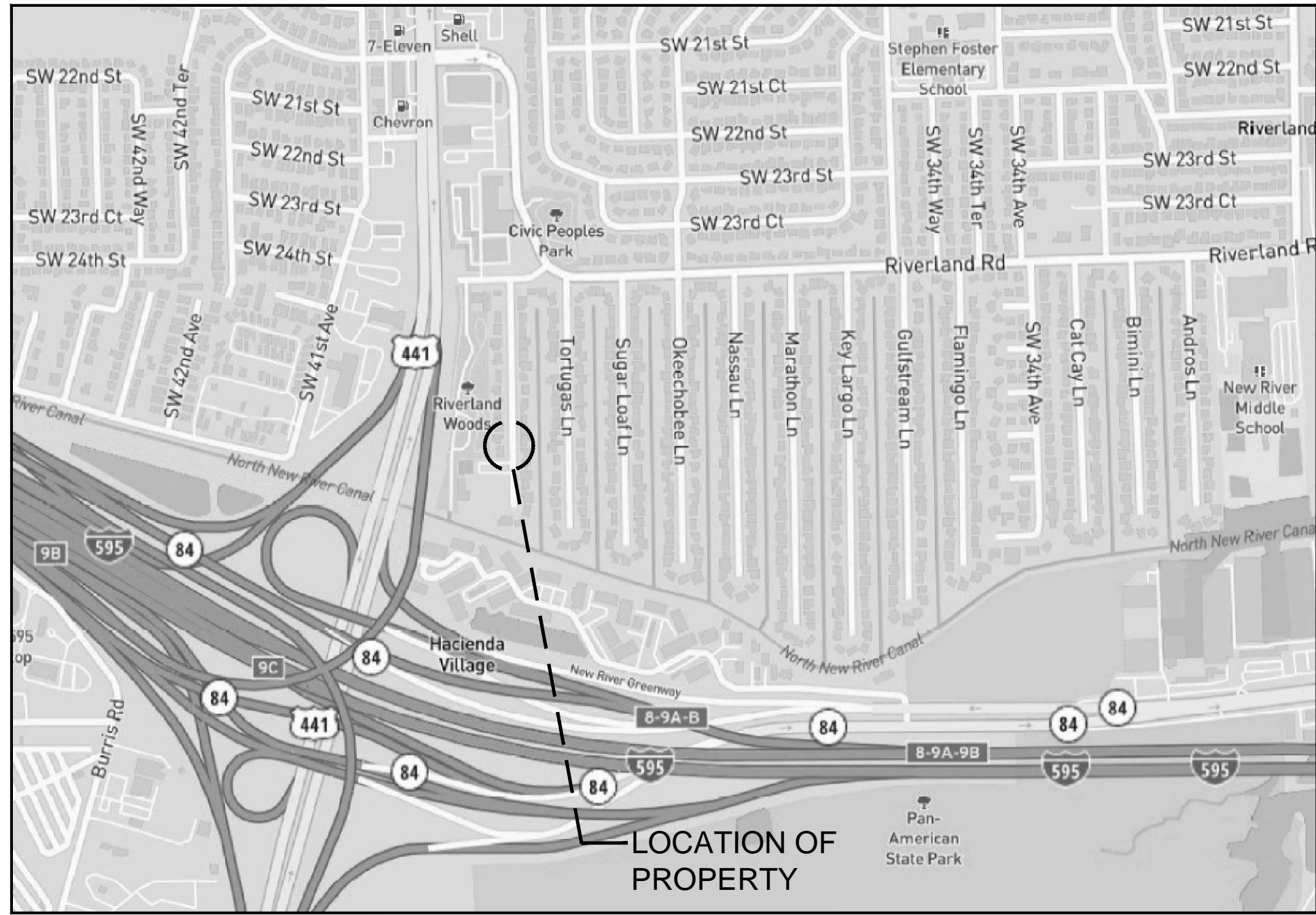
OMISSIONS / CONFLICTS: IN CASE OF OMISSIONS AND CONFLICTS BETWEEN THE PLANS, SPECIFICATIONS AND SITE CONDITIONS, THE ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH THE WORK.

CONTRACTOR RESPONSIBILITIES: THE CONTRACTOR IS RESPONSIBLE FOR SAFETY AT THE SITE AND FOR THE STRENGTH AND STABILITY OF ALL PARTLY COMPLETED CONSTRUCTION.

LOAD LIMITS: LOADS ON THE STRUCTURE SHALL NOT EXCEED THE DESIGN LOADS.

SUBMITTALS: WHERE SHOP DRAWINGS, MILL TESTS, OR OTHER ITEMS ARE REQUESTED, SUBMITTALS SHALL BE MADE TO THE ARCHITECT PRIOR TO ORDERING, FABRICATION OR INSTALLATION IN THE STRUCTURE. ALL SUBMITTALS MUST BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ARCHITECT. NO EXCEPTIONS.

ALTERNATES: ALTERNATES FOR SPECIFIED ITEMS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL. CONTRACTOR SHALL BUDGET FOR ARCHITECTURAL / ENGINEERING REVIEW.



SCOPE OF WORK

THIS SCOPE OF WORK INVOLVES THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE ON AN EXISTING LOT IN FORT LAUDERDALE. THIS IS A TWO-STORY REINFORCED MASONRY STRUCTURE, TYPE V CONSTRUCTION, UNPROTECTED. ALL SITE FEATURES AND LANDSCAPE WILL BE NEW. THE STRUCTURE WILL BE SERVICED BY TWO NEW ELECTRICAL PANELS AND TWO NEW SPLIT A/C SYSTEMS

GOVERNING CODE

FLORIDA BUILDING CODE 2020, 7TH EDITION, RESIDENTIAL

TYPE OF CONSTRUCTION

TYPE V - B

BUILDING USE AND OCCUPANCY

OCCUPANCY GROUP 'R3' - SINGLE FAMILY

BUILDING CLASSIFICATION

AS PER ASCE TABLE 1.5-1, THIS BUILDING IS CLASSIFIED AS A RISK CATEGORY II STRUCTURE

INDEX OF DRAWINGS

A-0.0	TITLE SHEET / NOTES
A-0.1	SITE PLAN
A-1.1	FIRST FLOOR PLAN / DETAILS
A-1.2	SECOND FLOOR PLAN / INT DOOR SCHEDULES
A-1.3	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-2.2	EXTERIOR ELEVATIONS
A-3.1	SECTIONS / STAIR SECTION
A-4.1	DOOR AND WINDOW SCHEDULES / DETAILS
M-1.1	FIRST FLOOR MECHANICAL PLAN / DETAILS
M-1.2	SECOND FLOOR MECHANICAL PLAN / DETAILS
E-1.1	FIRST FLOOR ELECTRICAL PLAN / LEGEND
E-1.2	SECOND FLOOR ELECTRICAL PLAN / PANEL SCHEDULES / ELECTRICAL RISER
P-1.1	SANITARY PLANS / LEGEND
P-1.2	SUPPLY PLANS / DETAILS
P-1.3	PLUMBING ISOMETRICS / DETAILS
S-1	STRUCTURAL NOTES
S-2	FOUNDATION PLAN / SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
S-4	STRUCTURAL DETAILS
S-5	STRUCTURAL DETAILS

BUILDING AREA CALCULATIONS	
TWO-STORY CMU SINGLE FAMILY RESIDENCE	
FIRST FLOOR AREA (GROSS)	1,787 SF
GARAGE (GROSS)	520 SF
FIRST FLOOR COVERED EXTERIOR TERRACE	514 SF
FIRST FLOOR COVERED ENTRY	26 SF
SECOND FLOOR AREA (GROSS)	1,412 SF
SECOND FLOOR COVERED EXTERIOR TERRACES	686 SF
TOTAL BUILDING FOOTPRINT (FIRST FLOOR, GARAGE, COVERED TERRACE, COVERED ENTRY)	2,847 SF

ZONING DATA		
ZONING:	RS-6.85A	
NET LAND AREA:	7,150 SF (+/- 0.164 ACRES)	
BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT (WHALE HARBOR LN):	25'-0"	25'-6"
SIDE (NORTH):	7'-6"	7'-11"
SIDE (SOUTH):	7'-6"	7'-11"
REAR (EAST):	15'-0"	25'-6"

