



CITY OF FORT LAUDERDALE

DRAFT
MEETING MINUTES
CITY OF FORT LAUDERDALE
MARINE ADVISORY BOARD
THURSDAY, JUNE 3, 2022 – 6:00 P.M.

Cumulative Attendance
January-December 2022

Ted Morley, Chair	P	4	1
Steve Witten, Vice Chair	P	4	1
Robyn Chiarelli	P	3	2
Bob Denison	P	3	2
Barry Flanigan	P	5	0
Robert Franks	P	2	0
James Harrison	P	5	0
Kitty McGowan	A	2	3
Norbert McLaughlin	P	4	1
Noelle Norvell	P	4	1

As of this date, there are 10 appointed members to the Board, which means 6 would constitute a quorum.

Staff

Andrew Cuba, Marine Facilities Manager
Sergeant Travis O’Neil, Fort Lauderdale Police Department
Carla Blair, Recording Secretary, Prototype, Inc.

Communications to City Commission

None.

I. Call to Order / Roll Call

The meeting was called to order at 6:00 p.m. and roll was taken.

II. Approval of Minutes – April 7, 2022 & May 5, 2022

Chair Morley explained that the April 7, 2022 minutes had required an attendance correction, which was why they were presented again for Board approval.

Motion made by Mr. Denison, seconded by Vice Chair Witten, to approve the April 7 meeting minutes. In a voice vote, the **motion** passed unanimously.

Motion made by Chair Morley, seconded by Mr. McLaughlin, to approve the May 5 meeting minutes. In a voice vote, the **motion** passed unanimously.

III. Statement of Quorum

It was noted that a quorum was present at the meeting.

IV. Waterway Crime & Boating Safety Report

Sergeant Travis O'Neil of the Fort Lauderdale Police Department's Marine Unit reported the following activity from May 2022:

- 88 waterway calls for service
- 70 citations
- 2 accidents
- 1 burglary
- 1 incident resulting in arrest

Chair Morley asked if the Marine Unit was involved in the sinking of a vessel in front of the Yacht Club. Sgt. O'Neil replied that the Marine Unit facilitated retrieval and disposal of the vessel.

V. Dock Permit – 909 Cordova Road / David & Jessie Cunningham

David Cunningham, Applicant, stated that the request was for approval of a new dock at his property.

Chair Morley observed that the drawings accompanying the Application showed a marginal dock and a perpendicular floating dock. He noted that the City requires 5 ft. setbacks, and asked if the 36 ft. vessel Mr. Cunningham planned to dock on his property would fit within that setback. Mr. Cunningham replied that the nose of the boat will extend over the floating dock in order to remain within the extension limit into the waterway.

Chair Morley continued that the drawings show the offshore mooring piles at 13 ft., and the vessel to be docked on the property has a 13.2 ft. beam. Mr. Cunningham advised that the pilings will be at 16 ft., which would leave some room on either side of the boat.

There being no questions from the Board at this time, Chair Morley opened the public hearing. As there were no individuals wishing to speak on the Item, the Chair closed the public hearing and brought the discussion back to the Board.

Motion made by Vice Chair Witten, seconded by Mr. Flanigan, to approve. In a voice vote, the **motion** passed unanimously.

VI. Dock Permit – 1009 Cordova Road / Robert & Jena Atlass

Chair Morley noted that the Applicants for this Item were not present at the meeting. Mr. Cuba stated that there is already a dock at the recently purchased property, and the Applicants wish to obtain a permit in their own name.

Chair Morley recalled that the Board heard this permit request through the former owner several months ago. It was approved by the Board and the City Commission. The Applicants request no changes to the dock.

There being no questions from the Board at this time, Chair Morley opened the public hearing. As there were no individuals wishing to speak on the Item, the Chair closed the public hearing and brought the discussion back to the Board.

Motion made by Mr. Flanigan, seconded by Mr. Denison, to approve. In a voice vote, the **motion** passed unanimously.

VII. Dock Permit – 811 Cordova Road / Steven & Dana Marin

Steven Marin, Applicant, stated that he was willing to answer any questions from the Board regarding the Application.

Chair Morley commented that Section 8.144 of the City's permit process for dock permits requires that only vessels owned by the permit holder may be docked at the subject property. This means the City may require proof that he owns a vessel. Mr. Marin replied that he is in the process of looking for a boat to purchase. He estimated this will be a 33 ft. to 35 ft. outboard.

There being no questions from the Board at this time, Chair Morley opened the public hearing. As there were no individuals wishing to speak on the Item, the Chair closed the public hearing and brought the discussion back to the Board.

Motion made by Mr. Franks, seconded by Mr. McLaughlin, to approve. In a voice vote, the **motion** passed unanimously.

VIII. Old / New Business

Mr. Franks reported a recent incident in which the City's train bridge remained in the down position for approximately one hour as four trains passed, which resulted in several boats waiting on both sides of the bridge. He emphasized the need to open the bridge more frequently to allow for the passage of marine traffic on the waterway.

Chair Morley recalled that the Marine Industries Association of South Florida (MIASF) has a camera trained on the bridge to track its frequency of operation. He confirmed that current conditions can be frustrating, and all parties are seeking a better solution, although there have been no changes over the past couple of years. He encouraged all

captains to continue reporting incidents such as the one Mr. Franks had described, as these may be violations of the bridge owner's agreement with the U.S. Coast Guard.

Mr. Flanigan commented that at the previous two meetings, the Board had discussed concerns regarding a permit application to the U.S. Army Corps of Engineers for a dock on a pedestrian walkway in front of the SALT7 restaurant. He added that a City Commissioner has offered to inquire further into this matter on behalf of the Board, and asked if there are any further steps the Board can take at this time. A number of letters have been written regarding the application from both marine interests and nearby condominium residents.

Chair Morley advised that the City Commission plans to discuss dockage at the Ikon property at its June 7, 2022 Commission Agenda meeting, beginning at 1:30 p.m. He planned to attend this meeting to share the Board's concerns, and encouraged other members to attend as well. He acknowledged that the Board has limited input to the Army Corps of Engineers in this matter.

Mr. McLaughlin recalled that when train bridge activity was discussed several months ago at a meeting, it was noted that the U.S. Coast Guard was fining the owner of the bridge for violations of their time schedule. He asked if it is known whether or not the owner has paid any of these fines, and what entity oversees the payment of fines. Mr. Cuba replied that this is likely the Coast Guard, noting that a hotline was established to report violations to that body. He offered to contact MIA SF for more information, which would be distributed to the Board members.

Hardy Anderson, member of the public, advised that he is the president of Peterson Fuel. He reported that he has met with representatives of MIA SF as well as of the FEC railway, as the raising and lowering of the train bridge affects his business. The fine for a bridge violation is \$15,000 per incident, but collection of these fines has been tied up in litigation and nothing has been paid thus far. He stated that Peterson Fuel has contacted the Coast Guard multiple times to report violations.

Mr. Anderson also addressed a separate issue, explaining that he owns a property at which one of his gas barges is docked. He explained that the City recently cited him for a Code violation for keeping a commercial vessel behind a private property in a residential area. He did not believe this vessel should fall under the category of commercial watercraft, and requested feedback from the Board on this law.

Mr. Cuba asked if Mr. Anderson has an appointment with the Special Magistrate regarding the citation. Mr. Anderson confirmed this. Mr. Cuba advised that the determination will be made by the Special Magistrate, as zoning is not within the Board's purview.

Chair Morley also recommended that Mr. Anderson address this issue further with the Special Magistrate. Mr. Anderson added that he has also reached out to the City Commission and plans to address them about this issue in June.

Chair Morley asked if the Board may send letters or otherwise communicate regarding a Special Magistrate hearing. Mr. Cuba replied that while the Board may make any communication on any topic, the concern in this case is one of zoning, which is beyond their purview. Chair Morley concluded that he would like to hear about the outcome of the upcoming Special Magistrate hearing, as waterway access for commercial operators is of vital importance. He suggested that members may wish to reach out individually to their City Commissioners and communicate these concerns.

IX. Adjournment

There being no further business to come before the Board at this time, the meeting was adjourned at 6:37 p.m.

Any written public comments made 48 hours prior to the meeting regarding items discussed during the proceedings have been attached hereto.

[Minutes prepared by K. McGuire, Prototype, Inc.]

ITEM VI

MEMORANDUM MF NO. 22-13

DATE: June 23, 2022

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: July 7, 2022 MAB Meeting – Application for Dock Permit – 1550 Ponce de Leon LLC – Glenn Wright, Mgr. / 601 Cordova Road

Attached for your review is an application from 1550 Ponce de Leon - Glenn Wright, Mgr. / 601 Cordova Road (see **Exhibit 1**).

APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the installation of a 40' long x 8' wide marginal dock , and associated access stairs extending a maximum distance of 8' from the wet face of the seawall on public property abutting the waterway adjacent to 607 Cordova Road. City Code Section 8-144 (**Exhibit 1**) authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.

Marine Advisory Board

July 7, 2022

Page 2

4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.
5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock of attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation
Jonathan Luscomb, Marine Facilities Supervisor

1550 PONCE de LEON LLC
601 Cordova Road
Fort Lauderdale, FL 33315

Glenn Wright, Manager

TABLE OF CONTENTS

	Page Number
A. Application Form.....	3
B. Summary Descriptive/Narrative.....	4
C. Warranty Deed and BCPA Ownership Page.....	5
D. Property Survey of Upland Parcel.....	10
E. Color Photos of the Dock Area.....	11
F. Applicant Vessel Information.....	13
G. Plans for the Dock.....	14
H. Landscaping Plan.....	20
I. EXHIBIT A – Dock Area and Public Swale Area.....	21
J. Aerial View of Property.....	22

**CITY OF FORT LAUDERDALE
MARINE FACILITIES
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES**

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

APPLICATION FORM
(Must be in Typewritten Form Only)

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: 1550 Ponce de Leon LLC - Glenn Wright, Manager

TELEPHONE NO: 954-867-4481 EMAIL: AL@HSFCONSTRUCTION.COM

2. APPLICANT'S ADDRESS (if different than the site address):
1975 E. Sunrise Blvd., #607
Fort Lauderdale, FL 33301

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST: Dock Permit

4. SITE ADDRESS: 601 CORDOVA ROAD ZONING: Residential

LEGAL DESCRIPTION AND FOLIO NUMBER: 504211183542

RIO VISTA ISLES UNIT 3 7-47B PORTION LOTS 22,23,33 & 34 BLK 30 & RIVER SHORES 15-61 B PORTRACT 3 & 4, DESC AS COMM AT SW COR LOT 21,NE 58.52,NW 114.53,NE 124.21 TO POB,CONT NE 102.90,SE 85,SW 102.27,NW 85 TO POB

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).

See Table of Contents



Applicant's Signature

6-24-22

Date

The sum of \$ 1500 was paid by the above-named applicant on the _____ of June,
2022 Received by: _____

City of Fort Lauderdale

=====For Official City Use Only=====

Marine Advisory Board Action
Formal Action taken on _____

Commission Action
Formal Action taken on _____

Recommendation _____
Action _____

SUMMARY DESCRIPTION/NARRATIVE

Marine Advisory Board,

I recently purchased the property at 601 Cordova Road. I am currently working on getting a permit through the city. Prior to the issuance of the permit, they require approval from the Board. No construction on started for the dock at this time. I will be using the exact plans that have been submitted and are requesting a permit by your Board. I will be building a new residence on the subject property and intend to dock a boat at the subject dock at a future date. The dock will be 40' long x 8' wide and will meet all applicable guidelines. I will update the Board when I do get a boat with all pertinent information.

Respectfully,

Glenn Wright
Manager



Return to:

This Instrument Prepared by :

Name: Michael S. Ross, Esquire
Greenspoon Marder LLP
200 East Broward Blvd., Suite 1800
Fort Lauderdale, Florida 33301

Property Appraisers Parcel I.D. (Folio) Numbers(s):

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made the 12TH day of January, 2022 from SIPC, LLC, a Florida limited liability company ("Grantor"), whose post office address is 1975 E. Sunrise Blvd., Fort Lauderdale, FL 33315, to 1550 PONCE DE LEON DRIVE LLC, a Florida limited liability company ("Grantee"), whose post office address is 1975 E. Sunrise Blvd., 607, Fort Lauderdale, FL 3331, hereinafter called the grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the Grantor, for and in consideration of the sum of Ten and 00/100 Dollars (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Broward County, Florida, viz:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATION HEREIN BY REFERENCE;

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to (a) taxes for the year 2021, and (b) easements, rights of way, limitations, reservations, covenants, and restrictions of record, without the intention to re-impose the same.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that it is lawfully seised of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

[SIGNATURE ON NEXT PAGE]

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

[Handwritten signature]

Witness Signature No. 1
Print Name: ~~MARCUS BUELOSSE~~

Witness Signature No. 2
Print Name: ~~HECTOR HIGUERO~~

SIPC, LLC,
a Florida limited liability company

By: *[Handwritten signature]*
Glenn Wright, as Manager
("Grantor")

STATE OF FLORIDA)
COUNTY OF _____)SS:

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, the foregoing instrument was sworn and subscribed before me by means of physical presence or online notarization, by Glenn Wright, as Manager of SIPC, LLC, a Florida limited liability company, who is personally known to me or who has produced _____ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 12TH day of January, 2022.

[Handwritten signature]
Notary Public

Albert J Reich Jr
Typed, printed or stamped name of Notary Public

My Commission Expires:

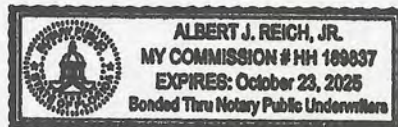


EXHIBIT "A"

Legal Description

A PARCEL BEING A PORTION OF LOTS 22 AND 23 AND 33 AND 34 OF BLOCK 30 OF THE PLAT OF RIO VISTA ISLES UNIT 3 ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7 PAGE 47 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND A PORTION OF TRACTS 3 AND 4 OF RIVER SHORES ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 15 PAGE 61 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

COMMENCE AT THE SOUTHWEST CORNER OF SAID LOT 21 THENCE N05 08'59"E ALONG THE WEST OF LOTS 21 AND 22 FOR A DISTANCE OF 56.52 FEET THENCE CONTINUE ALONG THE WEST LINE OF SAID LOT 22 N 28 20'12"W FOR A DISTANCE OF 22.22 FEET TO THE POINT OF BEGINNING THENCE CONTINUE N 28 20'12"W ALONG THE WEST LINE OF LOTS 22 AND 23 A DISTANCE 92.31 FEET TO THE NW CORNER OF SAID TRACT 4 THENCE N 84 36'28"E A ALONG THE NORTH LINE OF TRACTS 3 AND 4 FOR A DISTANCE OF 227.11 FEET THENCE S 04 58'16"E ALONG THE EAST LINE OF LOTS 33 AND 34 FOR A DISTANCE OF 85.00 FEET THENCE S84 36'18"W A DISTANCE OF 190.49 FEET TO THE POINT OF BEGINNING

PROPERTY SUMMARY

Tax Year: 2022
Property ID: 504211183542
Property Owner(s): 1550 PONCE DE LEON DRIVE LLC
Mailing Address: 1975 E SUNRISE BLVD #607 FORT LAUDERDALE, FL 33301
Physical Address: 601 CORDOVA ROAD FORT LAUDERDALE, 33316

Property Use: 00 - Vacant residential
Millage Code: 0312
Adj. Bldg. S.F.: 0
Bldg Under Air S.F.:
Effective Year: 0
Year Built:
Units/Beds/Baths: 0 / /

Deputy Appraiser: Residential Department
Appraisers Number: 954-357-6831
Email: realprop@bcpa.net
Zoning : null
Abbr. Legal Des.: RIO VISTA ISLES UNIT 3 7-47B
 PORTION LOTS 22,23,33 & 34 BLK 30 & RIVER
 SHORES 15-61 B PORTRACT 3 & 4, DESC AS
 COMM AT SW COR LOT 21,NE 58.52,NW
 114.53,NE 124.21 TO POB,CONT NE 102.90,SE
 85,SW 102.27,NW 85 TO POB

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2022	\$785,520	0	0	\$785,520	\$785,520	
2021	0	0	0	0	0	
2020	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$785,520	\$785,520	\$785,520	\$785,520
Portability	0	0	0	0
Assessed / SOH	\$785,520	\$785,520	\$785,520	\$785,520
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$785,520	\$785,520	\$785,520	\$785,520

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
01/12/2022	Multi Warranty Deed Disqualified Sale	\$553,800	117886395

LAND CALCULATIONS

Unit Price	Units	Type
\$90.00	8,728 SqFt	Square Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504211183650	05/22/2022	Warranty Deed	Qualified Sale	\$1,400,000	118173807	715 CORDOVA RD FORT LAUDERDALE, FL 33316
504211182150	05/13/2022	Warranty Deed	Qualified Sale	\$5,400,000	118163716	1335 PONCE DE LEON DR FORT LAUDERDALE, FL 33316
504211181890	05/05/2022	Warranty Deed	Qualified Sale	\$2,875,000	118128149	1009 CORDOVA RD FORT LAUDERDALE, FL 33316
504211183410	04/29/2022	Warranty Deed	Qualified Sale	\$3,950,000	118118091	1416 PONCE DE LEON DR FORT LAUDERDALE, FL 33316
504211183050	04/27/2022	Warranty Deed	Qualified Sale	\$2,400,000	118141629	1104 S RIO VISTA BLVD FORT LAUDERDALE, FL 33316

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						(F3)		
Vacant Lots (L)								
1						8,728.00		

SCHOOL

Harbordale Elementary: A
 Sunrise Middle: B
 Fort Lauderdale High: A

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	4	Lamar P. Fisher	22	Ted Deutch
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
93	Chip LaMarca	34	Gary M. Farmer, Jr.	Sarah Leonardi



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
1550 PONCE DE LEON DRIVE LLC

Filing Information

Document Number	L21000527203
FEI/EIN Number	NONE
Date Filed	12/14/2021
Effective Date	12/14/2021
State	FL
Status	ACTIVE

Principal Address

1975 E SUNRISE BLVD
607
FORT LAUDERDALE, FL 33304

Mailing Address

1975 E SUNRISE BLVD
607
FORT LAUDERDALE, FL 33304

Registered Agent Name & Address

ROY, DAVID
4209 N. FEDERAL HWY.
POMPANO BEACH, FL 33064

Authorized Person(s) Detail

Name & Address

Title AMBR

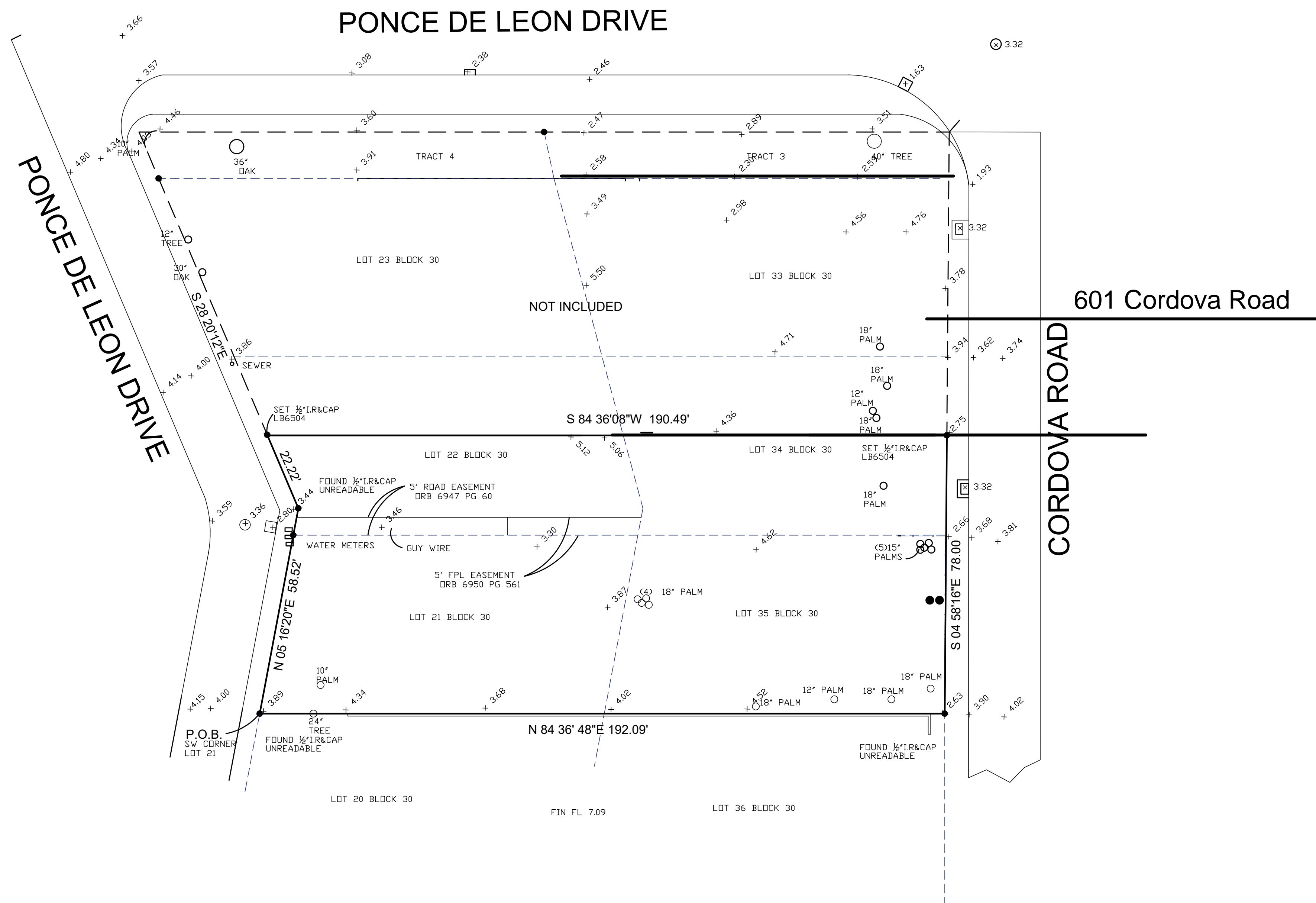
GOM VENTURES LLC
1975 E SUNRISE BLVD-SUITE 607
FORT LAUDERDALE, FL 33304

Annual Reports

No Annual Reports Filed

Document Images

[12/14/2021 -- Florida Limited Liability](#) [View image in PDF format](#)



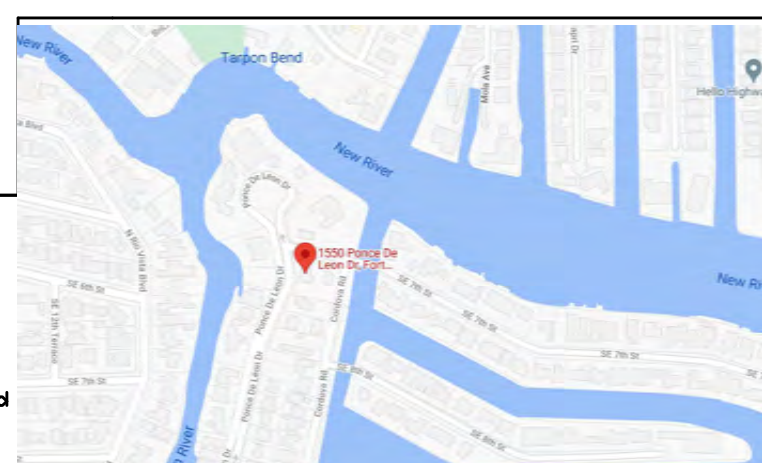
A PARCEL BEING A PORTION OF LOTS 21 AND 22 AND 34 AND 35 OF BLOCK 30 OF THE PLAT OF RID VISTA ISLES UNIT 3 ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7 PAGE 47 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 21 THENCE N85°59'E ALONG THE WEST LINE OF LOTS 21 AND 22 FOR A DISTANCE OF 58.52 FEET THENCE CONTINUE ALONG THE WEST LINE OF SAID LOT 22 N 28°20'12"W FOR A DISTANCE OF 22.22 FEET THENCE N 84°36'08"E A DISTANCE 190.49 FEET TO THE EAST LINE OF LOT 34 THENCE S04°56'16"E ALONG THE EAST LINE OF LOTS 34 AND 35 FOR A DISTANCE OF 78.00 FEET TO THE SOUTHEAST CORNER OF LOT 35 THENCE S84°36'47"W A DISTANCE OF 192.09 FEET TO THE POINT OF BEGINNING.

CONTAINS 14,558.2 SQUARE FEET

- 1) BEARINGS SHOWN HEREIN ARE ASSUMED
- 2) NO ABSTRACT OR TITLE SEARCH WAS PERFORMED TO DISCOVER THE EXISTENCE OF ANY EASEMENTS OR RESTRICTIONS OF RECORD.
- 3) ELEVATIONS SHOWN HEREIN ARE BASED ON NAVD 1988 ALL ELEVATION SHOWN HEREIN ARE RELATIVE THERETO
- 4) NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.

D.B.S. = official record book C.B.S. = concrete block structure P.C.C. = point of compound curve P.C.P. = permanent control point P.D.C. = point of commencement P.D.B. = point of beginning I/E = drainage easement C.M.P. = corrugated metal pipe R.L.S. = registered land surveyor L.B. = licensed business	F.P.L. = Florida power and light C.M. = concrete monument P.R.C. = point of reverse P.I. = point of intersection P.T. = point of tangency * = not field measured W.P.F. = wood privacy fence CHAT = chatahoochee ELEV = elevation	P.B. = plot book TYP. = typical R/W = right-of-way Δ = central angle ⊕ = bearing base line ASPH = asphalt H.S. = manhole U/E = utility easement CHAT = chatahoochee P.R.M. = permanent reference monument	P. = plot P.P. = power pole M = MEASURED I.P. = IRON PIPE R.P. = radius point L = ARC LENGTH C.L. = centerline ALUM = aluminum P.C. = point of curvature	P.C. = page I.R. = iron rod R = radius D/S = offset C.M.C. = concrete E.S.M.T. = easement CALC. = calculated
---	---	--	--	--



	801 S.E. 6th Ave., Suite 203 Delray Beach, FL 33483		Phone 1-243-4624 Fax 243-4869	CERTIFIED TO:
	AUTHORIZATION NUMBER LB6504			FLOOD ZONE: X & AE 5 MAP NO: 1201100557H MAP DATE: 8-18-2014
I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER S-17-050-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.				NOT VALID UNLESS SEALED WITH EMBOSSED SURVEYOR'S SEAL
HARRY A. BURGESS PLS 5089				DATE: 12-2-2021 JOB NO. 9-21-040 REVISED





CORDOVA RD
SE 7 ST

AREA
SPEED
LIMIT
25

← DEAD END

Andre Cuba, Marine Facilities Manager
Ft. Lauderdale Marine Advisory Board
Fort Lauderdale, FL 33301

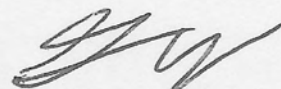
Dear Mr. Cuba,

**VESSEL INFORMATION
FOR
601 Cordova Road**

• Currently, we do not own a boat. When we do purchase a vessel, we will update the Marine Advisory Board as soon as we purchase a vessel.

Respectfully,

Glenn Wright, Manager





LOCATION MAP

Site Address CORDOVA ROAD, FORT LAUDERDALE FL 33316

Property Owner 1550 PONCE DE LEON DRIVE LLC
 Mailing Address 1975 E SUNRISE BLVD #607 FORT LAUDERDALE FL 33301

ID # 5042 11 18 3542

Abbreviated Legal Description RIO VISTA ISLES UNIT 3 7-47B PORTION LOTS 22,23,33 & 34 BLK 30 & RIVER SHORES 15-61 B POR TRACT 3 & 4, DESC AS COMM AT SW COR LOT 21, NE 58.52, NW 114.53, NE 124.21 TO POB, CONT NE 102.90, SE 85, SW 102.27, NW 85 TO POB

GENERAL NOTES

ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.

IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL AND BUILDING PERMIT ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 7TH EDITION 2020 FLORIDA BUILDING CODE.

CONCRETE

1. ALL CONCRETE (EXCEPT PRECAST PILES) SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI. AT THE END 0=28 DAYS, FOUR (4) CONCRETE CYLINDERS SHALL BE TAKEN FOR EACH 50 CUBIC YARD OR FRACTION THEREOF AND SHALL BE TESTED AT 3.7 & 28 DAYS. SLUMP SHALL NOT EXCEED 4" (±1") MAX W/C RATIO+0.40.
2. ALL REINFORCEMENT SHALL BE 60,000 PSI MINIMUM YIELD NEW BILLET STEEL IN ACCORDANCE WITH ASTM A615 GRADE 60. ALL BAR LAPS SHALL BE A MINIMUM OF 36 BAR DIAMETERS, PLACING OF REINFORCEMENT SHALL CONFORM TO THE LATEST ACI CODE AND MANUAL OF STANDARD PRACTICE.
3. ALL CONCRETE SHALL BE PLACED WITHIN 90 MINUTES FROM BATCH TIME, AND VIBRATED AS REQUIRED BY THE ACI MANUAL OF CONCRETE PRACTICE. TEMPERATURE OF CONCRETE AT TIME OF PLACEMENT SHALL BE BETWEEN 75° AND 100°F.
4. ALL CONCRETE DECK SURFACES SHALL HAVE A LIGHT BROOM FINISH.
5. ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED 3/4" OR AS SHOWN ON THE PLANS.

HARDWARE

1. ALL MISCELLANEOUS STEEL COMPONENTS, BOLTS AND HARDWARE SHALL BE TYPE 316 STAINLESS STEEL UNLESS OTHERWISE SPECIFIED ON PLANS.

PRECAST CONCRETE PILING

1. PRECAST CONCRETE DOCK PILES SHALL BE 12"x12" PILES W/5000 PSI MIN. CONCRETE 4-7/16' DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS W/24' MIN. CONCRETE COVE TO TIES DRIVEN TO A MINIMUM BEARING CAPACITY OF 25 TONS WITH 12' MINIMUM PENETRATION INTO FIRM MATERIAL BELOW SILT LAYER
2. PILES SHALL BE CUT OFF AT ELEVATIONS SHOWN ON THE PLANS @ SECTION

MISCELLANEOUS

1. FASTENERS EMBEDDED INTO CONCRETE STRUCTURES SHALL BE ANCHORED WITH TWO-PART EPOXY ADHESIVE (RAWL-CHEM-FAST CARRIDGE SYSTEM OR EQUAL). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER SIZE. HOLES SHALL BE DRILLED TO A MINIMUM DEPTH SHOWN ON THE PLANS & SHALL BE THOUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

LOADS

LL= 40 PSF DL = 10 PSF

TURBIDITY BARRIER

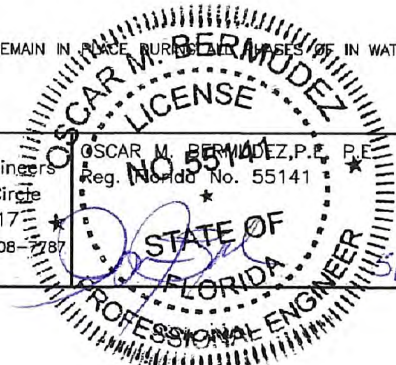
APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE THROUGHOUT PHASES OF IN WATER CONSTRUCTION.

LINDA RIFFLE
 DRAFTING & DESIGN
 772-834-1906
 LindaDraft1@att.net

JOB NAME: 1550 PONCE DE LEON DRIVE LLC
 601 CORDOVA ROAD
 FORT LAUDERDALE FL. 33316
 TITLE: NEW CONCRETE DOCK

B&B Consulting Engineers
 2237 Woods Edge Circle
 Orlando Florida 32817
 (772)-708-7785 (772)-708-7787

OSCAR M. BERMUDEZ, P.E., P.E.
 Reg. No. 55141
 Date: 04/04/2022
 REVISION: A
 05/18/2022
 DRAWING No: S-1





(5) 12" CLEATS
 (2) 1/2 S.S. WEDGE ANCHOR BOLTS
 NOTE:
 CLEATS LOCATION MY BE DETERMINED AT SITE.

(5) 8' BLACK RUBBER BUMPERS MOUNT USING (2) 3/8" S.S. WEDGE ANCHOR BOLTS
 NOTE:
 BUMPERS LOCATION MY BE DETERMINED AT SITE.

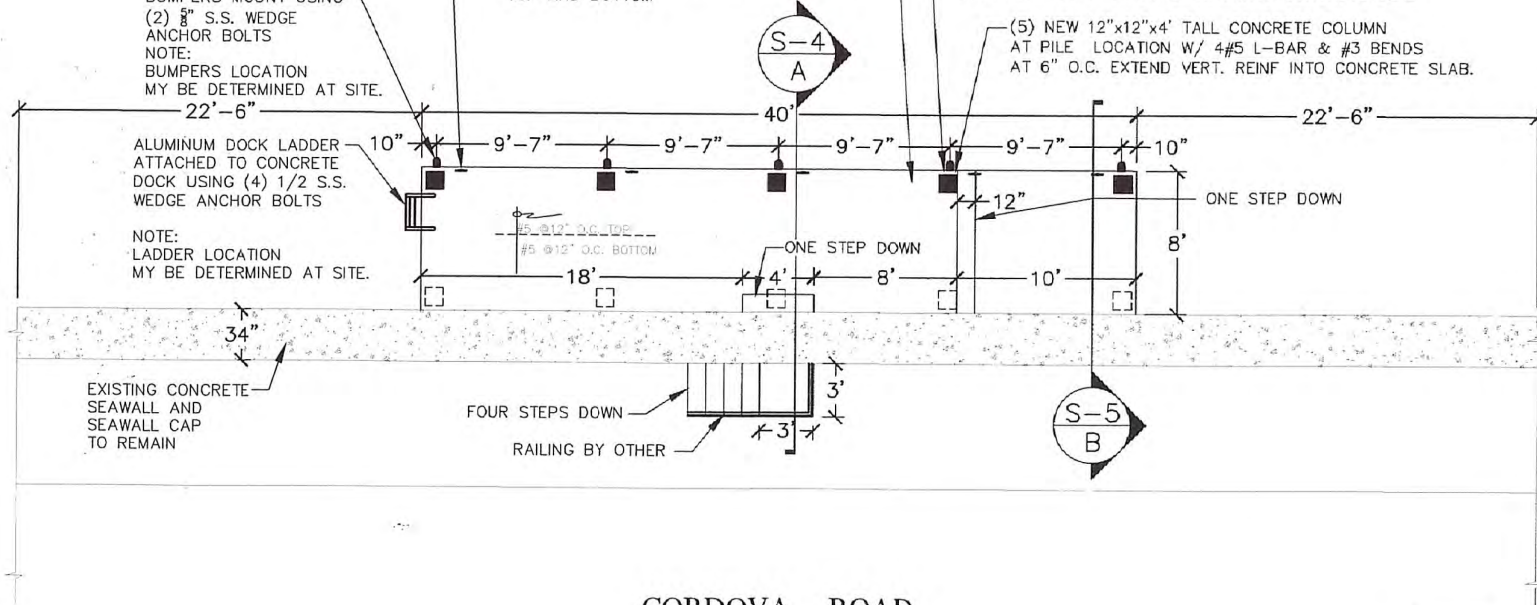
ALUMINUM DOCK LADDER ATTACHED TO CONCRETE DOCK USING (4) 1/2 S.S. WEDGE ANCHOR BOLTS

NOTE:
 LADDER LOCATION MY BE DETERMINED AT SITE.

WATERWAY
 WIDE BODY WATER ±88'
 NEW 10" THICK x 8' WIDE x 40' CONCRETE SLAB REINF. W/ #5 @ 12" O.C. TOP AND BOTTOM PRINCIPAL #4 @ 12" O.C. TRANV. TOP AND BOTTOM

(10) PRECAST 12" SQ. CONCRETE DOCK SUPPORT PILES W/ 5,000 PSI MIN. CONCRETE & 4 7/16 DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS 1" MIN. CONCRETE COVER TO TIES, W/ 2 1/2" PILES TO BE DRIVEN TO A MINIMUM PENETRATION OF 12" INTO FIRM MATERIAL OR REFUSAL. PILES TO BE DRIVEN TO A BEARING CAPACITY OF 25 TONS. EXTEND VERTICAL PILE STRANDS 2" MIN. INTO CONCRETE SLAB

(5) NEW 12"x12"x4' TALL CONCRETE COLUMN AT PILE LOCATION W/ 4#5 L-BAR & #3 BENDS AT 6" O.C. EXTEND VERT. REINF INTO CONCRETE SLAB.



EXISTING CONCRETE SEAWALL AND SEAWALL CAP TO REMAIN

FOUR STEPS DOWN
 RAILING BY OTHER

CORDOVA ROAD
 C/L

DESIGN WINDLOAD INFORMATION

CODE: 7 EDITION 2020 FBRC
 ASCE 7-16
 Wind Speed: 175 MPH, 3 Second Gust
 Exposure "D"
 Importance Factor: 1.0
 Internal Pressure Coeff.: 0.00
 Height: 6ft. Mean

S 04°58'16"E. 85.00'

TRACK 3

LOT 33 BLOCK 30

PROPOSED CONCRETE DOCK PLAN VIEW

SCALE 1"=10'

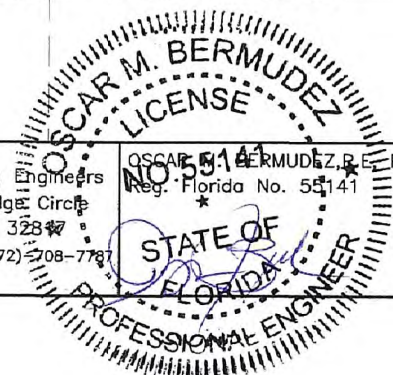
LINDA RIFFLE
 DRAFTING & DESIGN
 772-834-1906
 LindaDraft1@att.net

JOB NAME: 1550 PONCE DE LEON DRIVE LLC
 601 CORDOVA ROAD
 FORT LAUDERDALE FL. 33316

TITLE: NEW CONCRETE DOCK

B&B Consulting Engineers
 2237 Woods Edge Circle
 Orlando Florida 32817
 (772)-708-7785 (772)-708-7787

OSCAR M. BERMUDEZ, P.E. Date: 04/04/2022
 Reg. Florida No. 55141



DATE: 04/04/2022
 REVISION: A
 05/18/2022

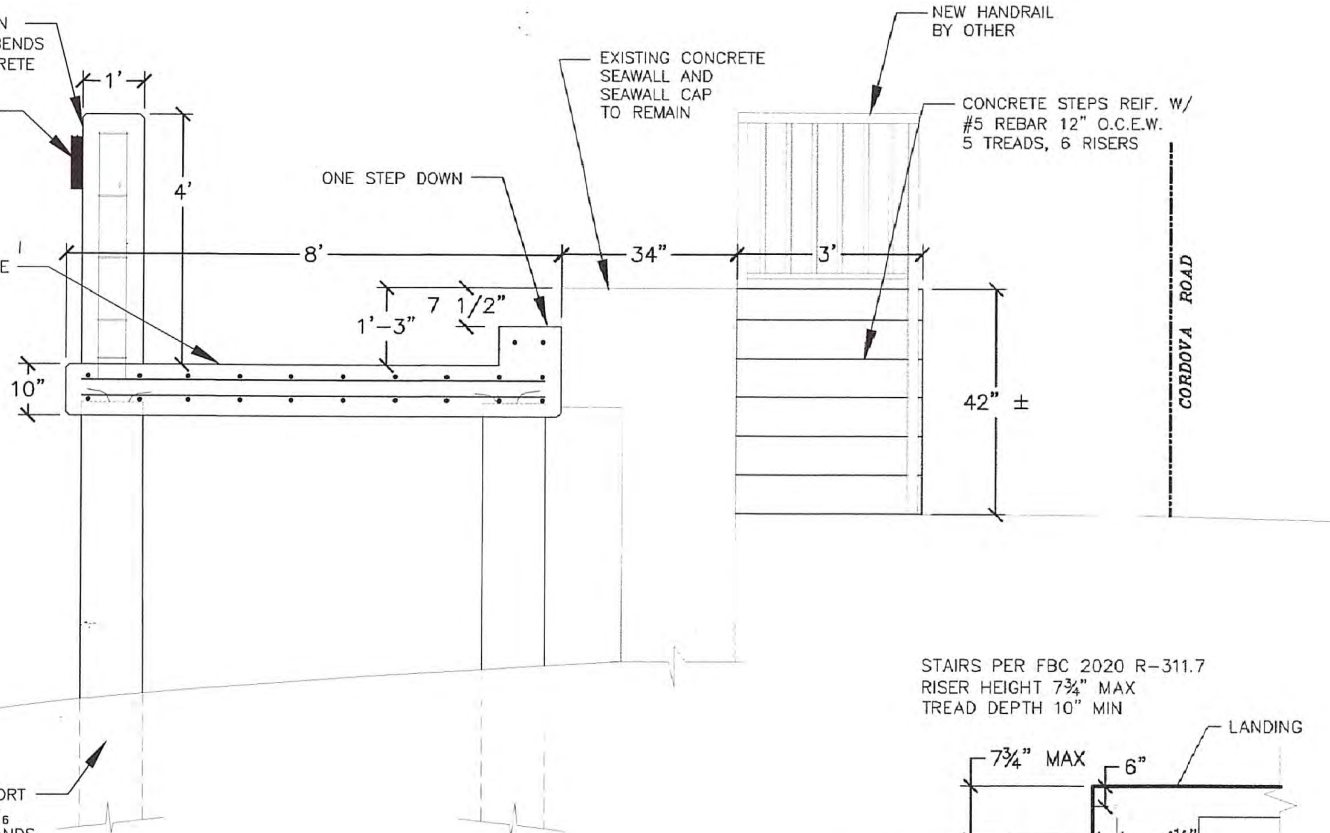
5/18/22

S-3

(5) NEW 12"x12"x4' TALL CONCRETE COLUMN AT PILE LOCATION W/ 4#5 L-BAR & #3 BENDS AT 6" O.C. EXTEND VERT. REINF. INTO CONCRETE SLAB.