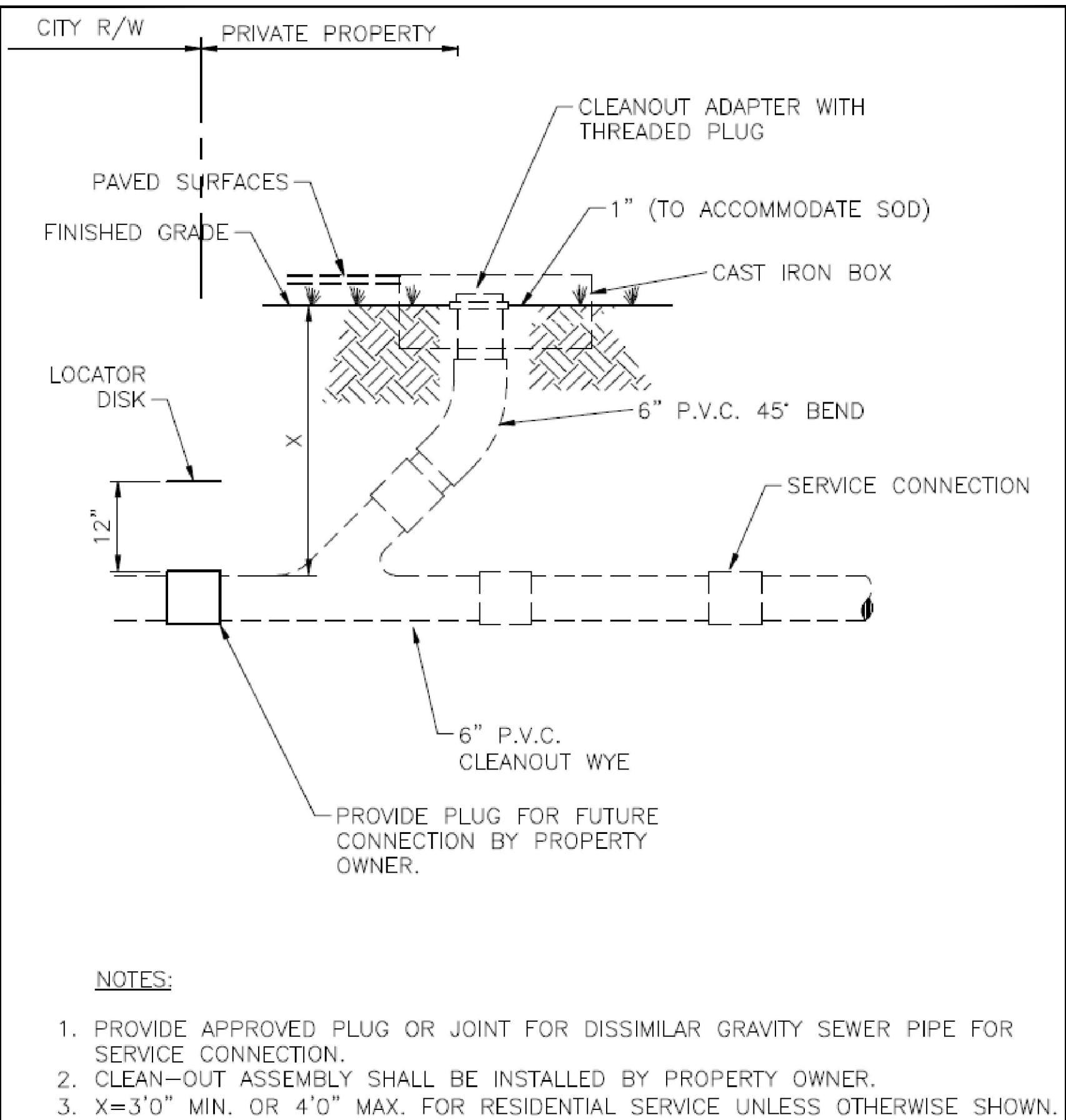
LEGAL DESCRIPTION	
LOT 14, RESUBDIVISION OF PORTION OF BLOCK 12, OF LAUDERDALE ISLES NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 41, AT PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.	
FOLIO NUMBER	
5042 19 16 0130	
SITE INFORMATION	FLOOD ZONE INFORMATION
COMMUNITY: 125105	FLOOD ZONE: 'X'
PANEL: 12011C0554	PER PROPERTY SURVEY BY LANDMARK SURVEYING & ASSOCIATES, INC., DATED 10-01-2021
SUFFIX: H	

NOTE
NO IMPROVEMENTS IN THE CITY RIGHT-OF-WAY ARE PROPOSED FOR THIS PROJECT

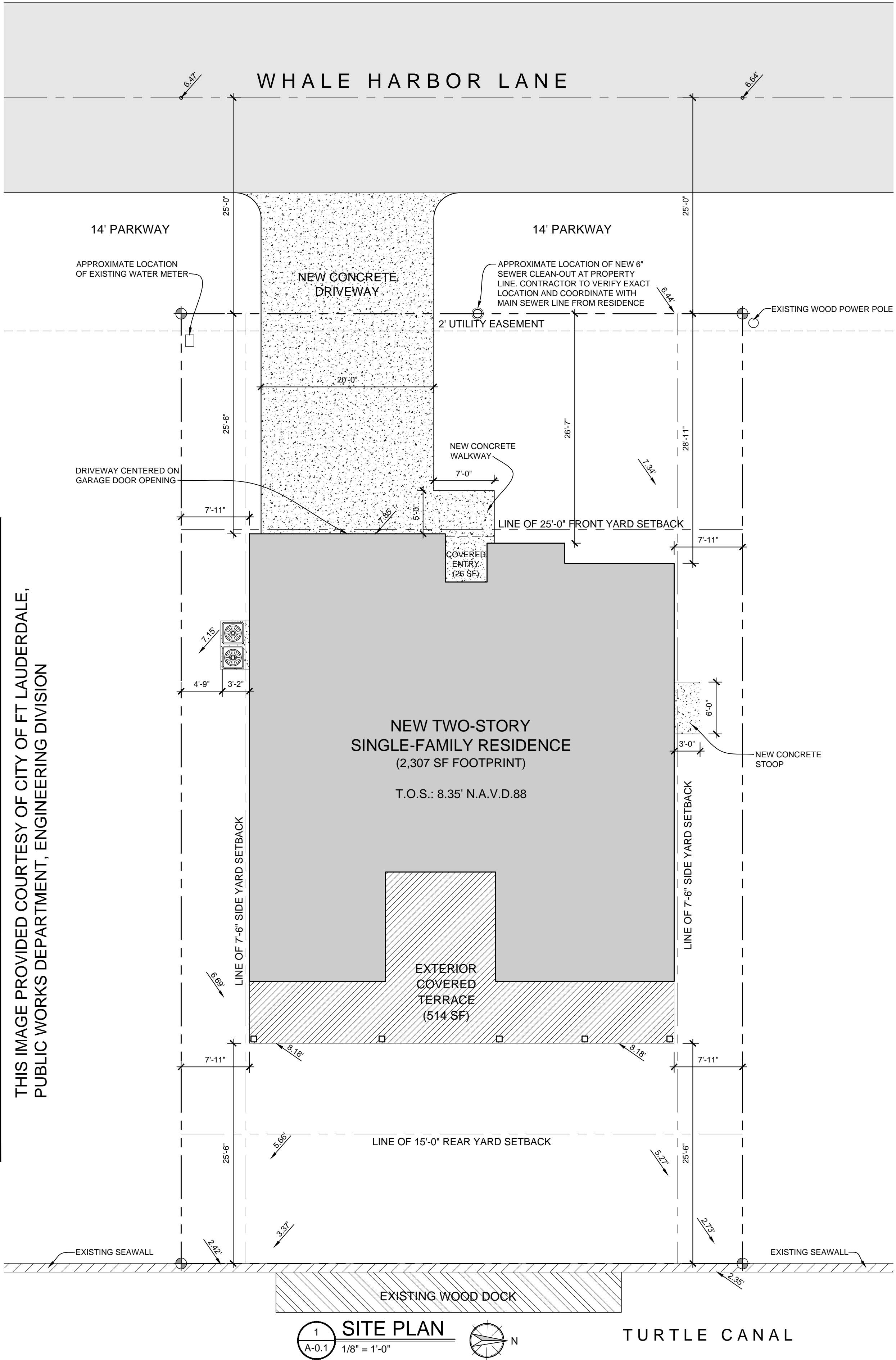
GUARD RAIL NOTE
FBC R312.1.1 WHERE REQUIRED. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 24 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.
FBC R312.1.2 HEIGHT. REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.
FBC R312.1.3 OPENING LIMITATIONS. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
EXCEPTIONS: 1. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER.

LOT COVERAGE	
TOTAL BUILDING FOOTPRINT	2,847 SF
LOT AREA	7,150 SF
LOT COVERAGE	39.8 %

IMPERVIOUS AREA CALCULATION	
NET LOT AREA	7,150 SF
TOTAL BUILDING FOOTPRINT	2,847 SF
CONCRETE DRIVEWAY	794 SF
CONCRETE WALKWAY	37 SF
CONCRETE STOOP	18 SF
CONCRETE A/C PADS	19 SF
TOTAL IMPERVIOUS AREA	3,715 SF (52.0%)
TOTAL PERVIOUS AREA	3,435 SF (48.0%)



2 TYP. CLEAN-OUT INSTAL. @ PROP. LINE
A-0.1 NOT TO SCALE



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- 1
- 2
- 3
- 4

NEW CONSTRUCTION
SINGLE-FAMILY RESIDENCE
2536 WHALE HARBOR LANE
FORT LAUDERDALE, FL 33312

DRAWING SCALES INDICATED ON THESE PLANS ARE INTENDED FOR 24" X 36" PLOTS ONLY

DRAWN BY T M CHECKED BY T M

DATE 04-07-2022

TMA PROJECT NUMBER 342101

SHEET

A-0.1

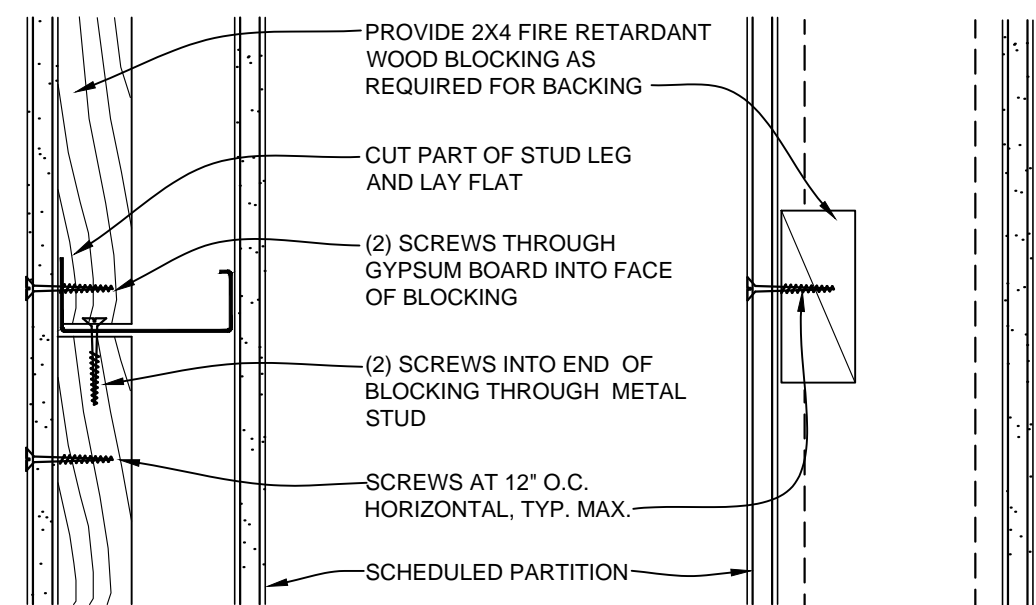
GLASS AND GLAZING NOTES

THE GLAZING IN SLIDING AND SWINGING DOORS AND IN SHOWER TO TUB ENCLOSURES, INCLUDING ANY GLAZING WITHIN 60 INCHES OF THE FINISHED FLOOR SURFACE IN WALLS SURROUNDING ANY TUB OR SHOWER ENCLOSURE, SHALL BE SAFETY GLAZING AS SET FORTH IN SECTION R308.4 FOR CATEGORY II GLAZING PRODUCTS. GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZING WHERE THE GLASS OR MIRRORS ARE LESS THAN 60 INCHES ABOVE THE FLOOR OF THE TUB OR THE SHOWER. GLASS LOUVERED DOORS NEED NOT BE SAFETY GLAZED. DOORS CONTAINING GLAZING MATERIAL NOT GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY I GLAZING PRODUCTS. DOORS, BATH AND SHOWER ENCLOSURES, AND SLIDING GLASS DOORS CONTAINING GLAZING MATERIAL GREATER THAN 9 SQUARE FEET IN SURFACE AREA SHALL BE CLASSIFIED AS CATEGORY II GLAZING PRODUCTS. CATEGORY I GLAZING PRODUCTS SHALL BE CAPABLE OF WITHSTANDING A 150 FOOT-POUND IMPACT TEST. CATEGORY II GLAZING PRODUCTS SHALL BE CAPABLE OF WITHSTANDING A 400 FOOT-POUND IMPACT TEST. DOORS SHALL BE DESIGNED TO BE READILY OPERATIVE WITHOUT CONTACT WITH THE GLASS. GLAZED PANELS LOCATED ADJACENT TO OR IN DOORS SHALL BE OF SAFETY GLAZING IN ACCORDANCE WITH THE FOLLOWING:

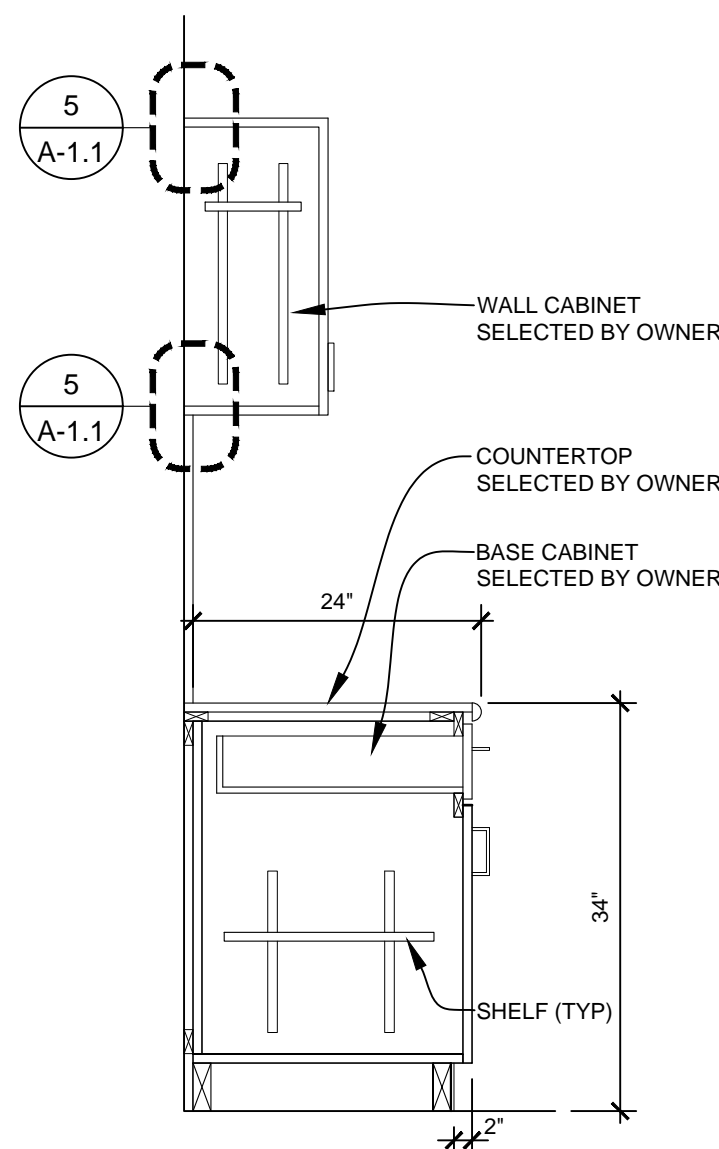
1. ALL GLAZED PANELS THROUGH WHICH A 3 INCH DIAMETER SPHERE IS ABLE TO PASS.
2. IN ALL OCCUPANCIES, ANY GLAZING MATERIAL ADJACENT TO DOOR WITHIN 48 INCHES OF THE DOOR IN THE CLOSED POSITION AND BELOW THE TOP OF THE DOOR.

EXCEPTIONS:

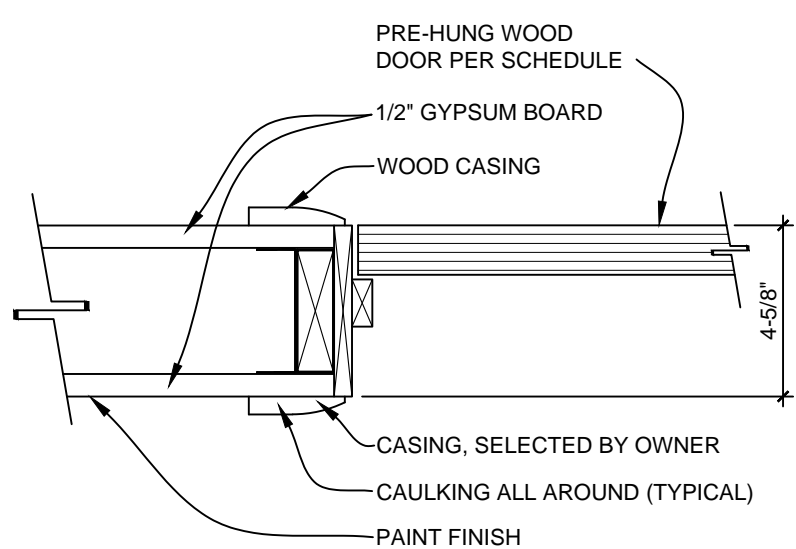
1. WIRED GLASS IN FIRE DOORS.
2. LEADED GLASS OF 30 SQUARE INCHES OR LESS.
3. CURVED GLASS IN REVOLVING DOORS.
4. COMMERCIAL REFRIGERATED CABINET DOORS.
5. A SOLAR SCREEN MAY SERVE AS A SAFEGUARD WHERE SUCH SCREEN COMPLIES WITH STRENGTH REQUIREMENTS OF RAILINGS.



5 BLOCKING DETAIL
A-1.1 NOT TO SCALE



4 CABINET DETAIL
A-1.1 NOT TO SCALE



3 TYPICAL INTERIOR DOOR
A-1.1 NOT TO SCALE

FLOOD VENT CALCULATION

NON HABITABLE SPACE WITH FFE BELOW THE DFE (GARAGE): 536 SF (INCLUDING ALL FOUR CMU WALLS OF THE GARAGE)
 PROVIDE 1 SQ.IN. NET FOR EVERY 1 SF OF ENCLOSED SPACE: PROVIDE 536 SQ.IN. NET
 FLOOD VENTS PROVIDED: (2) 24" X 8" FOR 384 SQ.IN. ON THE SOUTH ELEVATION
 (1) 24" X 8" FOR 192 SQ.IN. ON THE NORTH ELEVATION
 TOTAL NET FLOOD VENT AREA PROVIDED: 576 SQ.IN.

WET AREAS NOTE

PER FBC R702.4.2, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS, OR FIBER-REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C 1178, OR C 1279, RESPECTIVELY, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS

WET AREAS WALL SURFACES

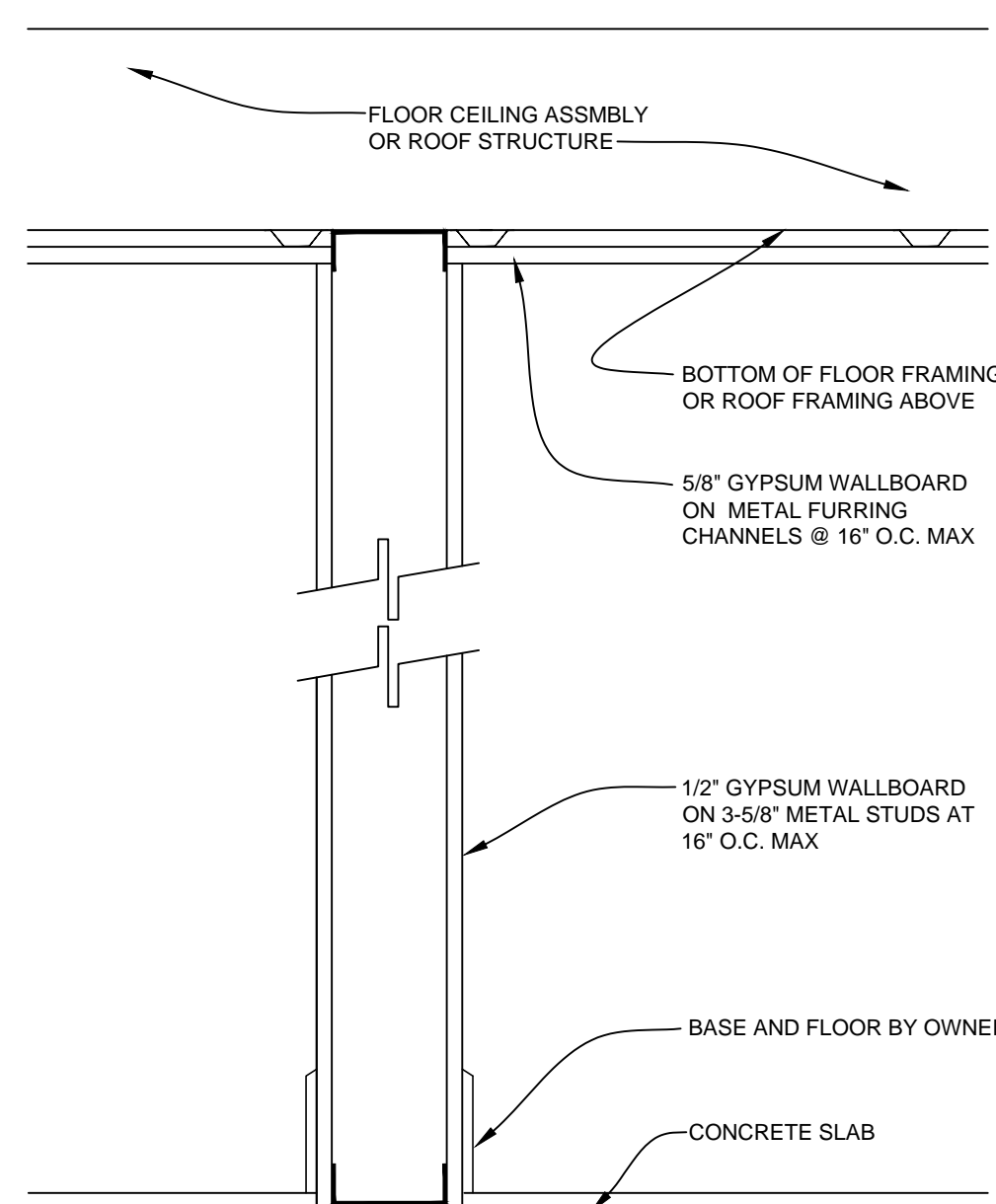
PER FBC R307.2, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR

SOIL TREATMENT NOTE

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." FBC 1816.1

INTERIOR FINISHES CLASSIFICATION NOTE

WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 PER FBCR 302.9.
 INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 PER FBCR 302.10.