NIGHTTIME REFLECTORS ON ALL OUTSIDE DOCK SUPPORT PILES.

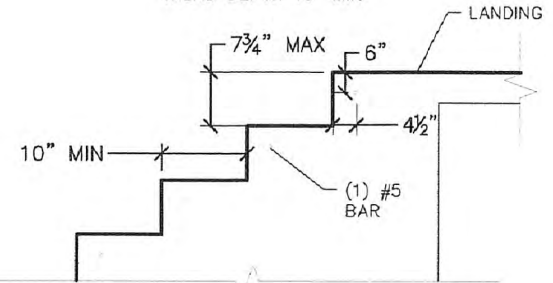
NEW 10" THICK x 8' WIDE x 40' CONCRETE SLAB REINF. W/ #5 @ 12" O.C. TOP AND BOTTOM PRINCIPAL #4 @ 12" O.C. TRANV. TOP AND BOTTOM



SECTION VIEW A
N.T.S.

(10) PRECAST 12" SQ. CONCRETE DOCK SUPPORT PILES W/ 5,000 PSI MIN. CONCRETE & 4 7/16 DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS 1" MIN. CONCRETE COVER TO TIES, W/ 2 1/2" PILES TO BE DRIVEN TO A MINIMUM PENETRATION OF 12' INTO FIRM MATERIAL OR REFUSAL. PILES TO BE DRIVEN TO A BEARING CAPACITY OF 25 TONS. EXTEND VERTICAL PILE STRANDS 2" MIN. INTO CONCRETE SLAB

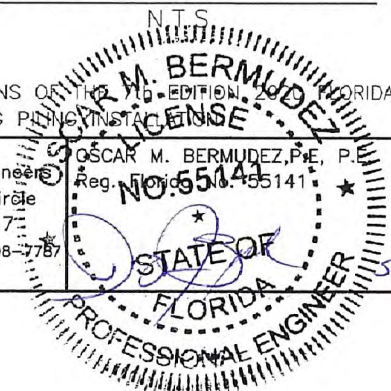
STAIRS PER FBC 2020 R-311.7
RISER HEIGHT 7 3/4" MAX
TREAD DEPTH 10" MIN



CONCRETE STEP DETAIL
N.T.S.

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE FLORIDA BUILDING CODE. BEST MANAGEMENT PRACTICES: FLOATING TURBIDITY CURTAIN EXTENDING WITHIN 1' OF BOTTOM TO BE INSTALLED DURING PILING INSTALLATION.

LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net	JOB NAME: 1550 PONCE DE LEON DRIVE LLC 601 CORDOVA ROAD FORT LAUDERDALE FL. 33316	B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787	OSCAR M. BERMUDEZ, P.E., P.E. Reg. No. 55141 Date: 04/04/2022 Revision: A Drawing No: 5118/22
	TITLE: NEW CONCRETE DOCK	Date: 05/18/2022 Drawing No: S-4	



(5) NEW 12"x12"x4' TALL CONCRETE COLUMN AT PILE LOCATION W/ 4#5 L-BAR & #3 BENDS AT 6" O.C. EXTEND VERT. REINF INTO CONCRETE SLAB.

NIGHTTIME REFLECTORS ON ALL OUTSIDE DOCK SUPPORT PILES.

NEW 10" THICK x 8' WIDE x 40' CONCRETE SLAB REINF. W/ #5 @ 12" O.C. TOP AND BOTTOM PRINCIPAL #4 @ 12" O.C. TRANV. TOP AND BOTTOM

EXISTING CONCRETE SEAWALL AND SEAWALL CAP TO REMAIN

CORDOVA ROAD

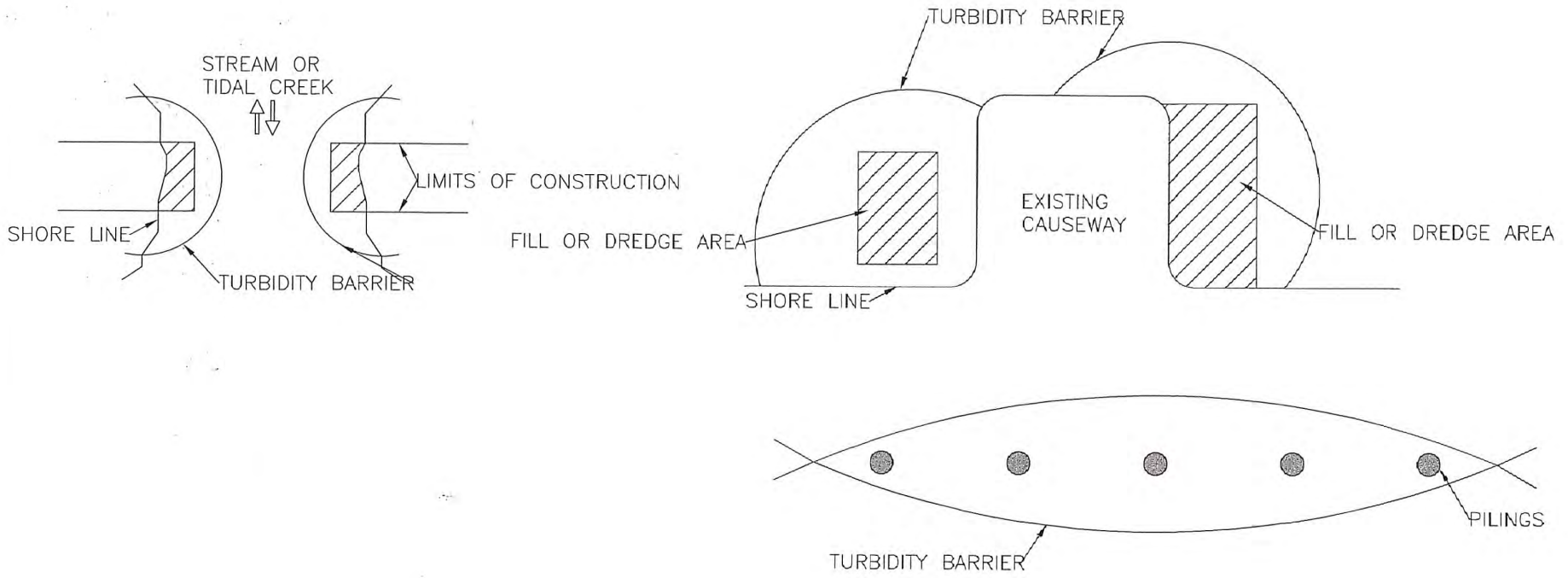
(10) PRECAST 12" SQ. CONCRETE DOCK SUPPORT PILES W/ 5,000 PSI MIN. CONCRETE & 4 7/16 DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS 1" MIN. CONCRETE COVER TO TIES, W/ 2 1/2" PILES TO BE DRIVEN TO A MINIMUM PENETRATION OF 12' INTO FIRM MATERIAL OR REFUSAL. PILES TO BE DRIVEN TO A BEARING CAPACITY OF 25 TONS. EXTEND VERTICAL PILE STRANDS 2" MIN. INTO CONCRETE SLAB

SECTION VIEW B
LOWER DOCK SECTION

N.T.S.

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 2018 EDITION OF THE FLORIDA BUILDING CODE. BEST MANAGEMENT PRACTICES: FLOATING TURBIDITY CURTAIN EXTENDING WITHIN 1' OF BOTTOM TO BE INSTALLED DURING PILING INSTALLATION.

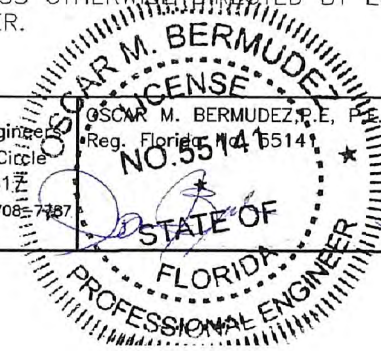
LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net	JOB NAME: 1550 PONCE DE LEON DRIVE LLC 601 CORDOVA ROAD FORT LAUDERDALE FL. 33316	B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787	OSCAR M. BERMUDEZ, P.E., P.E. Reg. Florida License No. 58143141 Date: 04/04/2022 REVISION: A DRAWING No: 05/18/2022
	TITLE: NEW CONCRETE DOCK	STATE OF FLORIDA PROFESSIONAL ENGINEER 1/18/22 S-5	



NOTES

1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH
2. NUMBER AND SPACING DEPENDANT ON CURRENT VELOCITIES.
3. DEPLOYMENT OF BARRIER AROUND PILE LOCATION MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
5. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF THE STANDARD SPECIFICATIONS.
6. TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING OF STAKED TYPES.
7. BARRIER TYPE WILL BE AT THE CONTRACTOR'S DECISION U.N.O.
8. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY ENGINEER.
9. N.P.D.E.S. INSPECTION TO BE CALLED FOR BY ENGINEER TO VERIFY TURBIDITY BARRIER.

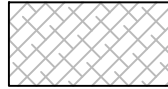
LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net	JOB NAME: 1550 PONCE DE LEON DRIVE LLC 601 CORDOVA ROAD FORT LAUDERDALE FL. 33316	B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787	OSCAR M. BERMUDEZ, P.E. Reg. Florida No. 55145141 Date: 04/04/2022
	TITLE: NEW CONCRETE DOCK	OSCAR M. BERMUDEZ, P.E. Reg. Florida No. 55145141 Date: 05/18/2022	Date: 05/18/22 S-6



LEGEND



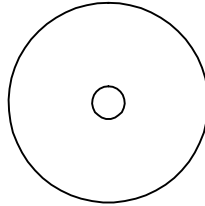
ST. AUGUSTINE SOD,
TIGHT SEAMS, FULL COVERAGE



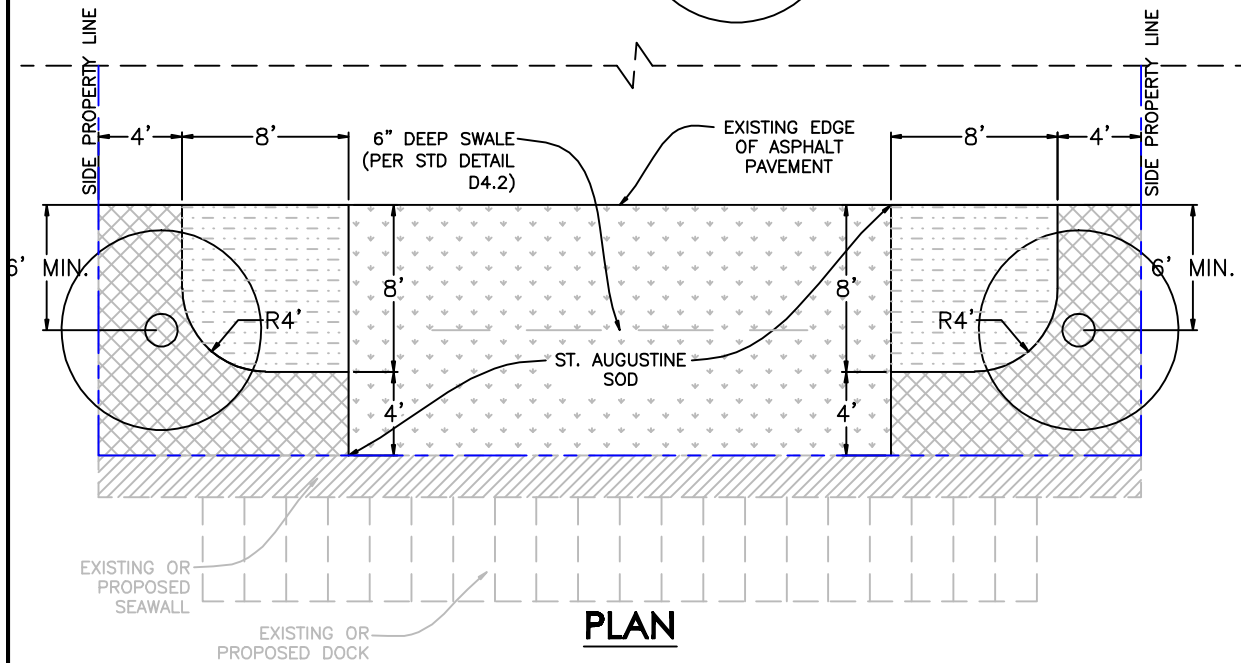
MUHLY GRASS:
18" - 24" TALL
18" - 24" ON CENTER



INDIAN HAWTHORN:
12" - 18" TALL
12" - 18" ON CENTER



12' SILVER BUTTWOOD TREE,
MULTI



GENERAL NOTES:

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED: 2/2015		CITY OF FORT LAUDERDALE DEPT. OF SUSTAINABLE DEVELOPMENT		
REVISED:		URBAN DESIGN & PLANNING ENGINEERING DIVISION	LANDSCAPING PLAN (ROW)	SCALE: 1"=10'

EXHIBIT A

601 Cordova Road

UPLAND PARCEL

Property Line

Side yard setback line

Side yard setback line

Property Line

Cordova Road Pavement

EDGE OF PAVEMENT

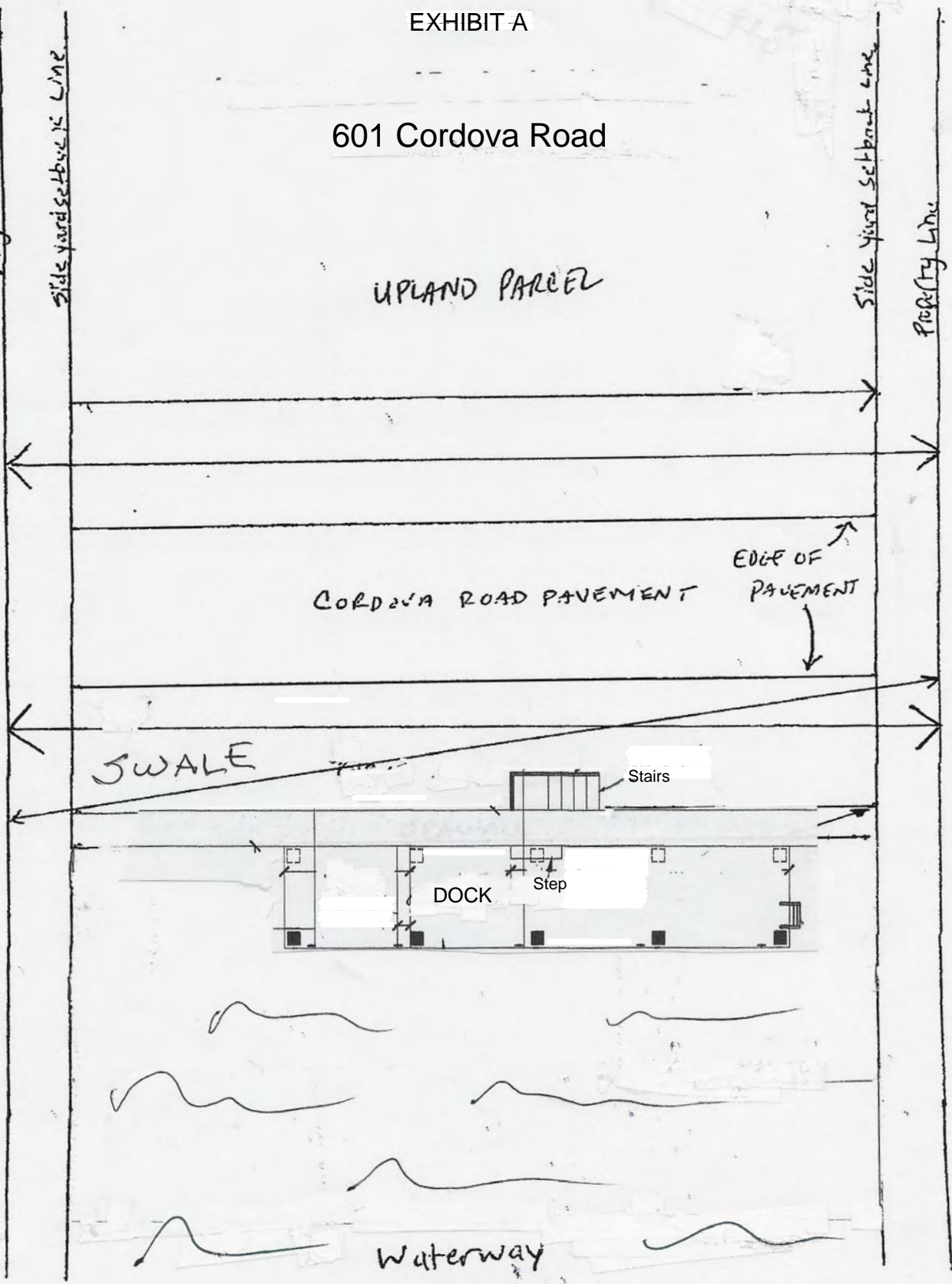
SWALE

Stairs

DOCK

Step

Waterway





City of Fort Lauderdale GIS



CITY OF FORT LAUDERDALE

601 Cordova Road



0 90 180 Feet

GIS
Fort Lauderdale

ITEM V

MEMORANDUM MF NO. 22-13

DATE: June 23, 2022

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Marine Facilities Manager

RE: July 7, 2022 MAB Meeting – Application for Dock Permit – SIPC LLC – Glenn Wright, Mgr. / 607 Cordova Road

Attached for your review is an application from SIPC LLC - Glenn Wright, Mgr. / 607 Cordova Road (see **Exhibit 1**).

APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking approval for the installation of a 40' long x 8' wide marginal dock , and associated access stairs extending a maximum distance of 8' from the wet face of the seawall on public property abutting the waterway adjacent to 607 Cordova Road. City Code Section 8-144 (**Exhibit 1**) authorizes the construction and use of docks on public property, and allows for the permit to be issued provided the permit holder agrees to maintain the improvements and seawall.

PROPERTY LOCATION AND ZONING

The property is located within the Rio Vista Isles RS-8 Residential Low Density Zoning District. The dock area is directly adjacent to the Rio Cordova Canal with direct access to the Intracoastal Waterway.

ENGINEERING REVIEW REQUIREMENT

As a requirement of City Code Section 8-144, approval of the application is contingent upon all improvements to the property being maintained in accord with City Engineering standards and in full compliance with building and zoning regulations including construction permits required for any future electrical and water feeds to the property.

The granting of this Permit is subject to all of the provisions of City Code Section 8-144 as well as the following terms and conditions, violation of any of which shall be grounds for revocation of the Permit:

1. The permit to use the docks shall expire upon the: (i) abandonment of the use of the dock; or (ii) recordation of the deed of conveyance transferring title to the upland parcel; or (iii) termination, expiration or revocation of the dock permit by the City Commission, whichever (i),(ii), or (iii) shall first occur.
2. Upon expiration of the permit to use the dock, the permit holder shall be obligated to remove the dock and all appurtenances thereto no later than three (3) months after the termination, revocation or expiration of the permit to use the dock.
3. Signage such as "private dock" may be placed on the dock within the dock area, but not upon or within the public swale area.

Marine Advisory Board

July 7, 2022

Page 2

4. Only vessels owned by the permit holder and registered with the City as part of the dock permit application may be moored at the permitted dock.
5. During the term of the dock permit, the permit holder shall be required to repair, replace, reconstruct or maintain the dock or adjacent seawall or both to meet the requirements of City Code 8-144 (7) and ULDR section 47-19.3 (f.) (4.). The public swale area shall be landscaped in accordance with the established landscape plan for the area in question adopted by the Department of Sustainable Development.
6. All improvements such as docks, seawalls and the like which are placed upon the public dock area or within the dock permit parcel or within the dock area and public swale area by a private person shall be constructed with appropriate permits from all applicable agencies. Maintenance and repairs shall be performed according to City Engineering standards and all applicable regulatory codes.
7. The public swale area shall be kept open at all times as means of reasonable ingress and egress to the public, but the permit holder shall have the right to exclude the public from the dock area.
8. Vessels berthed within the Dock Area must not encroach into the northerly or southerly extension of the 5' set-back required for the RS-8 zoning district for Applicant's (Permit Holder's) Property.
9. All installed docks must be either (i) floating docks that can adapt to sea level rise over their useful life span; or (ii) fixed docks installed at a minimum height consistent with the requirements of section 47-19.3(f); or (iii) fixed docks the height of which are even with the City's seawall, whichever (ii) or (iii) is the greater.
10. Except as to a tender, there shall be no rafting of vessels from the moored vessel.
11. The permit shall guarantee from the permit holder to the city to indemnify and hold the city harmless for any damage or injury to any person using such facilities.
12. Per 8-144 (6), penetration of the City's seawall to support the dock or attach improvements is prohibited, barring specified considerations.
13. The Applicant has the responsibility to execute and deliver a Declaration of Covenants Running With the Land Respecting A City Issued Dock Permit to the City Attorney's Office no later than ten (10) days prior to the Commission meeting date.
14. The violation of any provisions of Code Section 8-144 or violations of any of the terms or conditions relative to the granting or renewal of a dock permit shall be unlawful and may constitute cause for revocation of the permit.

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation
Jonathan Luscomb, Marine Facilities Supervisor

SIPC LLC
607 Cordova Road
Fort Lauderdale, FL 33315

Glenn Wright, Manager

TABLE OF CONTENTS

	Page Number
A. Application Form.....	3
B. Summary Descriptive/Narrative.....	4
C. Warranty Deed and BCPA Ownership Page.....	5
D. Property Survey of Upland Parcel.....	9
E. Color Photos of the Dock Area.....	10
F. Applicant Vessel Information.....	12
G. Plans for the Dock.....	13
H. Landscaping Plan.....	19
I. EXHIBIT A – Dock Area and Public Swale Area.....	20
J. Aerial View of Property.....	21

**CITY OF FORT LAUDERDALE
MARINE FACILITIES
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES**

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

APPLICATION FORM
(Must be in Typewritten Form Only)

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: SIPC LLC - Glenn Wright, Manager

TELEPHONE NO: 954-867-4481

EMAIL: AL@HSFCONSTRUCTION.COM

2. APPLICANT'S ADDRESS (if different than the site address):
1975 E. Sunrise Blvd., #607
Fort Lauderdale, FL 33301

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST: Dock Permit

4. SITE ADDRESS: 607 CORDOVA ROAD ZONING: Residential

LEGAL DESCRIPTION AND FOLIO NUMBER: 504211183543

RIO VISTA ISLES UNIT 3 7-47 B PORTION LOTS 21,22,34,35 BLK 30 DESC AS COMM AT SW COR OF LOT 21NE 96.84 TO POB, NE 95.25, NE 78, SW 95.80, SE 78 TO POB

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).

See Table of Contents



Applicant's Signature

6-24-22

Date

The sum of \$ 1500 was paid by the above-named applicant on the _____ of June,
20 22 Received by: _____

City of Fort Lauderdale

=====For Official City Use Only=====

Marine Advisory Board Action

Formal Action taken on _____

Commission Action

Formal Action taken on _____

Recommendation _____
Action _____

SUMMARY DESCRIPTION/NARRATIVE

Marine Advisory Board,

I recently purchased the property at 607 Cordova Road. I am currently working on getting a permit through the city. Prior to the issuance of the permit, they require approval from the Board. No construction on started for the dock at this time. I will be using the exact plans that have been submitted and are requesting a permit by your Board. I will be building a new residence on the subject property and intend to dock a boat at the subject dock at a future date. The dock will be 40' long x 8' wide and will meet all applicable guidelines. I will update the Board when I do get a boat with all pertinent information.

Respectfully,

Glenn Wright
Manager



- All four lots were purchased as one lot by SIPC LLC
- The original address for all 4 lots was 1550 Ponce de Leon Drive
- Lot was then subdivided into 4 lots owned by 2 Entities
- 607 Cordova Drive remained with "SIPC LLC"
- 601 Cordova Drive was moved to the Entity "1550 Ponce de Leon Drive LLC"

Prepared by:

Richard E. Douglas, Esq.
Richard E. Douglas, P.A.
3440 Hollywood Blvd. Suite 415
Hollywood, FL 33021
954-618-1005
File Number: Stav-SIPC

Return to:

Michele Aragao
Equity Land Title LLC
525 Okeechobee Blvd., Suite 900
West Palm Beach, FL 33401
561-226-2230
File Number: 214419WPB

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 9th day of September, 2021 between Jodi Stav, a single woman, whose post office address is 1235 SE 13 Terrace, Fort Lauderdale, FL 33316, grantor, and SIPC, LLC, a Florida limited liability company, whose post office address is 401 SW 4th Ave, Suite 1605, Fort Lauderdale, FL 33315, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida to-wit:

Lots 21, 22, 23, 33, 34 and 35, in Block 30, of RIO VISTA ISLES UNIT 3, according to the Plat thereof, as recorded in Plat Book 7, Page 47, of the Public Records of Broward County, Florida. Together with Tract 3 and 4 of RIVER SHORES, according to the Plat thereof, as recorded in Plat Book 15, Page 61, of the Public Records of Broward County, Florida.

Parcel Identification Number: 5042-11-18-3540

Street Address: 1550 Ponce De Leon Drive, Fort Lauderdale, FL 33316

Subject to (a) taxes for the year 2021 which are not yet due and owing, and (b) easements, rights of way, limitations reservations, covenants, and restrictions of record, without the intention to re-impose same.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Sign:

[Signature]

Witness Print Name:

Richard E. Douglas

[Signature]
Jodi Stav

Witness Sign:

[Signature]

Witness Print Name:

Cecilia Sosa

State of Florida
County of Broward

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 9th day of September, 2021 by Jodi Stav, who is personally known or has produced a Fla. Driver's License as identification.

[Notary Seal]



Richard E. Douglas
Commission # GG208276
Expires: April 11, 2022
Bonded thru Aaron Notary

[Signature]
Notary Public

Printed Name: _____

My Commission Expires: _____



PROPERTY SUMMARY

Tax Year: 2022
Property ID: 504211183543
Property Owner(s): SIPC LLC
Mailing Address: 401 SW 4 AVE #1605 FORT LAUDERDALE, FL 33316
Physical Address: 607 CORDOVA ROAD FORT LAUDERDALE, 33316

Property Use: 00 - Vacant residential
Millage Code: 0312
Adj. Bldg. S.F.: 0
Bldg Under Air S.F.:
Effective Year: 0
Year Built:
Units/Beds/Baths: 0 / /

Deputy Appraiser: Residential Department
Appraisers Number: 954-357-6831
Email: realprop@bcpa.net
Zoning: null
Abbr. Legal Des.: RIO VISTA ISLES UNIT 3 7-47 B
 PORTION LOTS 21,22,34,35 BLK 30 DESC AS
 COMM AT SW COR OF LOT 21NE 96.84 TO
 POB,NE 95.25,NE 78, SW 95.80,SE 78 TO POB

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2022	\$1,229,420	0	0	\$1,229,420	\$1,229,420	
2021	0	0	0	0	0	
2020	0	0	0	0	0	

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$1,229,420	\$1,229,420	\$1,229,420	\$1,229,420
Portability	0	0	0	0
Assessed / SOH	\$1,229,420	\$1,229,420	\$1,229,420	\$1,229,420
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$1,229,420	\$1,229,420	\$1,229,420	\$1,229,420

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin
09/09/2021	Multi Warranty Deed Excluded Sale	\$4,300,000	117578369

LAND CALCULATIONS

Unit Price	Units	Type
\$165.00	7,451 SqFt	Square Foot

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504211183650	05/22/2022	Warranty Deed	Qualified Sale	\$1,400,000	118173807	715 CORDOVA RD FORT LAUDERDALE, FL 33316
504211182150	05/13/2022	Warranty Deed	Qualified Sale	\$5,400,000	118163716	1335 PONCE DE LEON DR FORT LAUDERDALE, FL 33316
504211181890	05/05/2022	Warranty Deed	Qualified Sale	\$2,875,000	118128149	1009 CORDOVA RD FORT LAUDERDALE, FL 33316
504211183410	04/29/2022	Warranty Deed	Qualified Sale	\$3,950,000	118118091	1416 PONCE DE LEON DR FORT LAUDERDALE, FL 33316
504211183050	04/27/2022	Warranty Deed	Qualified Sale	\$2,400,000	118141629	1104 S RIO VISTA BLVD FORT LAUDERDALE, FL 33316

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03) Vacant Lots (L) 1						(F3) 7,451.00		

SCHOOL

Harbordale Elementary: A
Sunrise Middle: B
Fort Lauderdale High: A

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	4	Lamar P. Fisher	22	Ted Deutch

Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
93	Chip LaMarca	34	Gary M. Farmer, Jr.	Sarah Leonardi



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
SIPC, LLC

Filing Information

Document Number L16000009579
FEI/EIN Number 82-1256909
Date Filed 01/13/2016
Effective Date 01/10/2016
State FL
Status ACTIVE

Principal Address

1975 E Sunrise Blvd #607
FT LAUDERDALE, FL 33304

Changed: 09/16/2021

Mailing Address

1975 E Sunrise Blvd #607
FT LAUDERDALE, FL 33304

Changed: 09/16/2021

Registered Agent Name & Address

REICH, AL
1975 E Sunrise Blvd #607
FT LAUDERDALE, FL 33304

Name Changed: 09/16/2021

Address Changed: 09/16/2021

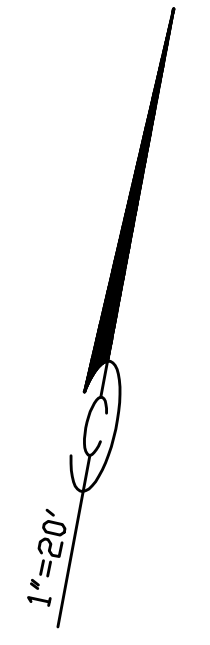
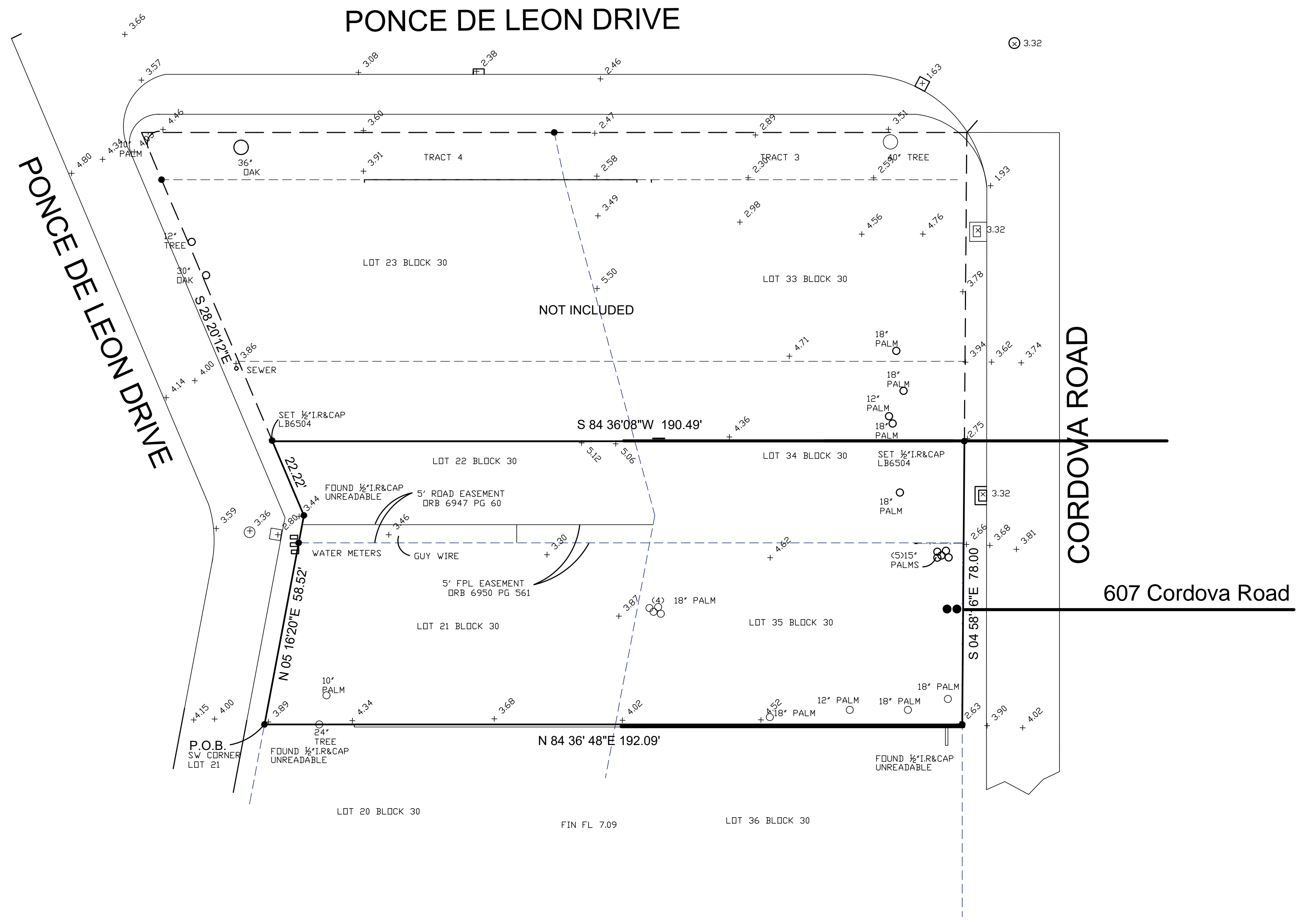
Authorized Person(s) Detail

Name & Address

Title MGR

Wright, Glenn
1975 E Sunrise Blvd #607
FT LAUDERDALE, FL 33304

Annual Reports

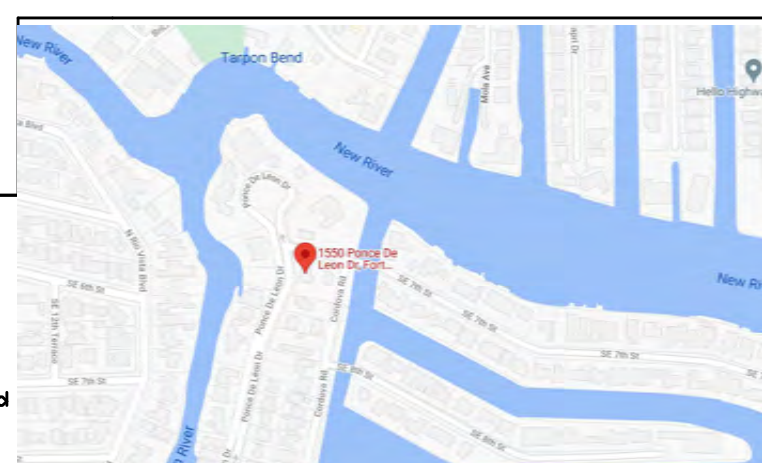


A PARCEL BEING A PORTION OF LOTS 21 AND 22 AND 34 AND 35 OF BLOCK 30 OF THE PLAT OF RID VISTA ISLES UNIT 3 ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 7 PAGE 47 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 21 THENCE NIS 10°59'E ALONG THE WEST LINE OF LOTS 21 AND 22 FOR A DISTANCE OF 58.52 FEET THENCE CONTINUE ALONG THE WEST LINE OF SAID LOT 22 N 28 20'12"W FOR A DISTANCE OF 22.22 FEET THENCE N 84 36'28"E A DISTANCE 190.49 FEET TO THE EAST LINE OF LOT 34 THENCE S04 58'16"E ALONG THE EAST LINE OF LOTS 34 AND 35 FOR A DISTANCE OF 78.00 FEET TO THE SOUTHEAST CORNER OF LOT 35 THENCE S84 36'47"W A DISTANCE OF 192.09 FEET TO THE POINT OF BEGINNING

CONTAINS 14,558.2 SQUARE FEET

- BEARINGS SHOWN HEREIN ARE ASSUMED
- NO ABSTRACT OR TITLE SEARCH WAS PERFORMED TO DISCOVER THE EXISTENCE OF ANY EASEMENTS OR RESTRICTIONS OF RECORD.
- ELEVATIONS SHOWN HEREIN ARE BASED ON NAVD 1988 ALL ELEVATION SHOWN HEREIN ARE RELATIVE THERETO
- NO BELOW GROUND IMPROVEMENTS, FOOTERS, FOUNDATIONS OR UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY.

D.B.S. = official record book C.B.S. = concrete block structure P.C.C. = point of compound curve P.C.P. = permanent control point P.D.C. = point of commencement P.D.B. = point of beginning I/E = drainage easement C.M.P. = corrugated metal pipe R.L.S. = registered land surveyor L.B. = licensed business	F.P.L. = Florida power and light C.M. = concrete monument P.R.C. = point of reverse P.I. = point of intersection P.T. = point of tangency W.P.F. = wood privacy fence C.H.A.T. = chattoahoochee ELEV. = elevation	P.B. = plot book TYP. = typical R/W = right-of-way Δ = central angle ⊕ = bearing base line ASPH = asphalt H.H. = manhole U/E = utility easement C.L.F. = chain link fence P.R.M. = permanent reference monument	P = plot P.P. = power pole M = MEASURED I.P. = IRON PIPE R.P. = radius point L = ARC LENGTH C.L. = centerline ALUM. = aluminum P.C. = point of curvature	P.C. = page I.R. = iron rod R = radius D/S = offset C.M.C. = concrete E.S.M.T. = easement C.A.L.C. = calculated
---	--	--	--	---



	CERTIFIED TO:	
	FLOOD ZONE: X & AE 5	
801 S.E. 6th Ave., Suite 203 Delray Beach, FL 33483 Phone: 1-243-4624 Fax: 243-4869	AUTHORIZATION NUMBER LB6504	MAP NO: 1201100557H MAP DATE: 8-18-2014 DATE: 12-2-2021 JOB NO. 9-21-040 REVISED
I HEREBY CERTIFY THAT THE SKETCH OF BOUNDARY SURVEY SHOWN HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH IN CHAPTER S-17-050-052, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.		NOT VALID UNLESS SEALED WITH EMBOSSED SURVEYOR'S SEAL
HARRY A. BURGESS PLS 5089		



CORDOVA RD
SE 7 ST

AREA
SPEED
LIMIT
25

← DEAD END



[REDACTED]

Andre Cuba, Marine Facilities Manager
Ft. Lauderdale Marine Advisory Board
Fort Lauderdale, FL 33301

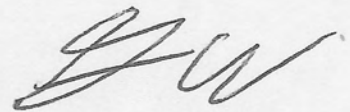
Dear Mr. Cuba,

**VESSEL INFORMATION
FOR
607 Cordova Road**

Currently, we do not own a boat. When we do purchase a vessel, we will
update the Marine Advisory Board as soon as we purchase a vessel.

Respectfully,

Glenn Wright, Manager



GENERAL NOTES

ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH WORK.

IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL ENVIRONMENTAL AND BUILDING PERMIT ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 7TH EDITION 2020 FLORIDA BUILDING CODE.

CONCRETE

1. ALL CONCRETE (EXCEPT PRECAST PILES) SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI. AT THE END 0=28 DAYS, FOUR (4) CONCRETE CYLINDERS SHALL BE TAKEN FOR EACH 50 CUBIC YARD OR FRACTION THEREOF AND SHALL BE TESTED AT 3.7 & 28 DAYS. SLUMP SHALL NOT EXCEED 4" (±1") MAX W/C RATIO+0.40.
2. ALL REINFORCEMENT SHALL BE 60,000 PSI MINIMUM YIELD NEW BILLET STEEL IN ACCORDANCE WITH ASTM A615 GRADE 60. ALL BAR LAPS SHALL BE A MINIMUM OF 36 BAR DIAMETERS, PLACING OF REINFORCEMENT SHALL CONFORM TO THE LATEST ACI CODE AND MANUAL OF STANDARD PRACTICE.
3. ALL CONCRETE SHALL BE PLACED WITHIN 90 MINUTES FROM BATCH TIME, AND VIBRATED AS REQUIRED BY THE ACI MANUAL OF CONCRETE PRACTICE. TEMPERATURE OF CONCRETE AT TIME OF PLACEMENT SHALL BE BETWEEN 75° AND 100°F.
4. ALL CONCRETE DECK SURFACES SHALL HAVE A LIGHT BROOM FINISH.
5. ALL EXPOSED CONCRETE EDGES SHALL BE CHAMFERED 3/4" OR AS SHOWN ON THE PLANS.

HARDWARE

1. ALL MISCELLANEOUS STEEL COMPONENTS, BOLTS AND HARDWARE SHALL BE TYPE 316 STAINLESS STEEL UNLESS OTHERWISE SPECIFIED ON PLANS.