2 TYPICAL INTERIOR PARTITION
A-1.1 NOT TO SCALE

FIRE BLOCKING

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN THE TOP STORY AND THE ROOF SPACE.
 FIREBLOCKING TO COMPLY WITH FBC R302.11

GLAZING NOTE

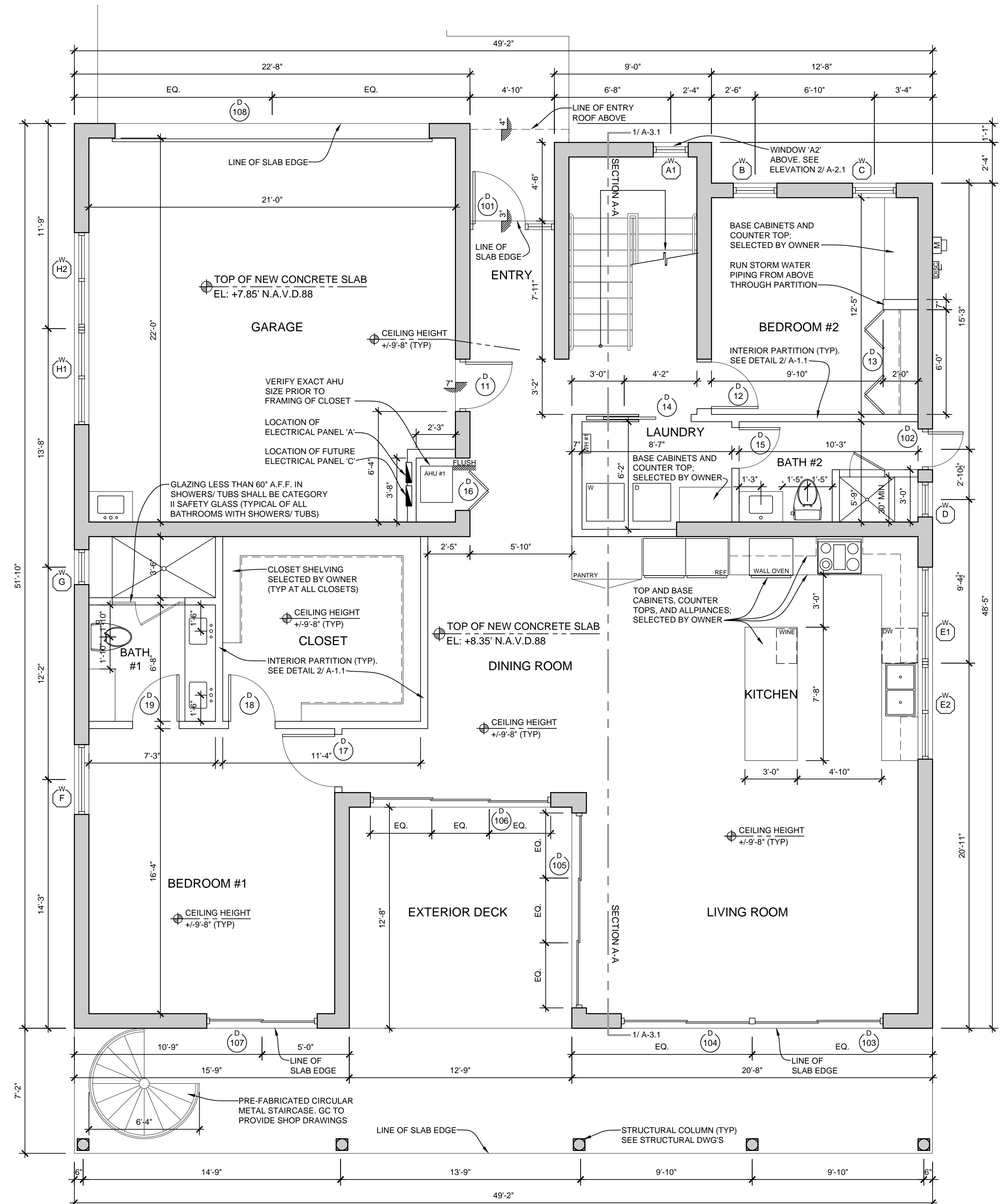
ALL GLASS UNDER 36" ABOVE FINISHED FLOOR SHALL BE TEMPERED SAFETY GLASS.
 SHOWER ACCESS TO BE 22" MINIMUM CLEAR WIDTH PER FBC P2708.1.
 SHOWER DOOR AND MIRRORS TO BE SAFETY GLASS CATEGORY II TO COMPLY WITH FBC R308.4

WALL LEGEND

- NEW 8" EXTERIOR CMU WALL WITH EXTERIOR STUCCO, INTERIOR FURRING AND DRYWALL (SEE DETAIL 2/ A-1.1)
- NEW INTERIOR NON-BEARING PARTITION (SEE DETAIL 2/ A-1.1)

DIMENSION NOTE

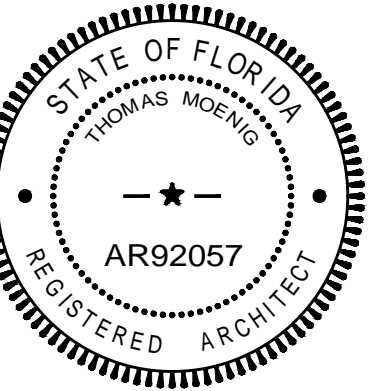
ALL INTERIOR DIMENSIONS SHOWN IN THESE PLANS ARE CLEAR DIMENSIONS FROM FINISHED WALL TO FINISHED WALL. GC TO COORDINATE WALL FINISHES WITH OWNER TO ENSURE COMPLIANCE WITH DESIRED DIMENSIONS



PROVIDE FIRE BLOCKING IN WALLS EVERY 8'-0"

1 FIRST FLOOR PLAN
A-1.1 1/4" = 1'-0"

WALL DIMENSION NOTE
 ALL INTERIOR PARTITIONS IN THESE PLANS ARE 5" NOMINAL THICKNESS (U.N.O.)
 ALL EXTERIOR WALLS IN THESE PLANS ARE 10" NOMINAL THICKNESS (U.N.O.)



THOMAS MOENIG AR92057 PERMIT SET

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- REVISIONS**
- 1
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NEW CONSTRUCTION
 SINGLE-FAMILY RESIDENCE
 2536 WHALE HARBOR LANE
 FORT LAUDERDALE, FL 33312



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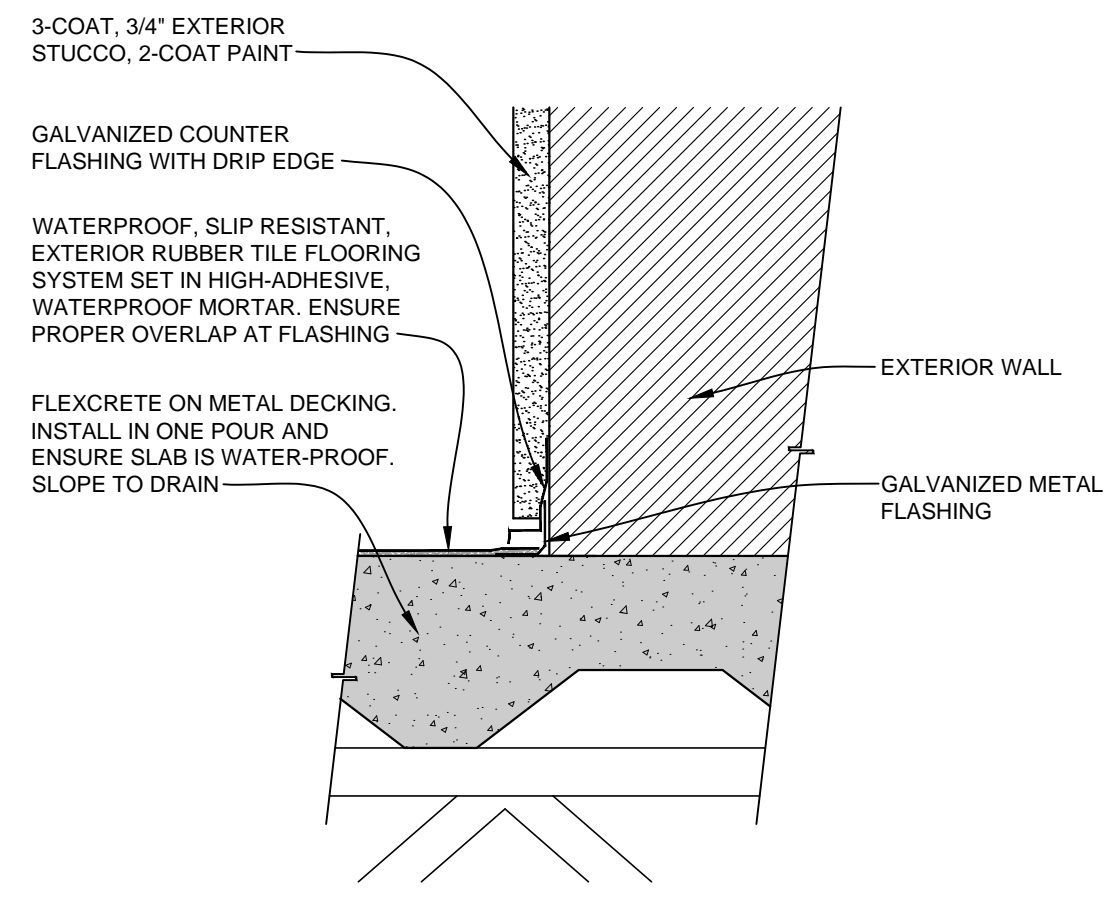
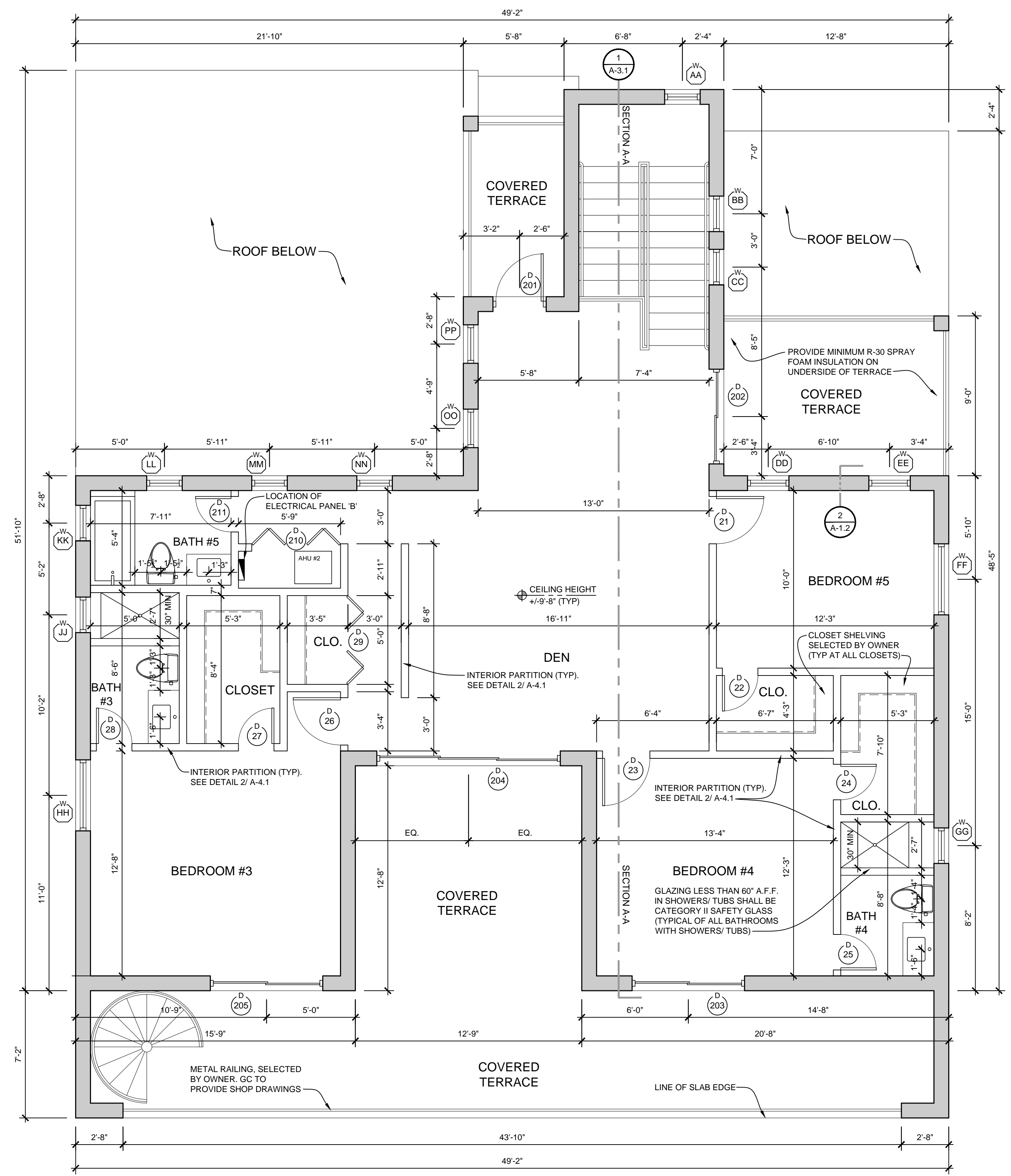
SHEET

A-1.2

FIRST FLOOR INTERIOR DOOR SCHEDULE							
MARK	SIZE	MATERIAL	FRAME	FINISH	TYPE	LOCATION	REMARKS
D11	3'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	GARAGE	20 MIN FIRE-RATED WITH INTEGRAL CLOSER
D12	2'-8" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #2	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D13	(2) 3'-0" X 8'-0"	WOOD	---	PAINT	BI-FOLD WOOD DOOR	BEDROOM #2 CLOSET	LOUVERED DOOR
D14	3'-0" X 8'-0"	WOOD	---	PAINT	POCKET DOOR	LAUNDRY	
D15	2'-4" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD	BATHROOM #2	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D16	3'-0" X 8'-0"	WOOD	---	PAINT	FOLDING DOOR	A/C CLOSET	LOUVERED DOOR
D17	3'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #1	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D18	2'-8" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #1 CLOSET	
D19	2'-8" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BATHROOM #1	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER

SECOND FLOOR INTERIOR DOOR SCHEDULE							
MARK	SIZE	MATERIAL	FRAME	FINISH	TYPE	LOCATION	REMARKS
D21	2'-8" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #5	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D22	2'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #5 CLOSET	
D23	2'-8" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #4	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D24	2'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #4 CLOSET	
D25	2'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BATHROOM #4	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D26	2'-8" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #3	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D27	2'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BEDROOM #3 CLOSET	
D28	2'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BATHROOM #3	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER
D29	(2) 2'-6" X 8'-0"	WOOD	---	PAINT	BI-FOLD WOOD DOOR	HALLWAY CLOSET	LOUVERED DOOR
D210	(2) 2'-6" X 8'-0"	WOOD	---	PAINT	BI-FOLD WOOD DOOR	A/C CLOSET	LOUVERED DOOR
D211	2'-0" X 8'-0"	SOLID CORE WOOD	INTEGRAL	PAINT	PRE-HUNG WOOD DOOR	BATHROOM #5	PROVIDE PRIVACY LOCKSET, DOOR AND HARDWARE SELECTED BY OWNER

DIMENSION NOTE
 ALL INTERIOR DIMENSIONS SHOWN IN THESE PLANS ARE CLEAR DIMENSIONS FROM FINISHED WALL TO FINISHED WALL. GC TO COORDINATE WALL FINISHES WITH OWNER TO ENSURE COMPLIANCE WITH DESIRED DIMENSIONS

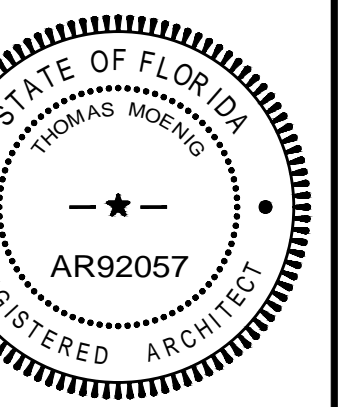


2 TERRACE FLOOR DETAIL
 NOT TO SCALE

PROVIDE FIRE BLOCKING IN WALLS EVERY 8'-0"

1 SECOND FLOOR PLAN
 A-1.2 1/4" = 1'-0"

WALL DIMENSION NOTE
 ALL INTERIOR PARTITIONS IN THESE PLANS ARE 5" NOMINAL THICKNESS (U.N.O.)
 ALL EXTERIOR WALLS IN THESE PLANS ARE 10" NOMINAL THICKNESS (U.N.O.)



THOMAS MOENIG
AR92057

PERMIT
SET

THIS DRAWING SHALL NOT BE VALID FOR CONSTRUCTION UNLESS IT CONTAINS AN ORIGINAL SIGNATURE BY THE ARCHITECT OF RECORD AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED

REVISIONS

- 1
- 2
- 3
- 4

NEW CONSTRUCTION
SINGLE-FAMILY RESIDENCE
2536 WHALE HARBOR LANE
FORT LAUDERDALE, FL 33312

DRAWING SCALES INDICATED ON THESE PLANS ARE INTENDED FOR 24" X 36" PLOTS ONLY

DRAWN BY T M CHECKED BY T M

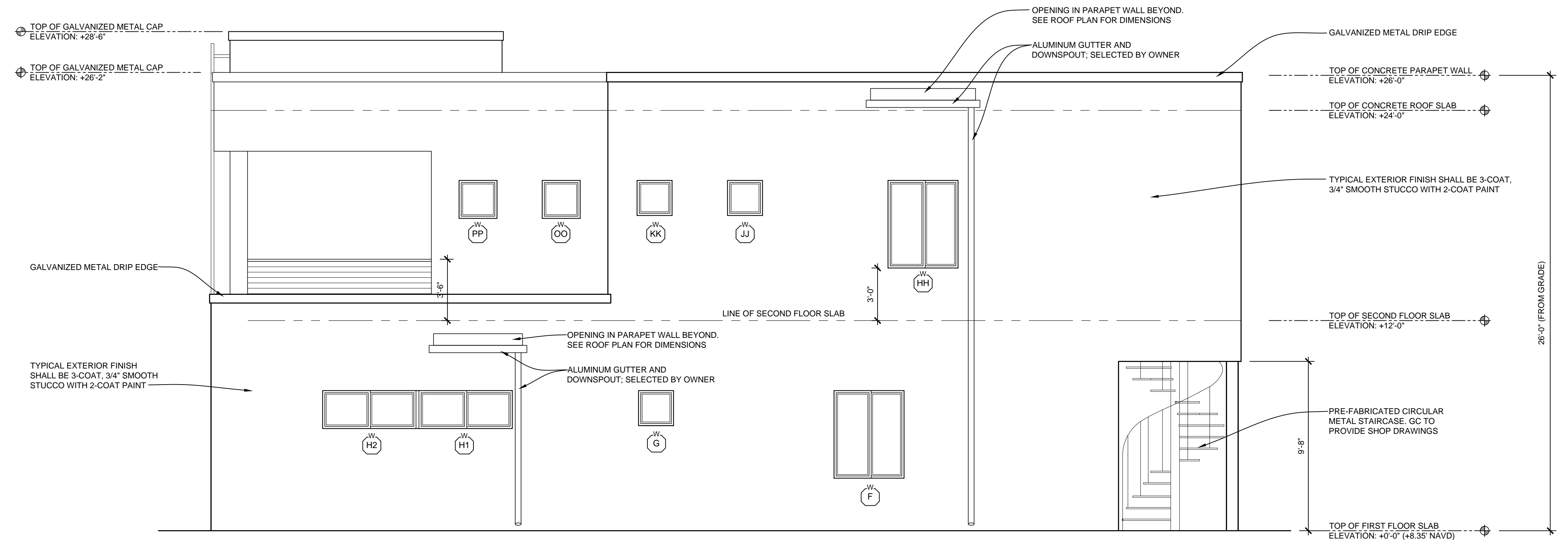
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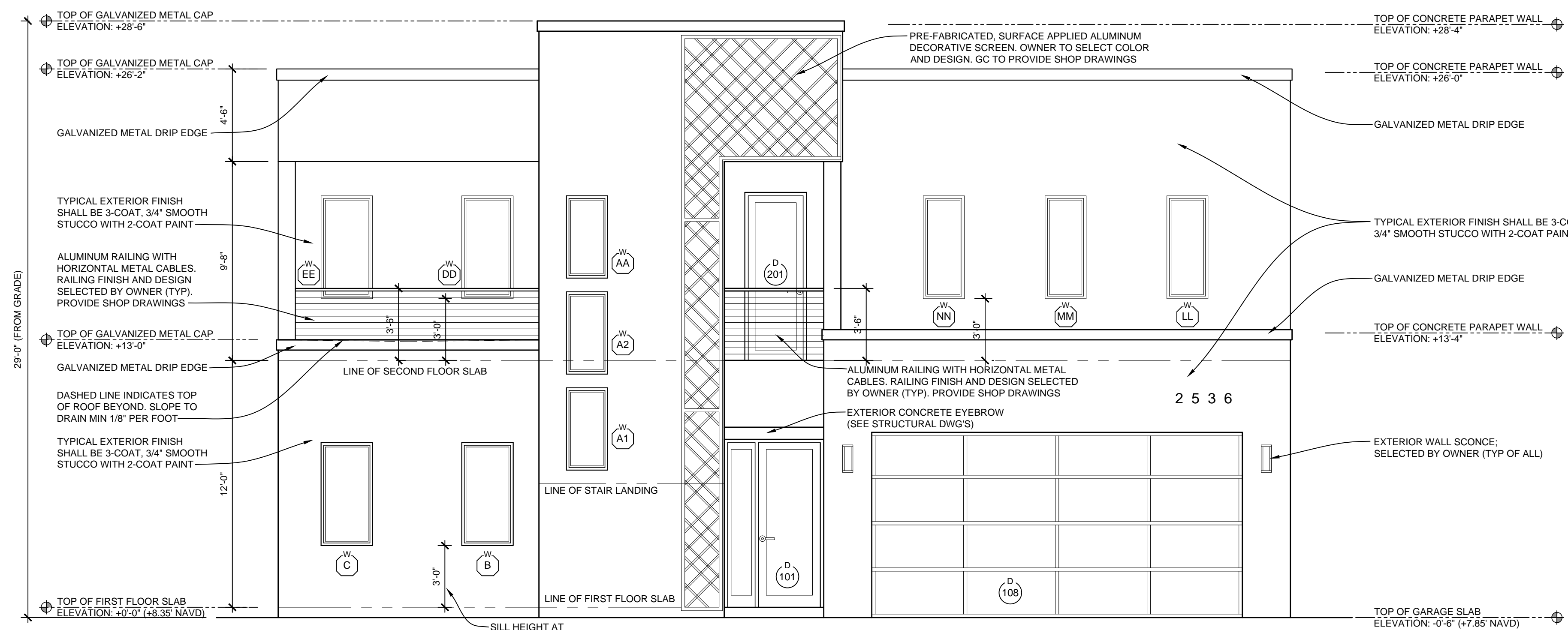
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SHEET

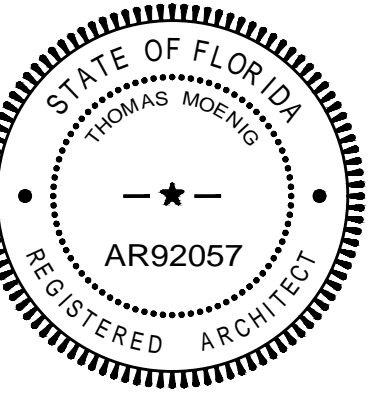
A-2.1



1 SOUTH ELEVATION
A-2.1 1/4" = 1'-0"



2 WEST ELEVATION
A-2.1 1/4" = 1'-0"



PERMIT SET

THIS DRAWING SHALL NOT BE VALID FOR CONSTRUCTION UNLESS IT CONTAINS AN ORIGINAL SIGNATURE BY THE ARCHITECT OF RECORD AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED

REVISIONS

- 1
- 2
- 3
- 4

NEW CONSTRUCTION
SINGLE-FAMILY RESIDENCE
 2536 WHALE HARBOR LANE
 FORT LAUDERDALE, FL 33312

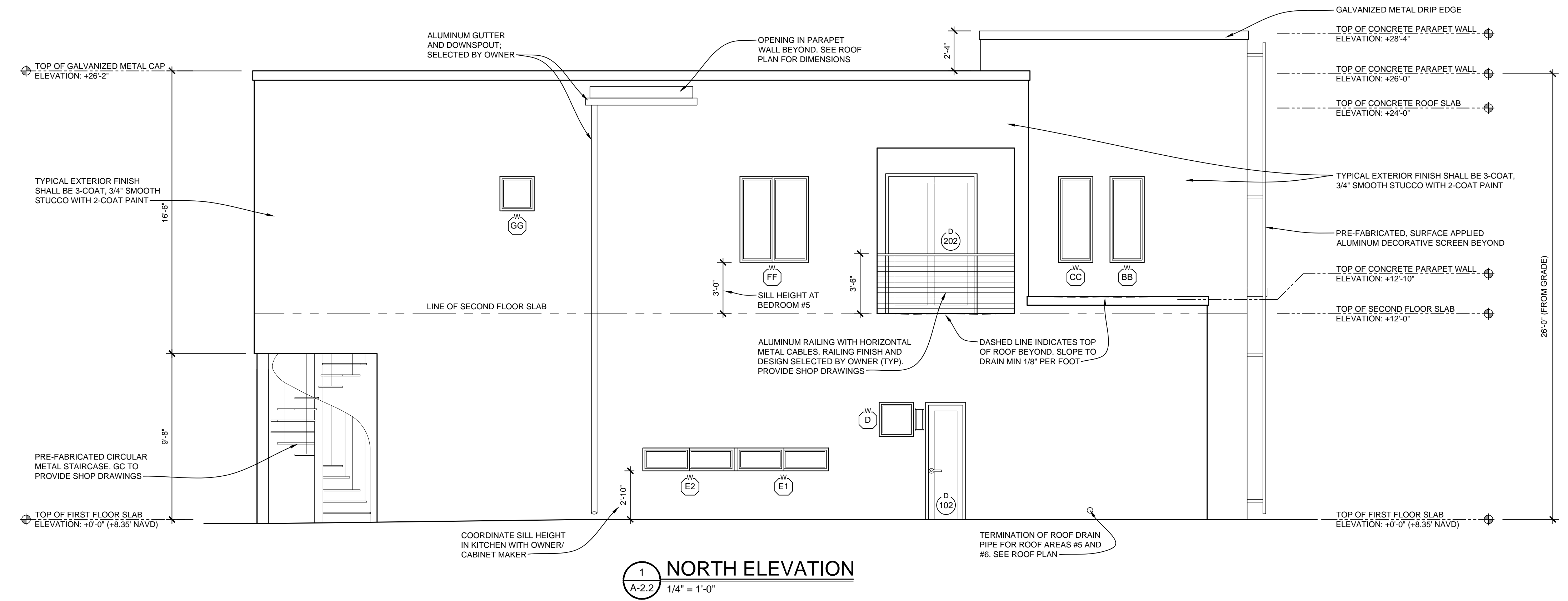
DRAWING SCALES INDICATED ON THESE PLANS ARE INTENDED FOR 24" X 36" PLOTS ONLY

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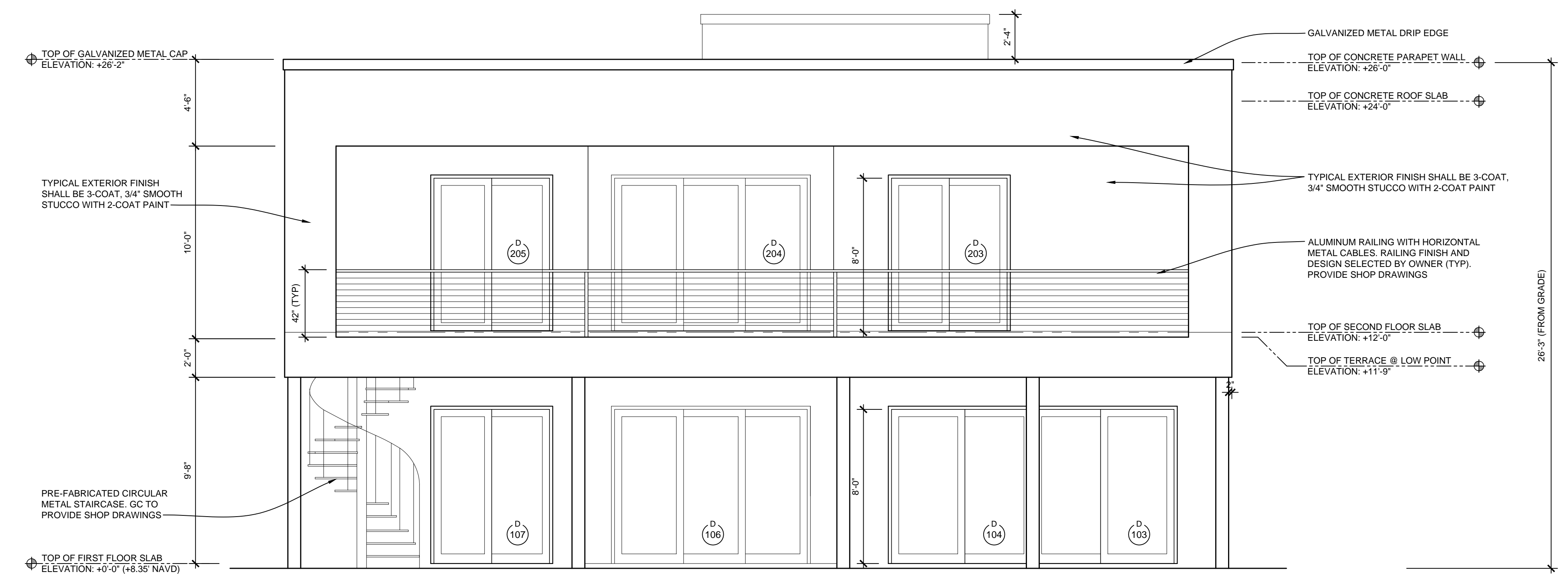
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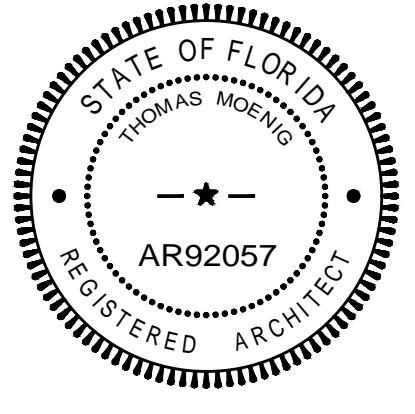
SHEET **A-2.2**