PRECAST CONCRETE PILING

1. PRECAST CONCRETE DOCK PILES SHALL BE 12"x12" PILES W/5000 PSI MIN. CONCRETE 4-7/16" DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS W/24' MIN. CONCRETE COVE TO TIES DRIVEN TO A MINIMUM BEARING CAPACITY OF 25 TONS WITH 12' MINIMUM PENETRATION INTO FIRM MATERIAL BELOW SILT LAYER
2. PILES SHALL BE CUT OFF AT ELEVATIONS SHOWN ON THE PLANS @ SECTION

MISCELLANEOUS

1. FASTENERS EMBEDDED INTO CONCRETE STRUCTURES SHALL BE ANCHORED WITH TWO-PART EPOXY ADHESIVE (RAWL-CHEM-FAST CARRIDGE SYSTEM OR EQUAL). ANCHOR HOLES SHALL BE DRILLED TO 1/8" GREATER THAN THE SPECIFIED FASTENER SIZE. HOLES SHALL BE DRILLED TO A MINIMUM DEPTH SHOWN ON THE PLANS & SHALL BE THOUGHLY CLEANED OUT AND DRY PRIOR TO INJECTION OF EPOXY.

LOADS

LL= 40 PSF DL = 10 PSF

TURBIDITY BARRIER

APPROVED TURBIDITY BARRIERS SHALL REMAIN IN PLACE DURING ALL PHASES OF WATER CONSTRUCTION.



LOCATION MAP

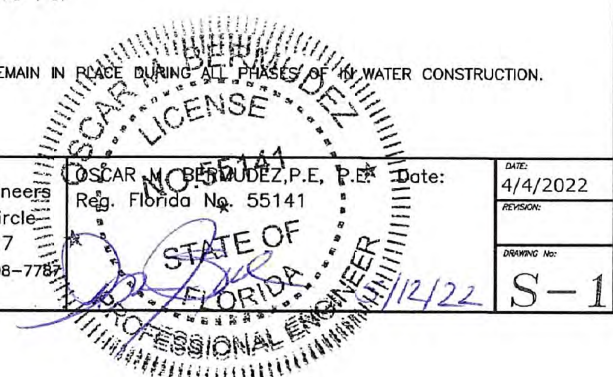
Site Address CORDOVA ROAD,
FORT LAUDERDALE FL 33316

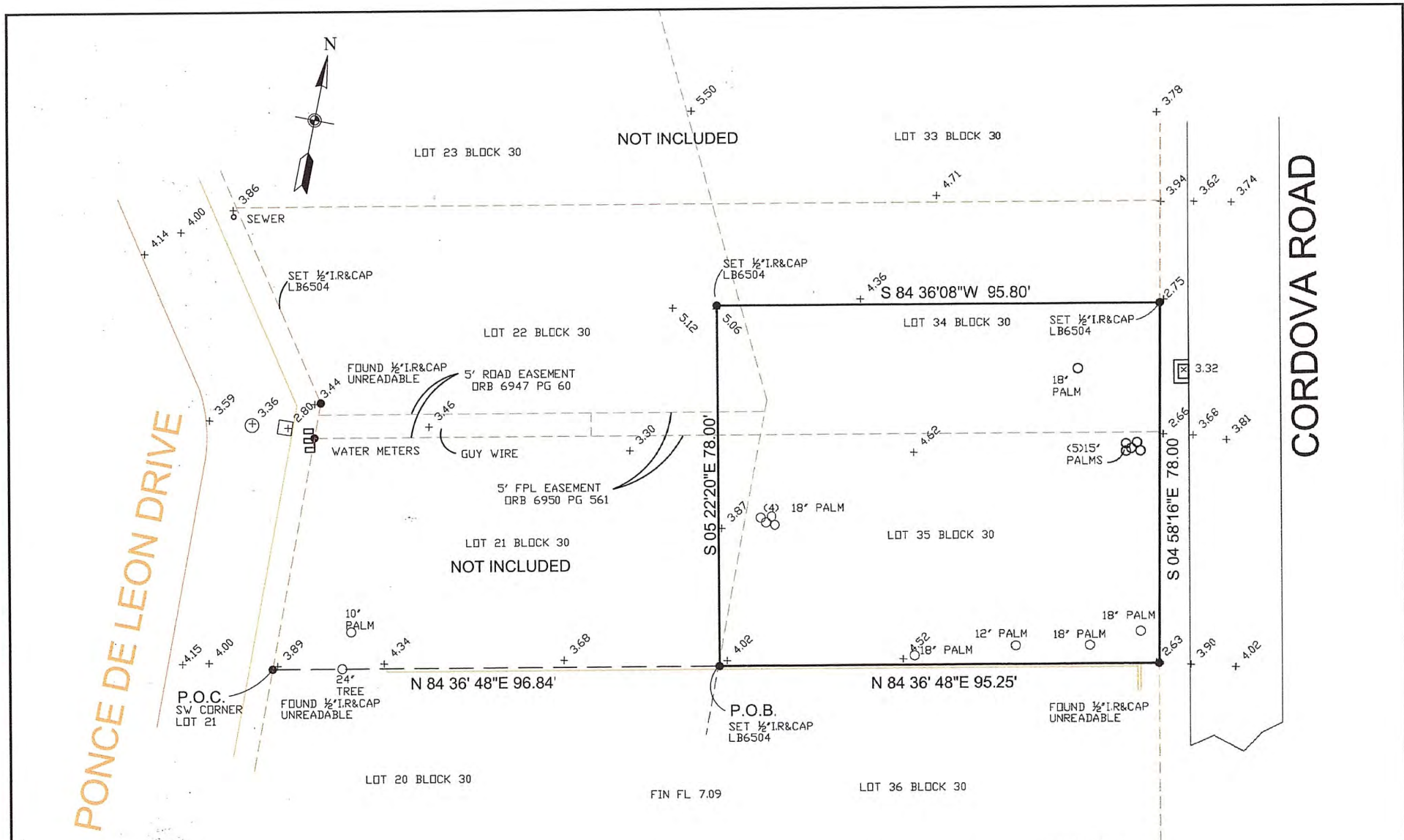
Property Owner SIPC LLC
Mailing Address 401 SW 4 AVE #1605 FORT LAUDERDALE
FL 33315

ID # 5042 11 18 3543

Abbreviated Legal Description RIO VISTA ISLES UNIT 3
7-47 B PORTION LOTS 21,22,34,35 BLK 30 DESC AS
COMM AT SW COR OF LOT 21 NE 96.84 TO POB,NE
95.25,NE 78, SW 95.80,SE 78 TO POB

<p>LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net</p>	<p>JOB NAME: SIPC LLC 607 CORDOVA ROAD FORT LAUDERDALE FL. 33316</p>	<p>B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787</p>	<p>OSCAR M. BERNALDEZ, P.E., P.E. Reg. Florida No. 55141 Date: 4/4/2022</p>
	<p>TITLE: NEW CONCRETE DOCK</p>		





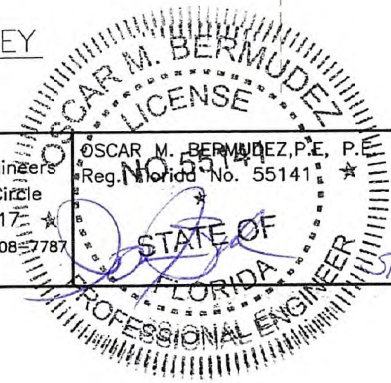
SKETCH OF BOUNDARY SURVEY
SCALE 1"=30'

LINDA RIFFLE
DRAFTING & DESIGN
772-834-1906
LindaDraft1@att.net

JOB NAME: SIPC LLC
607 CORDOVA ROAD
FORT LAUDERDALE FL. 33316
TITLE: NEW CONCRETE DOCK

B&B Consulting Engineers
2237 Woods Edge Circle
Orlando Florida 32817
(772)-708-7785 (772)-708-7787

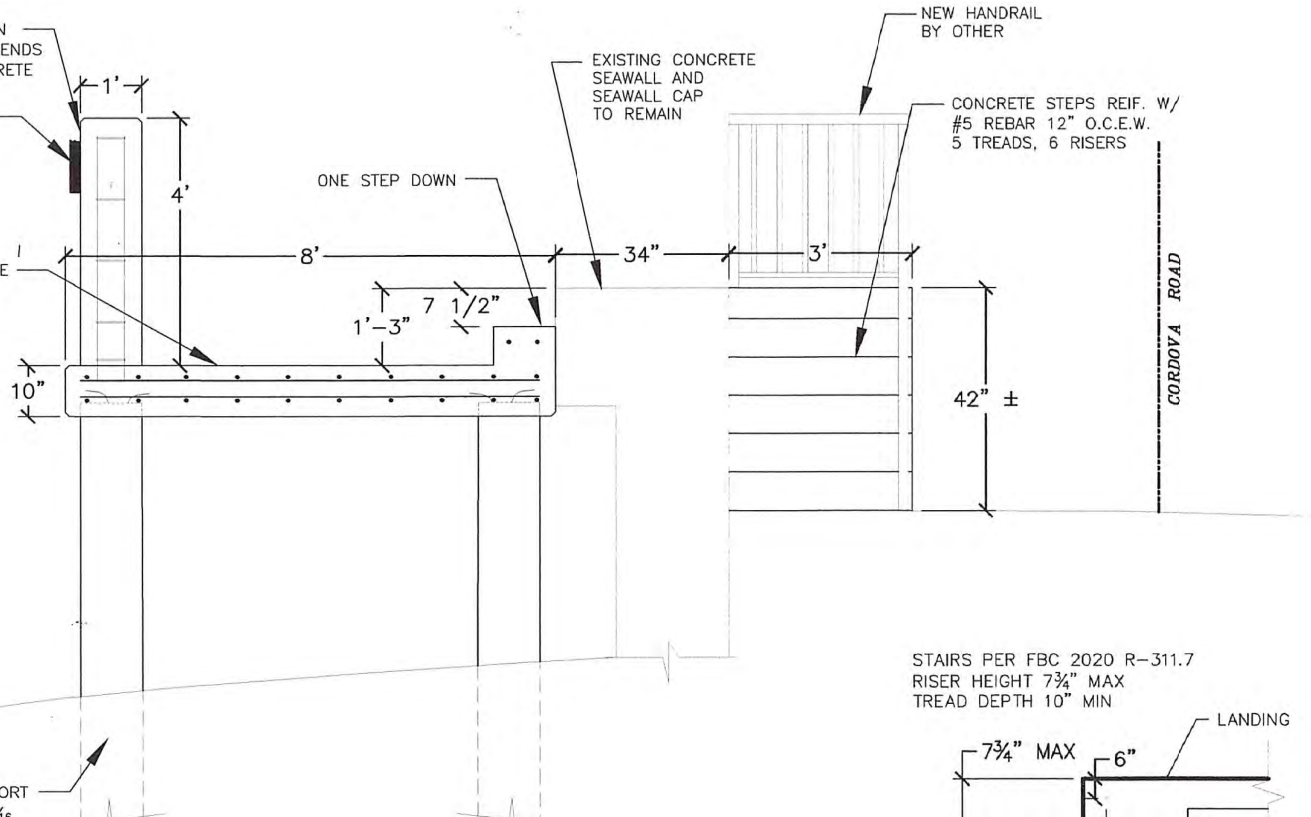
OSCAR M. BERMUDEZ, P.E., P.
Reg. Florida No. 55141
Date: 4/4/2022
DRAWING No: S-2



(5) NEW 12"x12"x4' TALL CONCRETE COLUMN AT PILE LOCATION W/ 4#5 L-BAR & #3 BENDS AT 6" O.C. EXTEND VERT. REINF INTO CONCRETE SLAB.

NIGHTTIME REFLECTORS ON ALL OUTSIDE DOCK SUPPORT PILES.

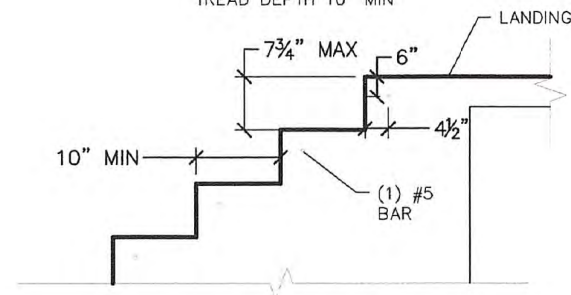
NEW 10" THICK x 8' WIDE x 40' CONCRETE SLAB REINF. W/ #5 @ 12" O.C. TOP AND BOTTOM PRINCIPAL #4 @ 12" O.C. TRANV. TOP AND BOTTOM



SECTION VIEW A
N.T.S.

(10) PRECAST 12" SQ. CONCRETE DOCK SUPPORT PILES W/ 5,000 PSI MIN. CONCRETE & 4 7/16 DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS 1" MIN. CONCRETE COVER TO TIES, W/ 2 1/2" PILES TO BE DRIVEN TO A MINIMUM PENETRATION OF 12' INTO FIRM MATERIAL OR REFUSAL. PILES TO BE DRIVEN TO A BEARING CAPACITY OF 25 TONS. EXTEND VERTICAL PILE STRANDS 2" MIN. INTO CONCRETE SLAB

STAIRS PER FBC 2020 R-311.7
RISER HEIGHT 7 3/4" MAX
TREAD DEPTH 10" MIN



CONCRETE STEP DETAIL

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 2020 FLORIDA BUILDING CODE. BEST-MANAGEMENT PRACTICES: FLOATING TURBIDITY CURTAIN EXTENDING WITHIN 1' OF BOTTOM TO BE INSTALLED DURING PILING INSTALLATION.

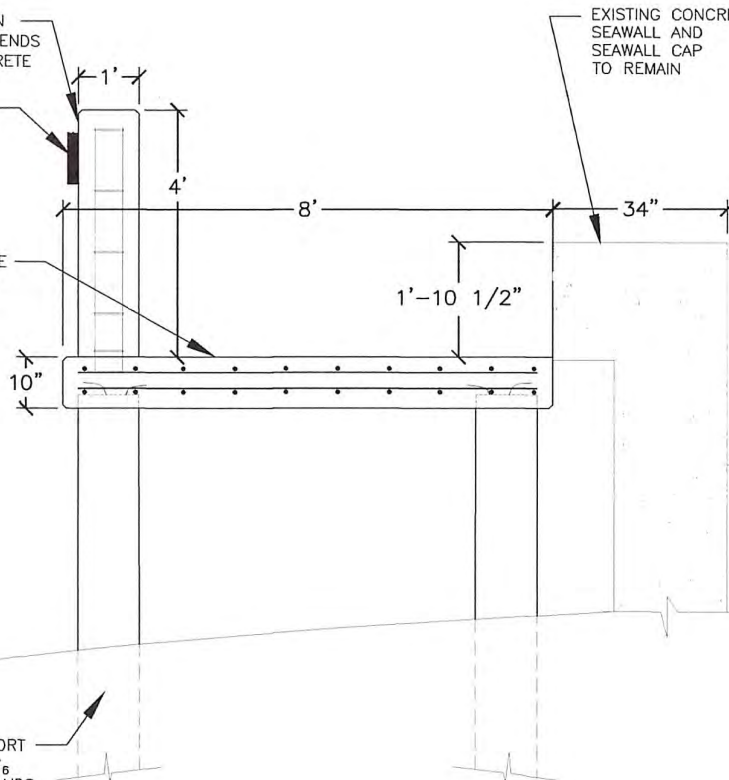
LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net	JOB NAME: SIPC LLC 607 CORDOVA ROAD FORT LAUDERDALE FL. 33316	B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787	OSCAR M. BERMUDEZ, P.E. Reg. Florida No. 55141	Date: 4/4/2022
	TITLE: NEW CONCRETE DOCK		NO. 55441 STATE OF FLORIDA PROFESSIONAL ENGINEER	5/12/22

(5) NEW 12"x12"x4' TALL CONCRETE COLUMN AT PILE LOCATION W/ 4#5 L-BAR & #3 BENDS AT 6" O.C. EXTEND VERT. REINF INTO CONCRETE SLAB.

NIGHTTIME REFLECTORS ON ALL OUTSIDE DOCK SUPPORT PILES.

NEW 10" THICK x 8' WIDE x 40' CONCRETE SLAB REINF. W/ #5 @ 12" O.C. TOP AND BOTTOM PRINCIPAL #4 @ 12' O.C. TRANV. TOP AND BOTTOM

EXISTING CONCRETE SEAWALL AND SEAWALL CAP TO REMAIN

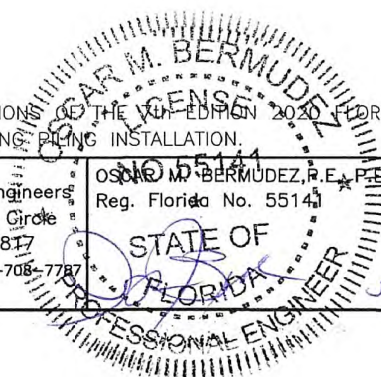


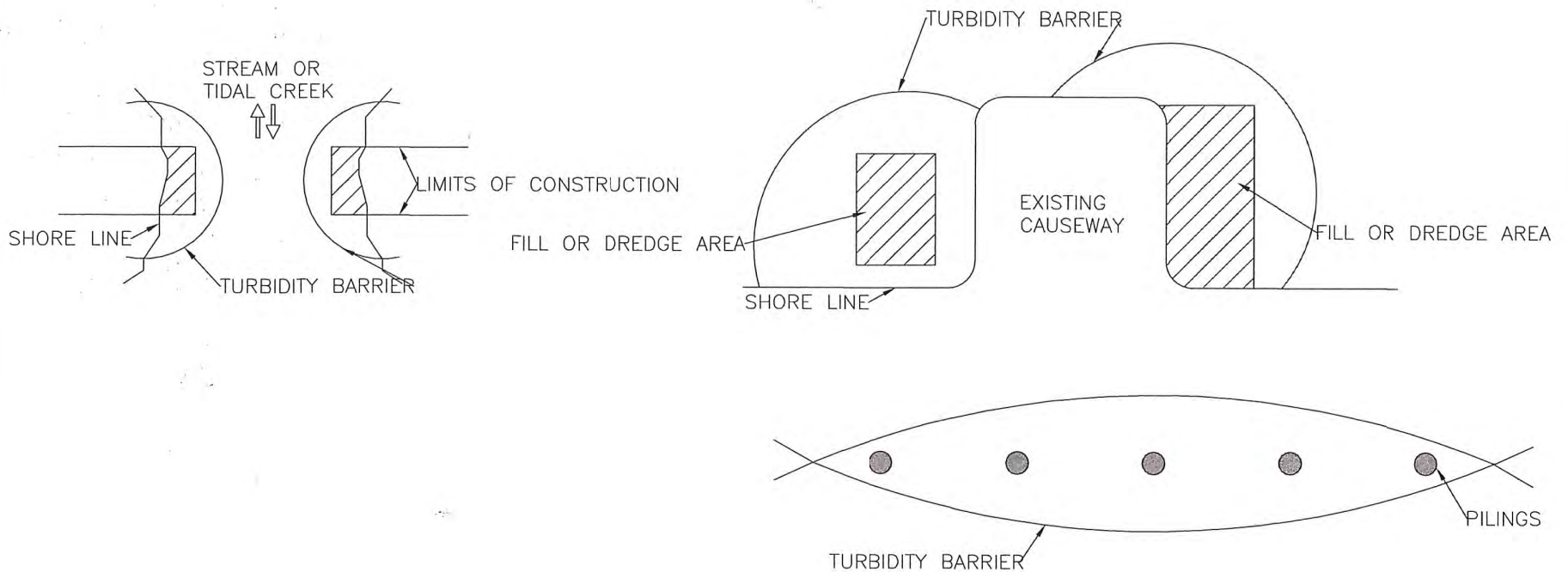
(10) PRECAST 12" SQ. CONCRETE DOCK SUPPORT PILES W/ 5,000 PSI MIN. CONCRETE & 4 7/16 DIAMETER 270 KSI ASTM A416 LOW-LAX STRANDS 1" MIN. CONCRETE COVER TO TIES, W/ 2 1/2" PILES TO BE DRIVEN TO A MINIMUM PENETRATION OF 12' INTO FIRM MATERIAL OR REFUSAL. PILES TO BE DRIVEN TO A BEARING CAPACITY OF 25 TONS. EXTEND VERTICAL PILE STRANDS 2" MIN. INTO CONCRETE SLAB

SECTION VIEW B
LOWER DOCK SECTION
N.T.S.

THE WORK SPECIFIED HEREIN HAS BEEN DESIGNED & ALL WORK SHALL BE IN ACCORDANCE WITH STRUCTURAL PROVISIONS OF THE 2020 FLORIDA BUILDING CODE. BEST MANAGEMENT PRACTICES: FLOATING TURBIDITY CURTAIN EXTENDING WITHIN 1' OF BOTTOM TO BE INSTALLED DURING PILING INSTALLATION.

LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net	JOB NAME: SIPC LLC 607 CORDOVA ROAD FORT LAUDERDALE FL. 33316	B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787	OSWALD M. BERMUDEZ, P.E., P.E. Reg. Florida No. 55141 Date:	DATE: 4/4/2022
	TITLE: NEW CONCRETE DOCK			REVISION: APPROVED BY: 5/12/22 S-5





NOTES

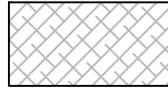
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH
2. NUMBER AND SPACING DEPENDANT ON CURRENT VELOCITIES.
3. DEPLOYMENT OF BARRIER AROUND PILE LOCATION MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
5. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF THE STANDARD SPECIFICATIONS.
6. TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING OF STAKED TYPES.
7. BARRIER TYPE WILL BE AT THE CONTRACTOR'S DECISION U.N.O.
8. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY ENGINEER.
9. N.P.D.E.S. INSPECTION TO BE CALLED FOR BY ENGINEER TO VERIFY TURBIDITY BARRIER.

LINDA RIFFLE DRAFTING & DESIGN 772-834-1906 LindaDraft1@att.net	JOB NAME: SIPC LLC 607 CORDOVA ROAD FORT LAUDERDALE FL. 33316	B&B Consulting Engineers 2237 Woods Edge Circle Orlando Florida 32817 (772)-708-7785 (772)-708-7787	OSCAR M. BERMUDEZ, P.E. Reg. Florida No. 155141 Date: 4/4/2022	REVISIONS DISTRICT No.
	TITLE: NEW CONCRETE DOCK		OSCAR M. BERMUDEZ, P.E. NO. 55141 STATE OF FLORIDA PROFESSIONAL ENGINEER 4/12/22	S-6

LEGEND



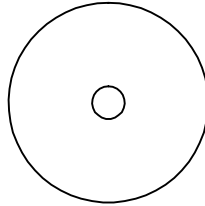
**ST. AUGUSTINE SOD,
TIGHT SEAMS, FULL COVERAGE**



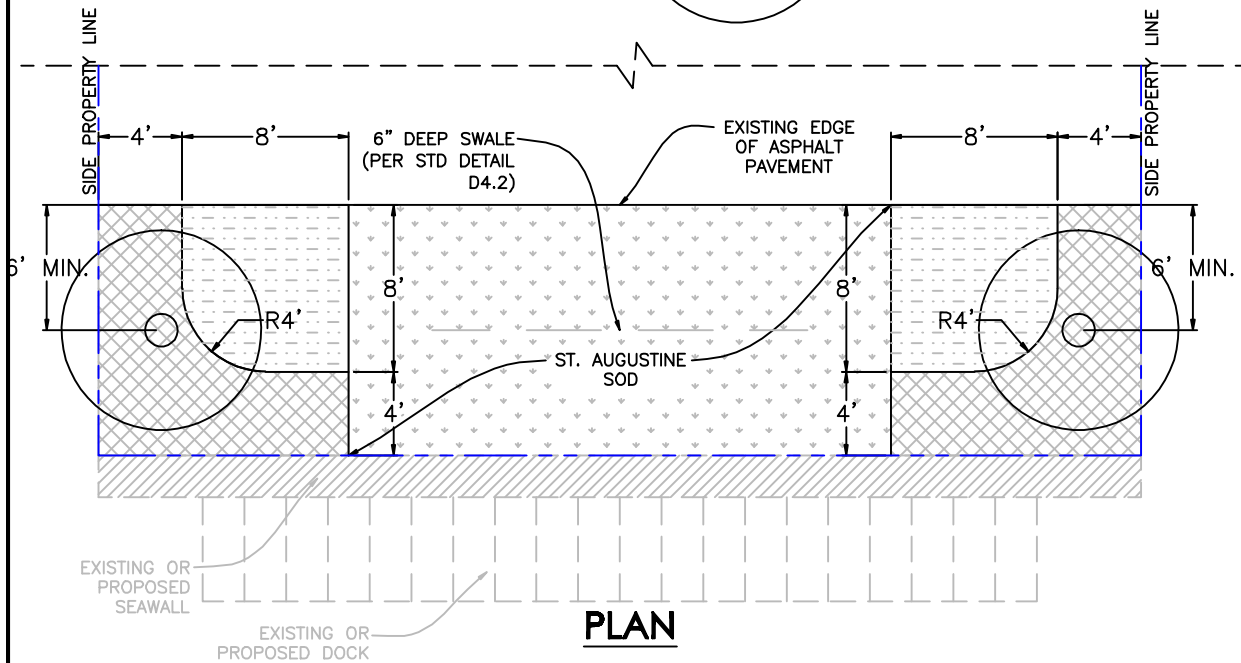
**MUHLY GRASS:
18" - 24" TALL
18" - 24" ON CENTER**



**INDIAN HAWTHORN:
12" - 18" TALL
12" - 18" ON CENTER**



**12' SILVER BUTTWOOD TREE,
MULTI**



GENERAL NOTES:

1. ALL IRRIGATION & PLANT MATERIAL SHALL BE INSTALLED & MAINTAINED BY APPLICANT.
2. ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY BEST MANAGEMENT PRACTICES.
4. ALL AREAS TO RECEIVE AUTOMATIC IRRIGATION FROM A PERMANENT WATER SOURCE PROVIDING 100% COVERAGE AND A RAIN SENSOR SHUT OFF.
5. ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE FLORIDA-FRIENDLY LANDSCAPING (FFL) EQUIVALENT.

ISSUED: 2/2015		CITY OF FORT LAUDERDALE DEPT. OF SUSTAINABLE DEVELOPMENT	LANDSCAPING PLAN (ROW)	SCALE: 1"=10'
REVISED:	URBAN DESIGN & PLANNING ENGINEERING DIVISION			

EXHIBIT A

607 Cordova Road

UPLAND PARCEL

Property Line

Side yard setback line

Side yard setback line

Property Line

Cordova Road Pavement

EDGE OF PAVEMENT

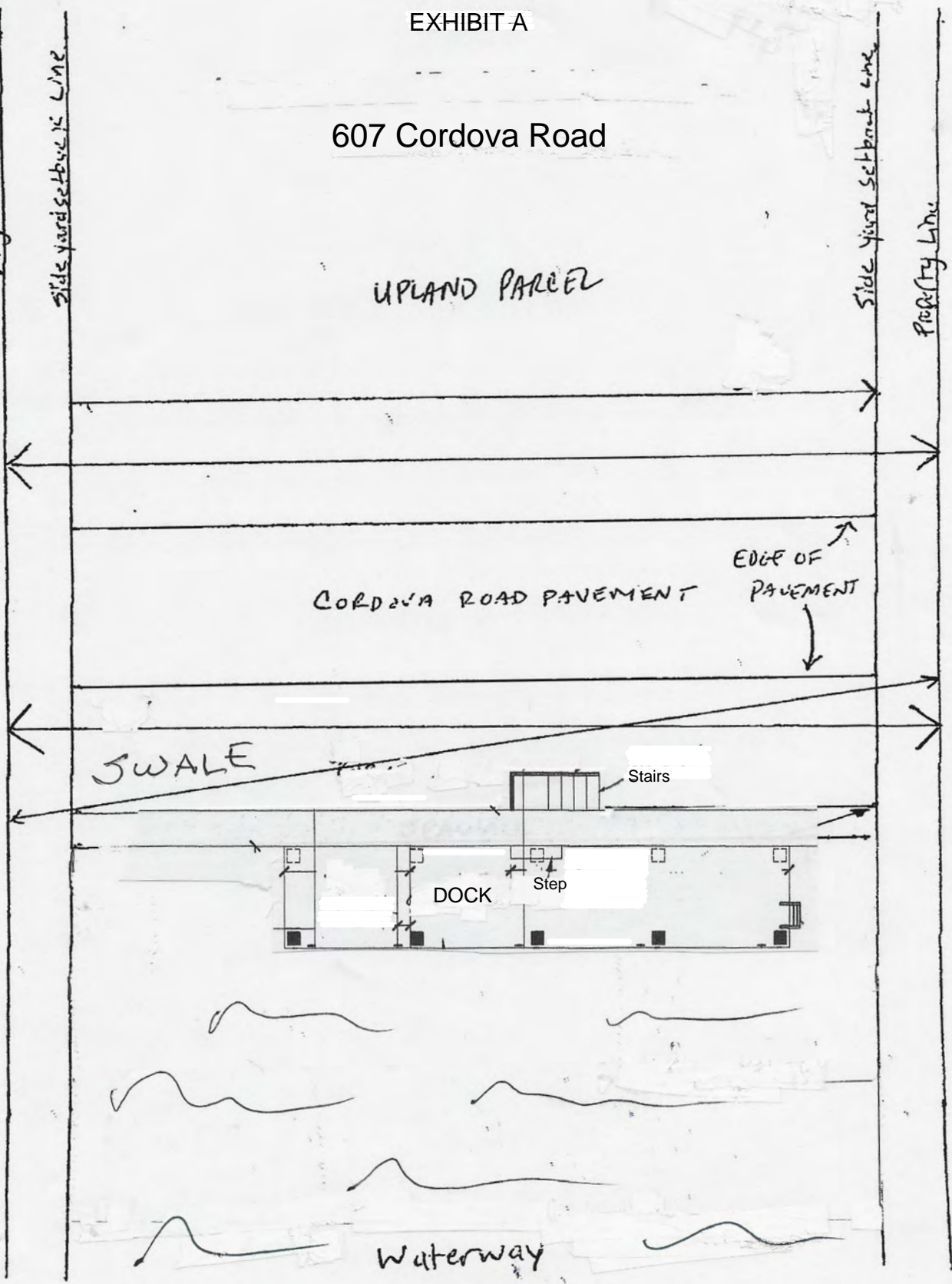
SWALE

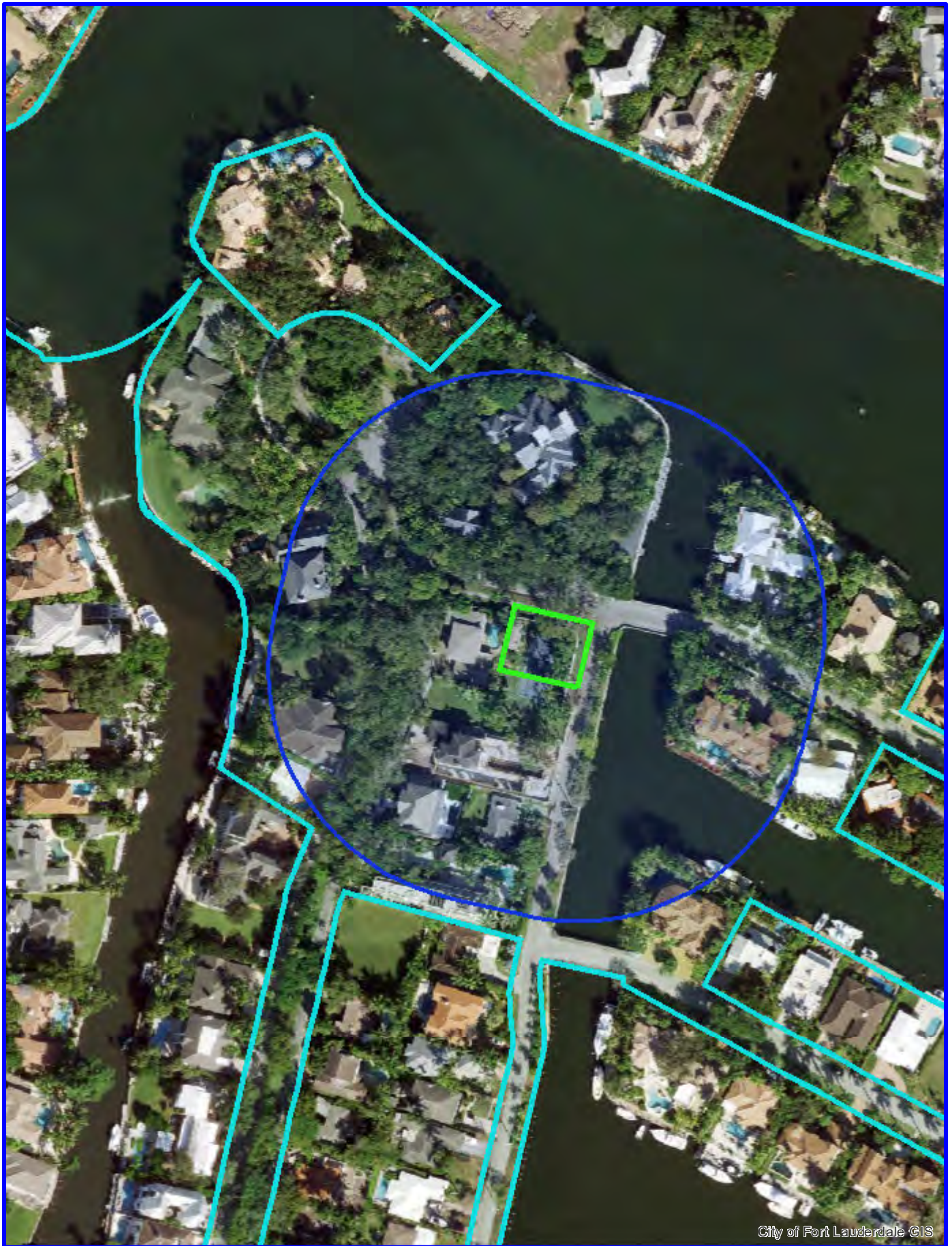
Stairs

DOCK

Step

Waterway





City of Fort Lauderdale GIS



CITY OF FORT LAUDERDALE

607 Cordova Road



0 90 180 Feet

GIS
Fort Lauderdale

ITEM VII

MEMORANDUM MF NO. 22-04

DATE: March 17, 2022
TO: Marine Advisory Board Members
FROM: Andrew Cuba, Marine Facilities Manager
RE: July 7, 2022 MAB – Application - Dock Waiver of Distance Limitations – Edward Kirwin III / 777 SW 6th Street

Attached for your review is an application from Edward Kirwin III / 777 SW 6th Street (see **Exhibit 1**).

APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking to install four (4) triple-pile clusters extending a maximum of 62' into the New River from the property line. The distances these structures extend from the bulkhead into the South Fork of the New River are shown in the survey in **Exhibit 1** and summarized in Table 1 below:

TABLE 1

PROPOSED STRUCTURE	STRUCTURE DISTANCE FROM PROPERTY LINE	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIRING WAIVER
Triple Pile Cluster	62'	25'	37'
Triple Pile Cluster	62'	25'	37'
Triple Pile Cluster	62''	25'	37'
Triple Pile Cluster	62'	25'	37'

The City's Unified Land and Development Regulations (UDLR), Section 47-19.3.D. limits the maximum distance of dolphin or mooring pilings to 30% of the width of the waterway, or 25', whichever is less. Section 47.19.3.E authorizes the City Commission to waive this limitation based upon a finding of extraordinary circumstances. The applicant's Summary Description specifies the following justifications:

1. Proposed structures are necessary to safely moor resident's vessels, especially during high wind events and severe weather.
2. Proposed structures are necessary to protect resident's vessels from high wave energy from excessive boat wakes along the New River.

PROPERTY LOCATION AND ZONING

The property is located within the Tarpon River RD-15 Residential Single Family / Duplex Medium Density District. It is situated on the southern shore of the South Fork of the New River where the overall width of the waterway from wet face to wet face is identified as +/- 250'.

RECOMMENDATIONS

Should the Marine Advisory Board consider approval of the application, the resolution under consideration for approval by the City Commission should include at least the following as prescribed in the ULDR and City Code of Ordinances:

1. The applicant is required to comply with all applicable building and zoning regulations as well as any other Federal and State laws and permitting requirements including the Broward County Environmental Protection and Growth Management Department and the U.S. Army Corps of Engineers.
2. As a general condition of approval and in order to review for final consistency with construction of facilities in accord with this application and City building permits the applicant is required to provide the appropriate City staff with copies of "As Built" drawings from a certified and licensed contractor, and verification of receipt of all applicable Federal and State permits.
3. The applicant is required to install and affix reflector tape to the proposed mooring piles in accord with Section 47.19.3.E of the Unified Land and Development Regulations (ULDR).

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation
Jonathan Luscomb, Marine Facilities Supervisor



June 21, 2022

Marine Advisory Board:
100 North Andrews Avenue
Fort Lauderdale, Florida 33301

Subject: Edward Kirwin III
777 SW 6 ST
Fort Lauderdale, FL 33315

To Whom it May Concern:

Attached is an application from Edward Kirwin for approval for the below.

The project site consists of consists of (3) existing finger piers (2'x16'1", 3'x19', and 2' x19') and (3) existing wood dolphin piles. The proposed project consists of construction of a new 3' x 20' wood finger pier extension to the middle pier (3'x19') on (3) existing piles and (2) new 10" diameter wood dock piles, installation of (4) triple clusters of 12" wood mooring piles, and (5) 12" diameter wood mooring piles which exceeds 25'. The proposed maximum distance is 62' from the property line into the New River.

PROPOSED STRUCTURE	STRUCTURE DISTANCE FROM PROPERTY LINE	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIRING A WAIVER
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'

Sincerely,

The Dock Experts LLC



**777 SW 6 ST
APPLICATION FOR WATERWAY WAIVER**



TABLE OF CONTENTS

	PAGE
I. SUMMARY DESCRIPTION	2
II. WARRANTY DEED	5
III. ORIGINAL SURVEY	8
IV. SITE AERIAL	10
V. SITE PHOTOGRAPHS	12
VI. PROJECT PLANS	18
VII. DISTANCE EXHIBIT	23
VIII. EXISTING WAIVERS IN THE VICINITY	25



EXHIBIT I
SUMMARY DESCRIPTION



Summary Description

777 SW 6 ST, Fort Lauderdale, FL 33315

The project site is located along the New River at 777 SW 6 St, in Section 10, Township 50, Range 42, in the City of Fort Lauderdale Broward County, Florida.

The property is located along the New River, which is a tidal water. The nearest direct connection to the Atlantic Ocean is about 3 miles to the southeast at the Port Everglades Inlet. As the project site is located along the New River, the incoming tidal waters (flood) at the site move to the west and the outgoing waters (ebb) move to the east.

The project site consists of consists of (3) existing finger piers (2'x16'1", 3'x19', and 2' x19') and (3) existing wood dolphin piles. The proposed project consists of construction of a new 3' x 20' wood finger pier extension to the middle pier (3'x19') on (3) existing piles and (2) new 10" diameter wood dock piles, installation of (4) triple clusters of 12" wood mooring piles, and (5) 12" diameter wood mooring piles which exceeds 25'. The proposed maximum distance is 62' from the property line into the New River. As these distances are over the allowable 25' distance into the waterway from the property line, the proposed finger pier extension and mooring piles will require a variance waiver. The permitted distance without waiver is 25'. The proposed distance requiring a waiver is 37'.

The proposed structures have been approved by Broward County Environmental Protection & Growth Management Department. The approved license GL-FTL2106-098 was issued 7/19/2021.

The following four (4) matters provide justification for this waiver request:

1. All structures and piles will not exceed 30% of the width of the waterway.
2. Due to the extraordinary width of the waterway at this location from wetface to wetface (+/- 250'), the proposed project will not impede navigation within the New River.
3. The proposed structures are necessary for safely mooring resident's vessels, especially during high wind events and severe weather.
4. The proposed structures are also necessary to protect the resident's vessels from high wave energy from excessive boat wakes along the New River.



If this waiver is approved, the applicant will comply with all necessary construction requirements stated in Section 47-19.3(e).

The City of Fort Lauderdale Code Section 47-19.3 (e) The City Commission may waive the limitations of Sections 47-19.3.(c), 47-19.3.(d) and 47-39.A.1.b.(12).(a) and 47-39.A.1.b.(12).(b) under extraordinary circumstances, provided permits from all governmental agencies, as required, are obtained after approval of the City Commission, after a public hearing and notification to property owners within three hundred (300) feet. In no event shall the extension exceed thirty (30) percent of the width of the waterway and no variance may be approved by the Board of Adjustment or other agency permitting an extension beyond the thirty percent (30%) limitation. Reflector tape shall be affixed to and continually maintained on all mooring or dolphin piles authorized under this subsection to extend beyond the limitations provided in subsection (d). The reflector tape must be formulated for marine use and be in one (1) of the following uniform colors: international orange or iridescent silver. On all such piles, the reflector tape shall be at least five (5) inches wide and within eighteen (18) inches of the top of the pile.

PROPOSED STRUCTURE	STRUCTURE DISTANCE FROM PROPERTY LINE	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIRING A WAIVER
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Clusters of (3) 12' DIA. Mooring Piles	62'	25'	37'



EXHIBIT II
WARRANTY DEED

Prepared by and return to:
JOHN E. AURELIUS, ESQ.
JOHN E. AURELIUS, PA
4367 N. Federal Hwy, #101
Ft Lauderdale, Florida 33308
(954) 772 8222
Parcel ID #: 5042-10-40-0030

QUIT CLAIM DEED

This Deed, made ^{27TH} day of December, 2016, between Edward J. Kirwin and Betty G. Kirwin, husband and wife, whose address is 811 SW 6th Street, Fort Lauderdale, Florida 33315, Grantors and Edward John Kirwin, III, a single man, whose address is 777 SW 6th Street, Fort Lauderdale, Florida 33315, Grantee.