1 NORTH ELEVATION
 A-2.2 1/4" = 1'-0"



2 EAST ELEVATION
 A-2.2 1/4" = 1'-0"



PERMIT SET

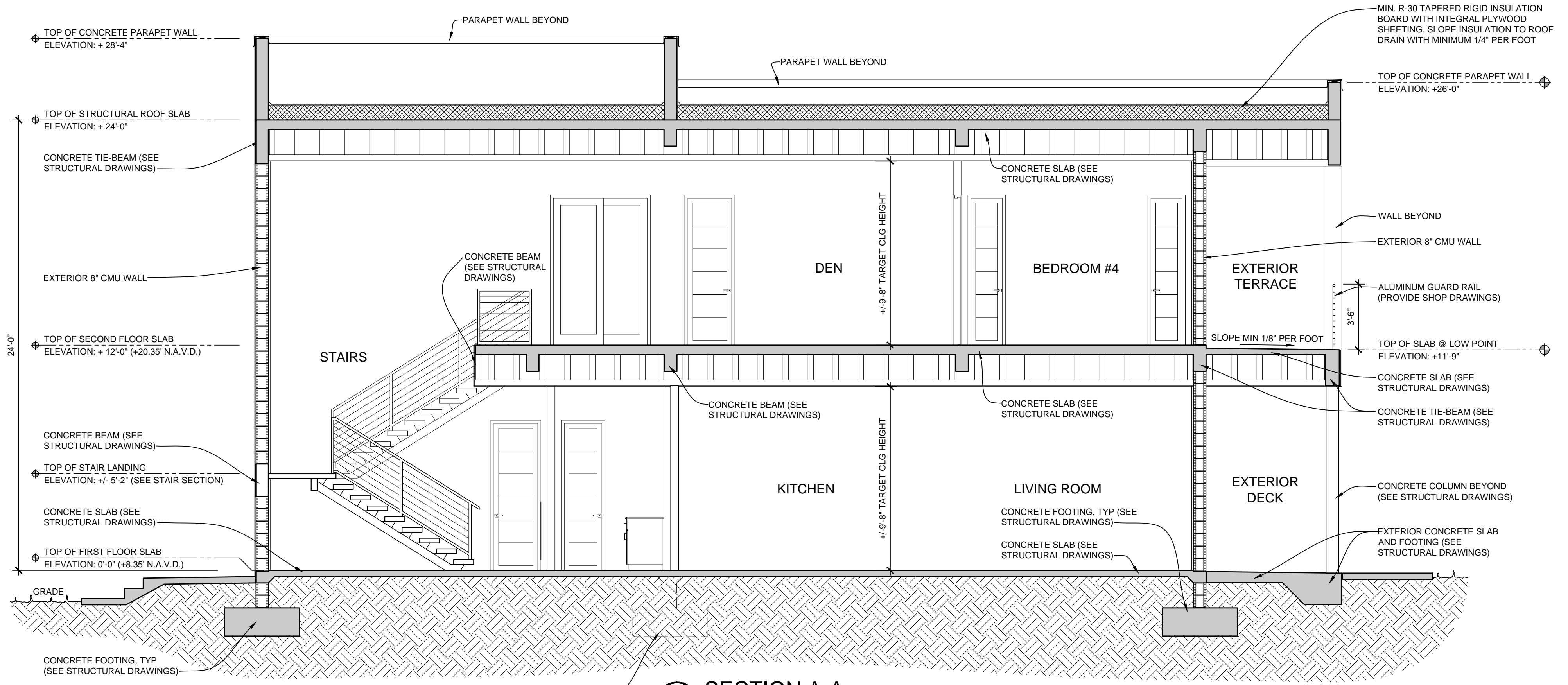
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REVISIONS

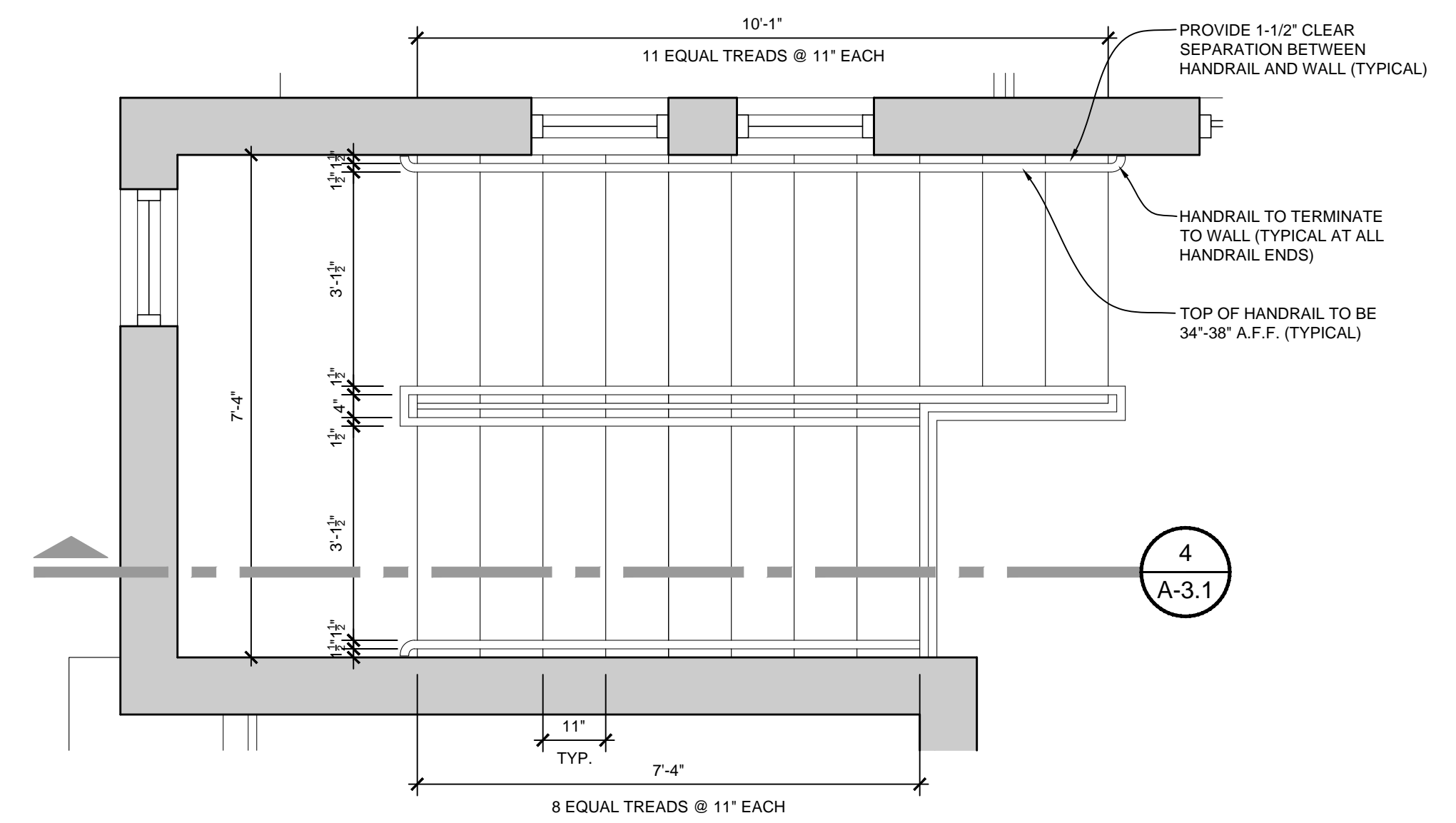
- 1
- 2
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NEW CONSTRUCTION
SINGLE-FAMILY RESIDENCE
 2536 WHALE HARBOR LANE
 FORT LAUDERDALE, FL 33312