The Grantors, in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations, to the Grantors in hand paid by the Grantee, the receipt of which is hereby acknowledged, have granted, bargained, and sold to the Grantee and Grantee successors and assigns forever all of their right, title and interest in the following described land situate in Broward County, Florida:

The West 1/2 of Lot 4 and all of Lot 5, SEAWANNA, a resubdivision of part of Block 35 of the Town of Fort Lauderdale, according to the Plat thereof, recorded in Plat Book 7, Page 37, together, with vacated right of way adjacent thereto, of the Public Records of Broward County, Florida.

To Have and To Hold the same together with all and singular the appurtenances thereunto belonging or in anyway appertaining and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantors, or anyone claiming by, through or under grantors, either in law or equity, for the use, benefit and profit of Grantees forever.

*The preparer of this instrument was neither furnished with, nor requested to review, an abstract on the described property and therefore expresses no opinion of title.

IN WITNESS WHEREOF, Grantors hereunto set their hand and seal the date first above written.

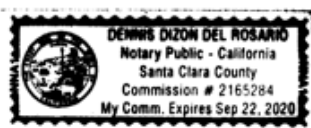
Signed, sealed and delivered
In the presence of:
Witness: Vince J. Scarpio
Marla L. Seaglio
Witness: Marla L. Seaglio

Edward J. Kirwin
Edward J. Kirwin
Betty G. Kirwin
Betty G. Kirwin

STATE OF California
COUNTY OF Santa Clara

I HEREBY CERTIFY that the foregoing instrument was acknowledged before me, an officer duly authorized in the State and County aforesaid to take acknowledgments on 27 day of December, 2016, by Edward J. Kirwin and Betty G. Kirwin, husband and wife, Grantors, who have produced their NY and FL driver's licenses as identification.

(seal)



Dennis Del Rosario
Notary Public: Dennis Del Rosario
My Commission expires: 9-22-20

THE DOCK EXPERTS



MARTY KIAR
BR  **WARD**
 COUNTY
 PROPERTY APPRAISER

Site Address	777 SW 6 STREET, FORT LAUDERDALE FL 33315	ID #	5042 10 40 0030
Property Owner	KIRWIN, EDWARD JOHN III	Millage	0312
Mailing Address	777 SW 6 ST FORT LAUDERDALE FL 33315-1035	Use	01
Abbr Legal Description	SEAWANNA SUB PT BLK 35 FT LAUDERDALE 7-37 B W1/2 OF LOT 4 & ALL OF LOT 5, TOG/W N1/2 OF VACA SW 6 ST AS DESC IN ORD C-91-49 LYING S OF & ADJ TO SAID PAR		

The just values displayed below were set in compliance with [Sec. 193.011, Fla. Stat.](#), and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

* 2021 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021*	\$495,610	\$316,060	\$811,670	\$778,450	
2020	\$495,610	\$316,060	\$811,670	\$767,710	\$13,973.56
2019	\$477,170	\$308,460	\$785,630	\$750,450	\$13,497.12

2021* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$811,670	\$811,670	\$811,670	\$811,670
Portability	0	0	0	0
Assessed/SOH 17	\$778,450	\$778,450	\$778,450	\$778,450
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$728,450	\$753,450	\$728,450	\$728,450

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
12/27/2016	QCD-T	\$100	114126817	\$27.00	18,356	SF
10/11/2013	WD-Q	\$790,000	111870703			
10/1/1990	WD	\$292,000	17885 / 532			
10/1/1988	WD	\$255,000				
3/1/1985	WD	\$165,000				
				Adj. Bldg. S.F. (Card, Sketch)		2046
				Units/Beds/Baths		1/2/2
				Eff./Act. Year Built: 1963/1962		

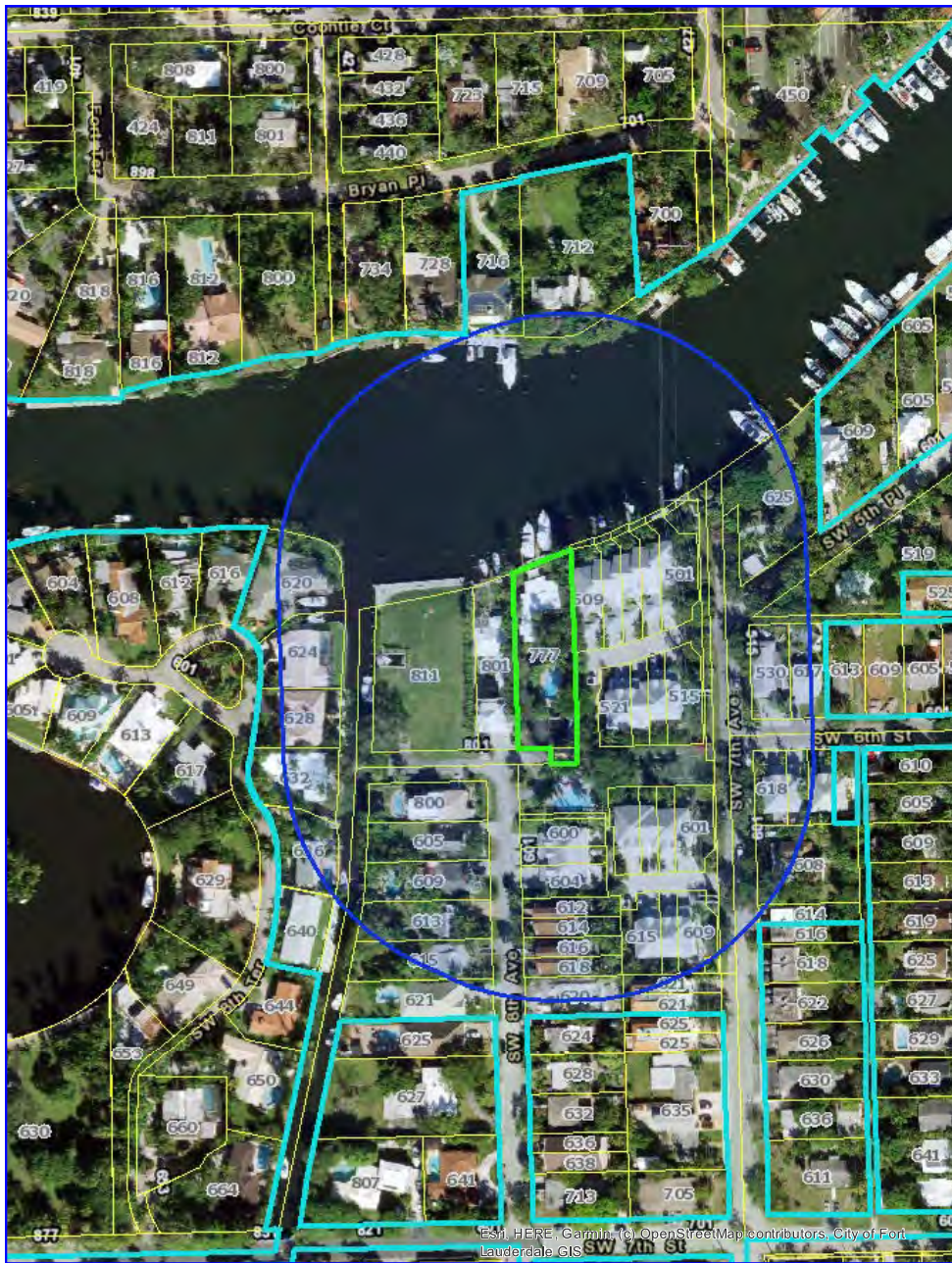
Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



EXHIBIT III
ORIGINAL SURVEY

EXHIBIT IV
SITE AERIAL

SITE AERIAL



ESRI, HERE, Garmin, (c) OpenStreetMap contributors, City of Fort Lauderdale GIS



CITY OF FORT LAUDERDALE
Map Created by GIS Mailer

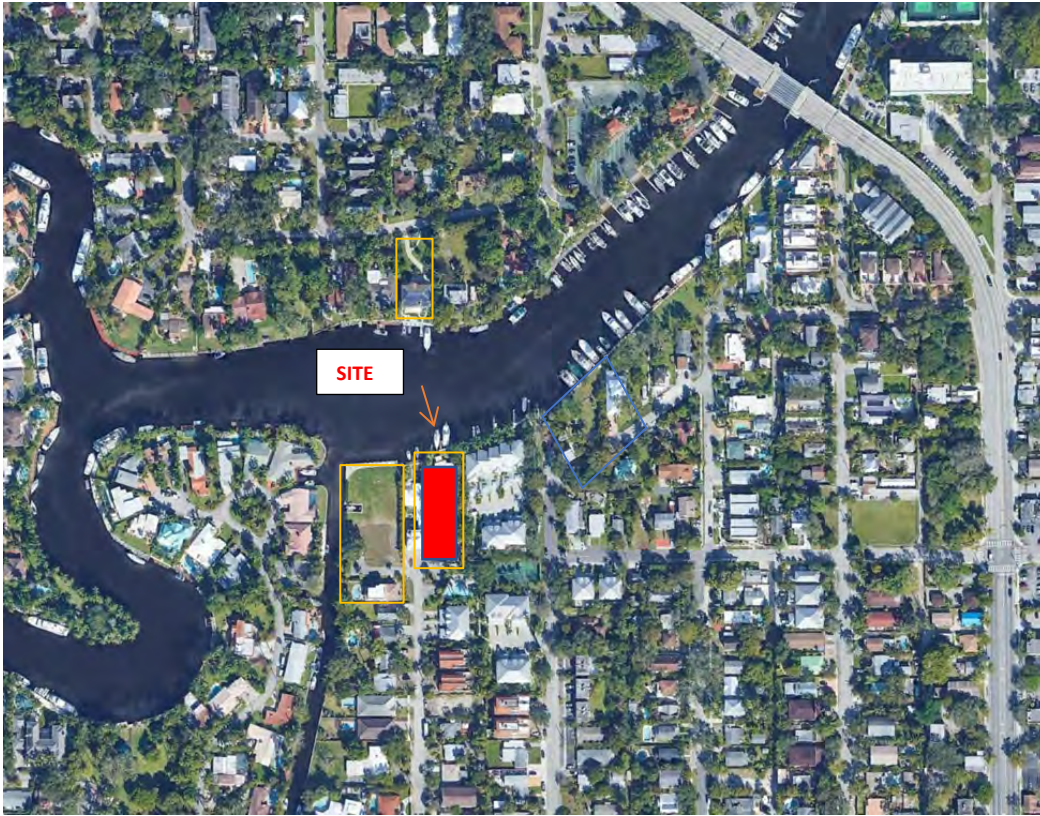
777 sw 6 street



GIS
Fort Lauderdale



EXHIBIT V
SITE PHOTOGRAPHS



THE DOCK EXPERTS



THE DOCK EXPERTS



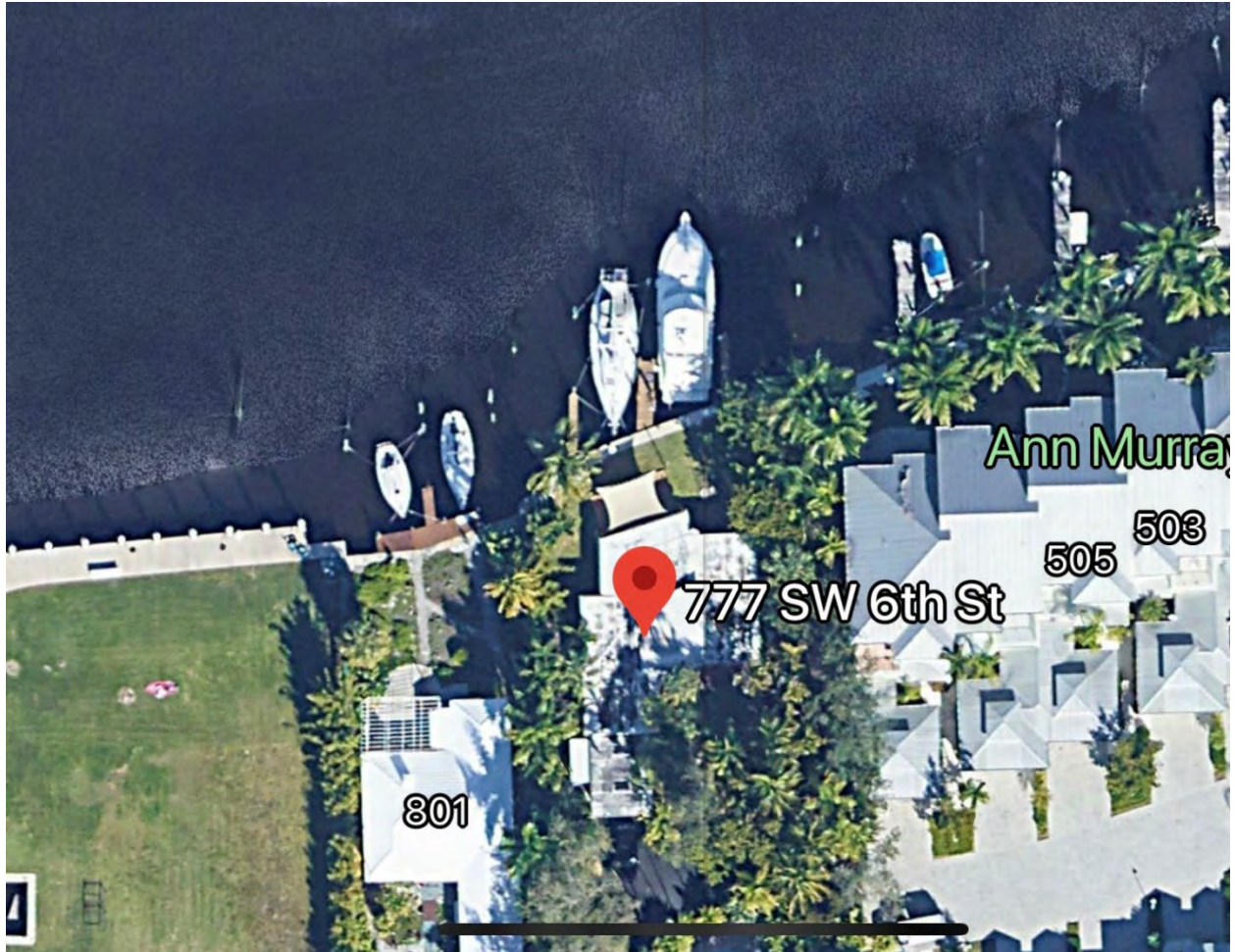




EXHIBIT VI
PROJECT PLANS

DES
 DYNAMIC ENGINEERING SOLUTIONS
 351 S. Cypress Road, #203
 Pompano Beach, FL 33060
 Phone: 954-781-7140
 Fax: 954-781-7141
 Email: des_engineering@earthlink.net
 E.R. F. 288P

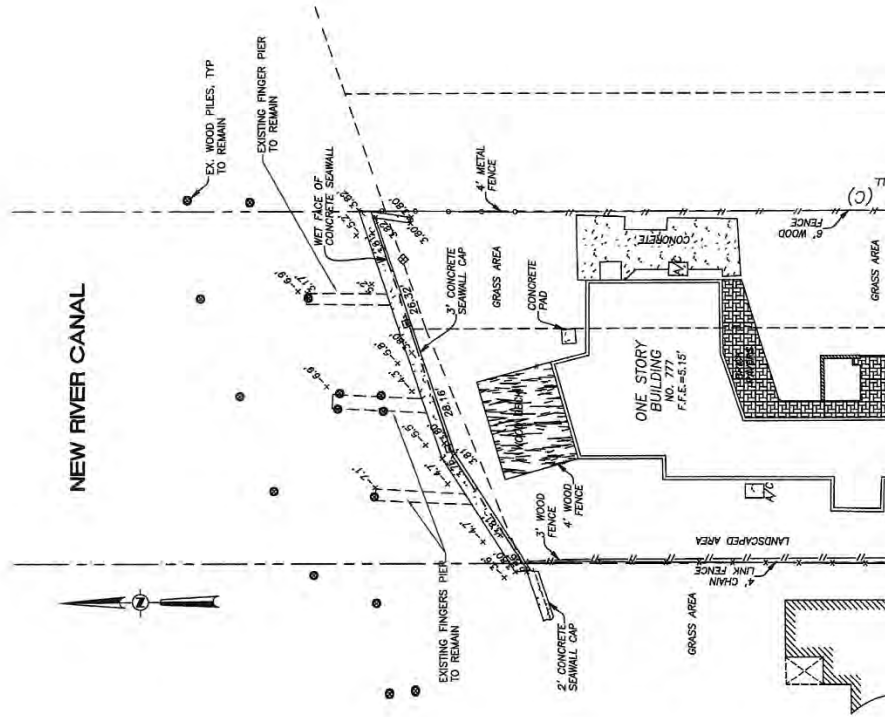
Kirwin Residence
 777 SW 6TH STREET
 FORT LAUDERDALE, FLORIDA

JOHN H. ONSLOR
 P.E. 87733

EXISTING SITE PLAN

Call No. Number: 777-F-DES-009
 Scale: as noted
 Project No.:
 Design: J.C.
 Drawn: E.L.N.
 Checked: J.C.
 Date: 2/7/21

Sheet No. **S1**



Existing Site Plan
 Scale: 1/8"=1'-0"

DES
 DYNAMIC ENGINEERING SOLUTIONS
 351 S. Cypress Road, #303
 Fort Lauderdale, FL 33309
 Phone - 954-545-1740
 Fax - 954-545-1721
 www.dockexperts.com
 E.R. # 28829

Kirwin Residence
 777 SW 6TH STREET
 FORT LAUDERDALE, FLORIDA

JOHN H. OSBORN
 P.E. 05233

PROPOSED SITE PLAN	
Client File Number:	777-F-PEB-049
Scale:	as noted
Project No.:	SEM-777-2P
Design J.O.:	
Drawn J.O.:	
Checked J.O.:	
Date:	4-7-21
Sheet No.:	82

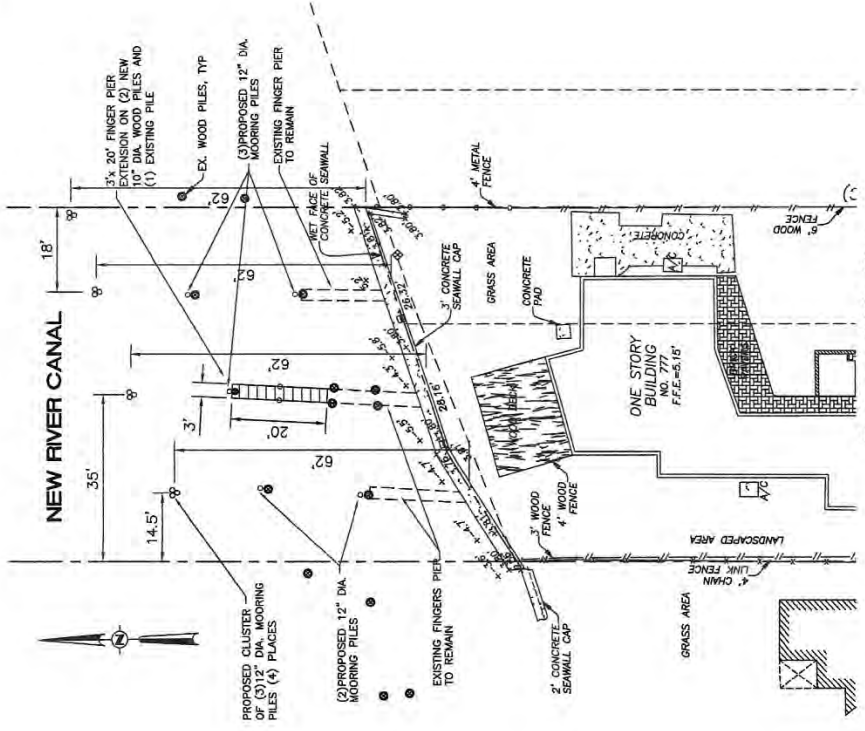
SCOPE OF WORK

1. Construction to follow 2020 Florida Building Code, 7th Edition and amendments as applicable.
2. Contractor shall verify all existing conditions and utilities prior to commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the drawings shall be resolved by the contractor. The contractor shall be responsible for all lines, elevations, and measurements in connection with their work.
3. Contractor or customer to pay for all permit fees, inspections, and testing.
4. Contractor to verify location of existing utilities prior to commencing work.
5. Contractor is responsible for all means, methods, and procedure of work.
6. Contractor to obtain all permits as necessary from all local, state, and federal agencies.
7. Contractor to properly fence and secure area with barricades.
8. Contractor to submit all drawings and specifications to the Engineer prior to commencement of work. All unanticipated or unforeseen conditions and/or new construction conditions shall be submitted to the Engineer prior to commencement of work.
9. All new materials and/or processes shall be provided to match existing materials.
10. Licensed contractor shall use all possible care to protect all existing materials.
11. Licensed contractor shall be responsible for all existing materials.
12. The licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
13. All construction to be all responsible of each administrative body having jurisdiction in each participating jurisdiction.
14. All elevations shown refer to national geodetic vertical datum (NOVD) of 1928 or the North American vertical datum (NAVD) of 1985, whichever is specifically indicated.
15. Turnstile Barriers are to surround all in water construction areas during all construction activities.