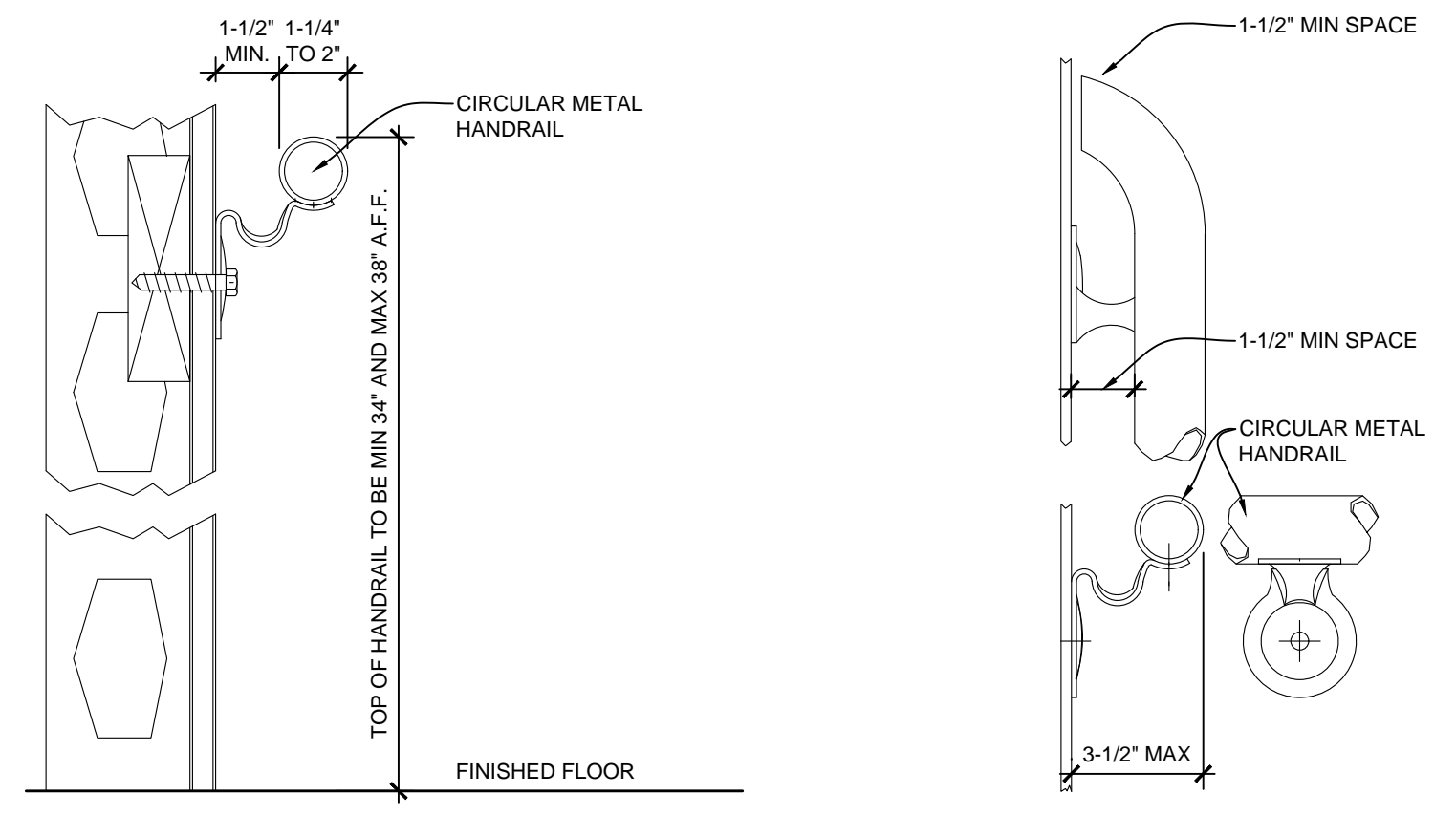
DRAWING SCALES INDICATED ON THESE PLANS ARE INTENDED FOR 24" X 36" PLOTS ONLY	
DRAWN BY T M	CHECKED BY T M
DATE 04-07-2022	
TMA PROJECT NUMBER 342101	



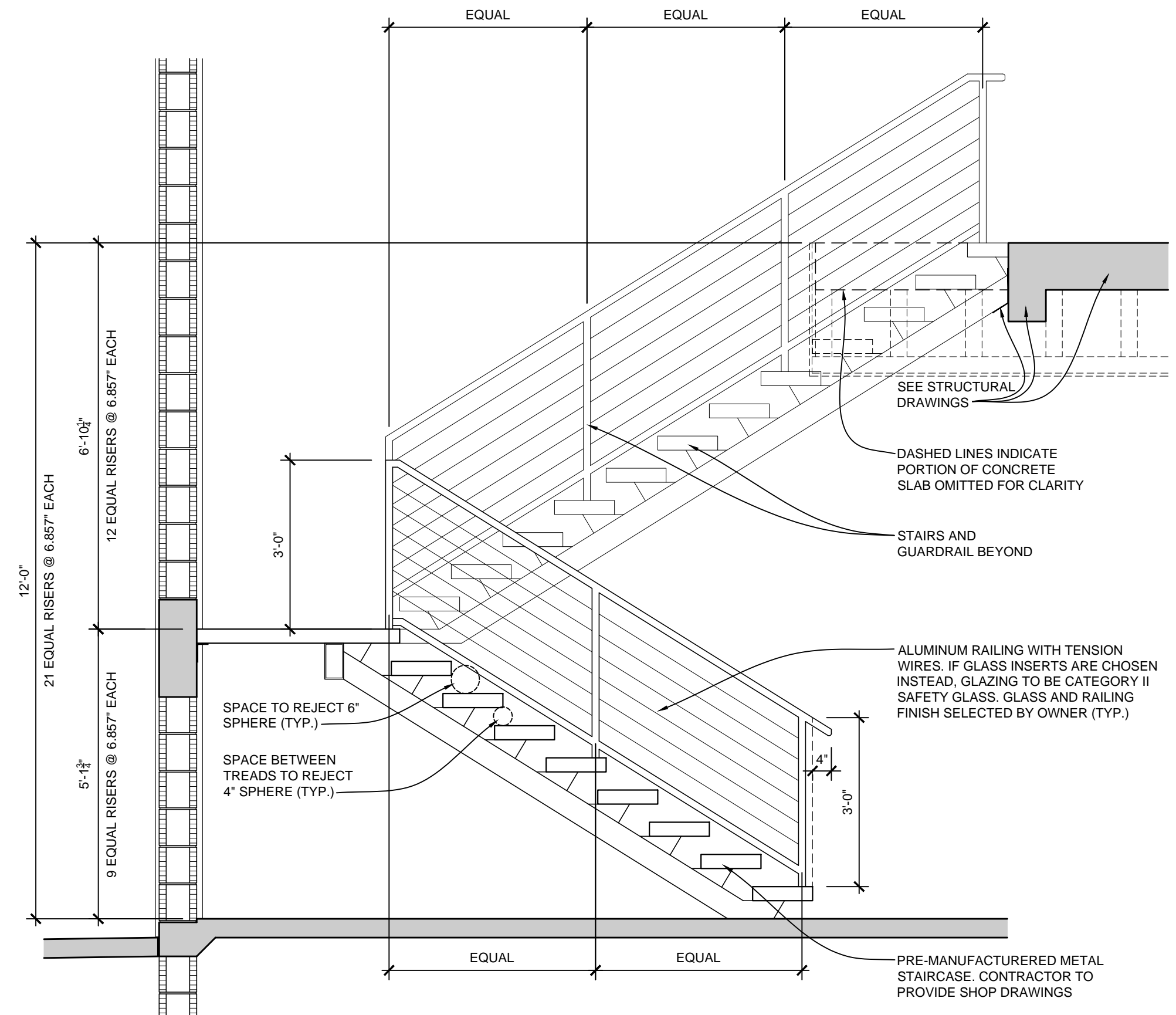
1 SECTION A-A
 A-3.1 1/4" = 1'-0"



2 STAIR PLAN
 A-3.1 1/2" = 1'-0"

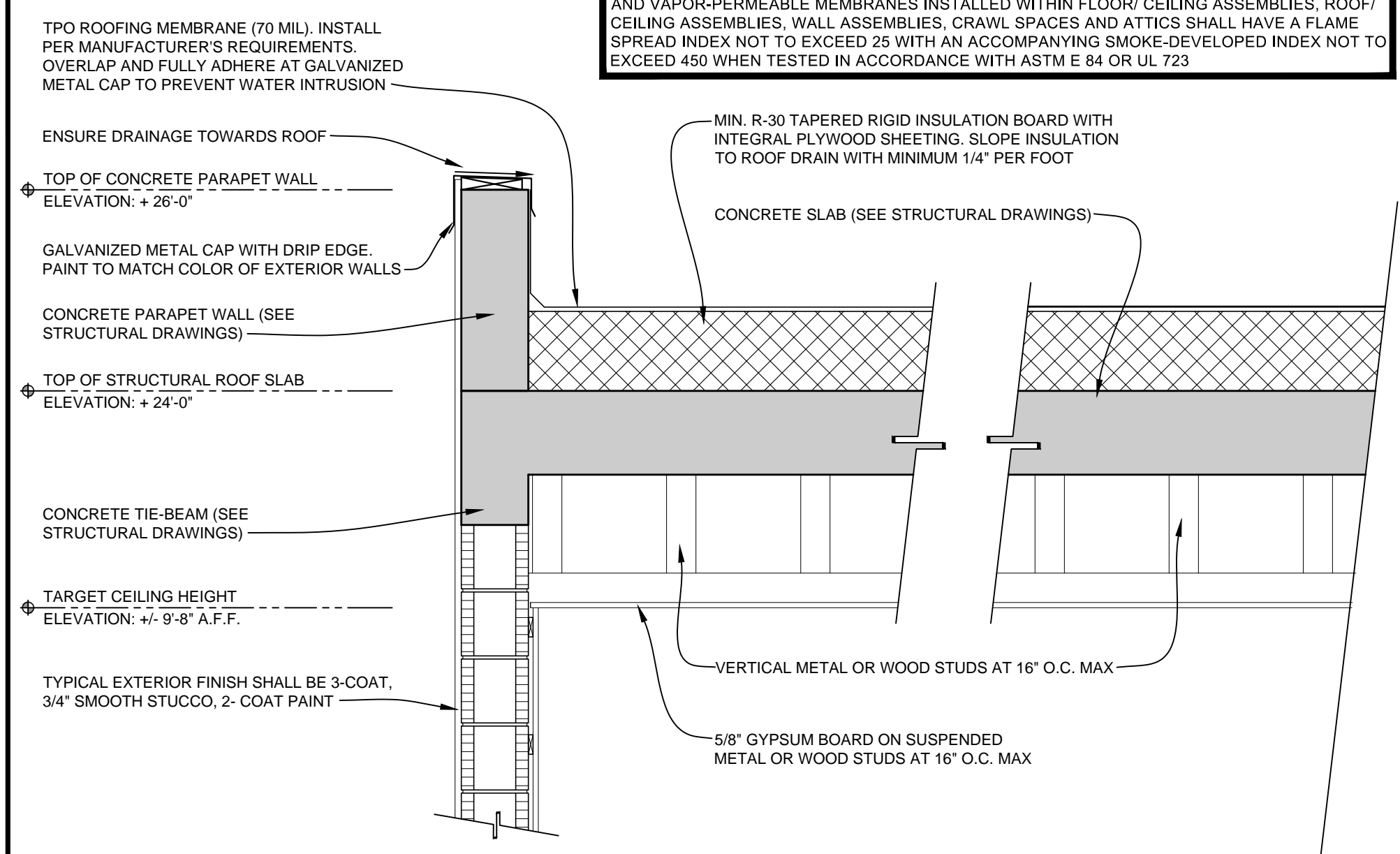


3 HAND RAIL DETAILS
 A-3.1 1/2" = 1'-0"



4 STAIR SECTION
 A-3.1 1/2" = 1'-0"

INSULATION NOTE
 PER FBC R302.10.1, INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR/ CEILING ASSEMBLIES, ROOF/ CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723



5 TYPICAL WALL SECTION
 A-3.1 SCALE: 3/4" = 1'-0"