- FINGER PIER AND MOORING PILES**
16. Contractor to provide and install (1) 3" x 20" wood finger pier extension as (1) existing pier and (2) New 10" dia. wood sock piles, and install (3) triple clusters of 12" dia. wood mooring piles and (5) 12" dia. wood mooring piles, as follows:
 17. Contractor to provide end drive (2) New 10" dia., wood sock piles.
 18. Contractor to provide and drive (5) New 12" dia. triple cluster wood mooring piles.
 19. Contractor to provide and drive (5) New 12" dia. wood mooring piles.
 20. Deck piles are to be turned with pressure treated 1x2s and topped with existing framing to be A/C #2, pressure treated lumber secured with stainless steel hardware, using thru-bolt, lag-bolts, and double sub-streper framing system.
 21. All piles to be 2x6 Ultra Tropic® decking boards secured with (2) 3/8" screws per stringer.

SHEET INDEX

- 51 EXISTING SITE PLAN
- 52 PROPOSED SITE PLAN
- 53 DOCK DETAILS
- 54 SPECIFICATIONS



Proposed Site Plan
 Scale: 1"=20'-0"



DES
DYNAMIC ENGINEERING SOLUTIONS
131 S. Orange Ave., Suite 5000
Orlando, FL 32801
Phone: 854-545-1740
Fax: 854-545-1741
Email: info@dockexperts.net
E.B. # 28329

Kirwin Residence
777 SW 6TH STREET
FORT LAUDERDALE, FLORIDA

LEGEND

- Pile Locations
- ▨ Dredge Or Fill Area
- ⊖ Mooring Buoys w/Anchor
- ⊖ Anchor
- ⊖ Barrier Movement Due to Current Action

NOTES

- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
- Location and spacing of barriers dependent on current velocities.
- Deployment of barrier around pile location may vary to accommodate navigation.
- Navigation may require segmenting barrier during construction operations.
- Information see Section 104 of the Standard Specifications.

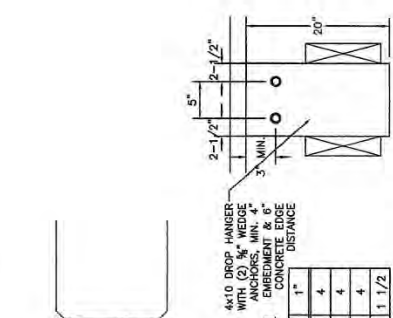
PILE CONNECTION

Bolt Diameter	1/2"	5/8"	3/4"	1"
E = End Dist = 4D	2	2	1/2"	3
L = Edge Dist. Loaded = 4D	2	2	1/2"	3
S = Spacing = 4D	2	2	1/2"	3
U = End Dist. Unloaded = 1.5D	3/4	15/16	1	1/8

HANGER CONNECTION

HANGER CONNECTION	CONCRETE EDGE DISTANCE
1/2"	5/8"
3/4"	1"

Drop Hanger Detail
not to scale



Turbidity Barrier
NOTES

- Existing Utilities: Locate existing underground utilities in the areas to be excavated and provide adequate means of protection during earthwork operations.
- Should uncharted or inaccurately charted piping or other utilities be located during excavation, the Contractor shall immediately notify the Engineer and the Utility Company. The Contractor shall stop work until the Utility Company services and facilities the excavation. Repair damaged utilities to satisfaction of utility owner.
- Warning Lights: Operate warning lights as recommended by authorities having jurisdiction. Protect structures against settlement movements and undermining roadway and other hazards created by earthwork operations. Provide adequate drainage and sediment control measures during construction or until final control becomes effective.
- Excavation: Excavations shall comply with the latest FDOT Standard Traffic Design Standards, latest edition.
- Standard Indexes #102 and #103 of the Florida Department of Transportation Roadway and Traffic Design Standards latest edition.

STRUCTURAL TIMBER NOTES

- All decking shall be #1 Grade, pressure treated Southern Pine unless otherwise noted.
- All decking shall be #1 Grade, pressure treated Southern Pine unless otherwise noted.

PILE DRIVING NOTES

- Plug driving operations shall be observed by a special inspector. The special inspector shall determine the approximate length required to reach design capacity.
- Piles shall be driven using an approved cushion block consisting of a minimum of 100 lbs. of weight. The weight of the cushion block shall be determined by the hammer energy.
- Piles shall be driven to a minimum of 5 feet into the soil.
- Piles shall be driven with a drop hammer or gravity hammer.
- Piles shall be driven with a maximum of 3000 pounds, and the fall of the hammer shall not exceed 8 feet.
- Piles shall be driven with a vibration of not more than 1/2" per foot.
- Piles shall be driven with a maximum vibration of the head of the pile from the position shown on the plans of not more than 3 inches.
- High resistance to driving, as determined by the structural engineer or special inspector may require that the pile be pre-drilled or pre-punched holes. The pile shall meet the full length of penetration by driving.

Drop Hanger Requirements
not to scale



EXHIBIT VII
DISTANCE EXHIBIT

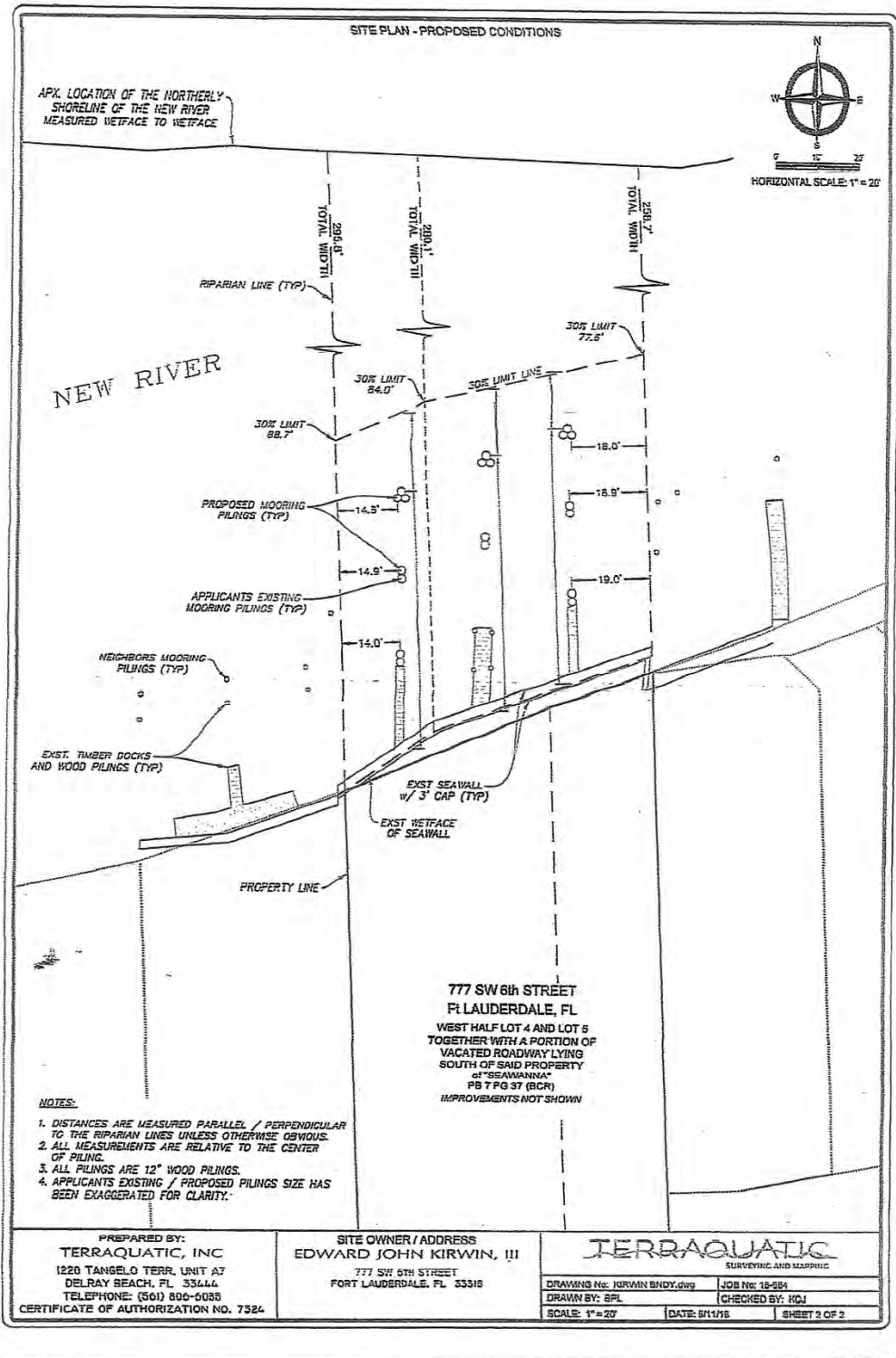




EXHIBIT VIII

EXISTING WAIVERS IN THE VICINITY

EXISTING WAIVERS IN THE VICINITY



ADDRESS	MAXIMUM DISTANCE
716 Bryan Place	62'
777 SW 6 St	38'
811 SW 6 St	47.1'
625 SW 5 PL (CITY REVIEW)	55.6'
Subject Site – 777 SW 6 St	55'

ITEM VIII

MEMORANDUM MF NO. 22-12

DATE: June 22, 2022
TO: Marine Advisory Board Members
FROM: Andrew Cuba, Marine Facilities Manager
RE: July 7, 2022 MAB – Application - Dock Waiver of Distance Limitations – Christina Kirwin / 801 SW 6th Street

Attached for your review is an application from Christina Kirwin / 801 SW 6th Street (see **Exhibit 1**).

APPLICATION AND BACKGROUND INFORMATION

The applicant is seeking to install three (3) triple-pile clusters extending a maximum of 62' into the New River from the property line. The distances these structures extend from the property line into the South Fork of the New River are summarized in Table 1 below:

TABLE 1

PROPOSED STRUCTURE	STRUCTURE DISTANCE FROM PROPERTY LINE	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIRING WAIVER
Triple Pile Cluster	62'	25'	37'
Triple Pile Cluster	62'	25'	37'
Triple Pile Cluster	62'	25'	37'

The City's Unified Land and Development Regulations (UDLR), Section 47-19.3.D. limits the maximum distance of dolphin or mooring pilings to 30% of the width of the waterway, or 25', whichever is less. Section 47.19.3.E authorizes the City Commission to waive this limitation based upon a finding of extraordinary circumstances. The applicant's Summary Description specifies the following justifications:

1. Proposed structures are necessary to safely moor resident's vessels, especially during high wind events and severe weather.
2. Proposed structures are necessary to protect resident's vessels from high wave energy from excessive boat wakes along the New River.

PROPERTY LOCATION AND ZONING

The property is located within the Tarpon River RD-15 Residential Single Family / Duplex Medium Density District. It is situated on the southern shore of the South Fork of the New River where the overall width of the waterway from wet face to wet face is identified as +/- 250'.

RECOMMENDATIONS

Should the Marine Advisory Board consider approval of the application, the resolution under consideration for approval by the City Commission should include at least the following as prescribed in the ULDR and City Code of Ordinances:

1. The applicant is required to comply with all applicable building and zoning regulations as well as any other Federal and State laws and permitting requirements including the Broward County Environmental Protection and Growth Management Department and the U.S. Army Corps of Engineers.
2. As a general condition of approval and in order to review for final consistency with construction of facilities in accord with this application and City building permits the applicant is required to provide the appropriate City staff with copies of "As Built" drawings from a certified and licensed contractor, and verification of receipt of all applicable Federal and State permits.
3. The applicant is required to install and affix reflector tape to the proposed mooring piles in accord with Section 47.19.3.E of the Unified Land and Development Regulations (ULDR).

AC

Attachment

cc: Enrique Sanchez, Deputy Director of Parks and Recreation
Jonathan Luscomb, Marine Facilities Supervisor



2670 N Federal Hwy
Lighthouse Point, Florida 33064
(754)200-4852

June 21, 2022

Marine Advisory Board:
100 North Andrews Avenue
Fort Lauderdale, Florida 33301

Subject: Christina Kirwin
801 SW 6 ST
Fort Lauderdale, FL 33315

To Whom it May Concern:

Attached is an application from Christina Kirwin for approval for the below.

The existing project consists of 5'x40' dock and finger pier and 3 existing wood dolphin piles. The proposed project consists of construction of a new 3'x20' wood finger pier on 4 10" diameter wood dock piles, (3) 12" diameter mooring piles (3) places. The applicant is requesting to approval for the installation of three dolphin clusters of (3) 12" DIA Mooring Piles. The proposed maximum distance is 62' from the property line into the New River.

PROPOSED STRUCTURE	STRUCTURE DISTANCE FROM PROPERTY LINE	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIREING A WAIVER
Dolphin Cluster of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Cluster of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Cluster of (3) 12' DIA. Mooring Piles	62'	25'	37'

Sincerely,

The Dock Experts LLC



**801 SW 6 ST
APPLICATION FOR WATERWAY WAIVER**



MARINE FACILITIES

APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

APPLICATION FORM
(Must be in Typewritten Form Only)

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: **Christina Kirwin**
EMAIL: **hudshore@yahoo.com**

TELEPHONE NO: **914.274.7164**

2. APPLICANT'S ADDRESS (if different than the site address): **N/A**

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST: The applicant requests a waiver for the installation of three dolphin clusters of (3) 12" DIA Mooring Piles. Extending a maximum distance of 60' from the property line into the New River.

4. SITE ADDRESS: **801 SW 6 ST, FORT LAUDERDALE, FL 33315** ZONING: **RD-15**
LEGAL DESCRIPTION AND FOLIO NUMBER: **SEAWANNA SUB PT BLK 35 FT LAUDERDALE 7-37 LOT 6**
ID#**504210400040**

THE DOCK EXPERTS

THE DOCK EXPERTS

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications).

Deed, Project Plans, Site Aerial, Summary Description, Site Photographs, Survey

C. Davis
Applicant's Signature

6/27/22
Date

The sum of \$ _____ was paid by the above-named applicant on the _____ of _____, 20____ Received

by: _____
City of Fort Lauderdale

=====
Only=====For Official City Use

Marine Advisory Board Action
Formal Action taken on _____

Commission Action
Formal Action taken on _____

Recommendation _____
Action _____

- V. SITE PHOTOGRAPHS
- VI. PROJECT PLANS
- VII. EXISTING WATERS IN THE VICINITY

THE DOCK EXPERTS

TABLE OF CONTENTS

	PAGE
I. SUMMARY	6
II. WARRANTY DEED	9
III. ORIGINAL SURVEY	13
IV. SITE AERIAL	15
V. SITE PHOTOGRAPHS	17
VI. PROJECT PLANS	21
VII. EXISTING WAIVERS IN THE VICINITY	24



EXHIBIT I

SUMMARY



Summary Description

801 SW 6 ST, Fort Lauderdale, FL 33315

The project site is located along the New River at 801 SW 6 St, in Section 10, Township 50, Range 42, in the City of Fort Lauderdale Broward County, Florida

The property is located along the New River, which is a tidal estuary. The nearest direct connection to the Atlantic Ocean is about 3 miles to the southeast at the Port Everglades Inlet. As the project site is located along the New River, the incoming tidal waters (flood) at the site move to the west and the outgoing waters (ebb) move to the east.

The existing project consists of 5'x40' dock and finger pier and 3 existing wood dolphin piles. The proposed project consists of construction of a new 3'x20' wood finger pier on 4 10" diameter wood dock piles, (3) 12" diameter mooring piles (3) places. The applicant is requesting to approval for the installation of three dolphin clusters of (3) 12" DIA Mooring Piles. The proposed maximum distance is 62' from the property line into the New River. As these distances are over the allowable 25' distance into the waterway from the property line, the proposed finger pier extension and mooring piles will require a variance waiver. The permitted distance without the waiver is 25'. The proposed distance requiring a waiver is 37'.

The proposed structures have been approved by Broward County Environmental protection & Growth Management Department. The approved license GL-FTL2106-040 was issued 11/17/2021.

The following provide justification for this waiver request:

1. All structures and piles will not exceed 30% of the width of the waterway.
2. Due to the extraordinary width of the waterway at this location from wetface to wetface (+/- 250'), the proposed project will not impede navigation within the New River.
3. The proposed structures are necessary for safely mooring resident's vessels, especially during the high wind events and severe weather.
4. The proposed structures are also necessary to protect the resident's vessels from high wave energy from excessive boat wakes along the New River.

If this waiver is approved, the applicant will comply with all necessary construction requirements stated in Section 47-19.3(e).



The City of Fort Lauderdale Code Section 47-19.3 (e) The City Commission may waive the limitations of Sections 47-19.3.(c), 47-19.3.(d) and 47-39.A.1.b.(12).(a) and 47-39.A.1.b.(12).(b) under extraordinary circumstances, provided permits from all governmental agencies, as required, are obtained after approval of the City Commission, after a public hearing and notification to property owners within three hundred (300) feet. In no event shall the extension exceed thirty (30) percent of the width of the waterway and no variance may be approved by the Board of Adjustment or other agency permitting an extension beyond the thirty percent (30%) limitation. Reflector tape shall be affixed to and continually maintained on all mooring or dolphin piles authorized under this subsection to extend beyond the limitations provided in subsection (d). The reflector tape must be formulated for marine use and be in one (1) of the following uniform colors: international orange or iridescent silver. On all such piles, the reflector tape shall be at least five (5) inches wide and within eighteen (18) inches of the top of the pile.

PROPOSED STRUCTURE	STRUCTURE DISTANCE FROM PROPERTY LINE	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIREING A WAIVER
Dolphin Cluster of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Cluster of (3) 12' DIA. Mooring Piles	62'	25'	37'
Dolphin Cluster of (3) 12' DIA. Mooring Piles	62'	25'	37'



EXHIBIT II
WARRANTY DEED



Broward County Commission
Deed Doc Stamps: \$0.00

Prepared by and return to:
Marianna R. Seiler, Esq.
Tripp Scott, P.A.
110 SE 6th Street, Fifteenth Floor
Fort Lauderdale, FL 33301

File Number: 998158.0003
Parcel ID Number: 504210400040

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 19th day of November, 2020 between **THREE RAVENS LIMITED, LLC**, a Florida limited liability company, with a post office address of 801 SW 6th Street, Fort Lauderdale, FL 33315, grantor, and **CHRISTINA KIRWIN**, whose post office address is 801 SW 6th Street, Fort Lauderdale, FL 33315, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Broward County, Florida, to-wit:

Lot 6 of SEAWANNA, a subdivision, according to the plat thereof recorded in Plat Book 7, Page 37 of the Public Records of Broward County, Florida

Subject to taxes for 2020 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any, without the intention of reimposing same.

This instrument has been prepared without benefit of a title search, title examination or attorney's opinion of title and no title insurance is being issued to or insuring any property hereto. Preparer is making no representations or warranties whatsoever regarding title marketability or conditions of the property. Parties hereto agree to hold harmless and indemnify Preparer regarding any liability arising from this conveyance as it affects the parties involved in this conveyance or anyone claiming title or any interest in the property under the parties to this conveyance.

To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

NOTE TO RECORDER: Pursuant to *Crescent Miami Center, LLC v. Department of Revenue*, 903 So. 2d 913 (Fla. 2005), THERE ARE NO DOCUMENTARY STAMPS DUE IN CONNECTION WITH THIS CONVEYANCE AS SUCH TRANSFER IS A CHANGE IN THE FORM OF THE OWNERSHIP OF THE PROPERTY WITHOUT AN EXCHANGE OF VALUE.

[Signatures to appear on the following page.]


1875580v1 998158.0003


DoubleTime®

THE DOCK EXPERTS

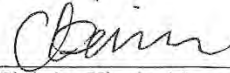
IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



Print Name: Norlene C. Roberts


Print Name: Jorge Padron

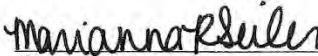
THREE RAVENS LIMITED, LLC, a Florida limited liability company

By: 
Christina Kirwin, Manager

STATE OF FLORIDA)
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me by means of physical presence or ___ online notarization this 19th day of November, 2020, by **Christina Kirwin**, as Manager of Three Ravens Limited, LLC, a Florida limited liability company, who is ___ personally known or produced NY ID  as identification.




(Signature of Notary Public-State of Florida)

Marianna R. Seiler
(Print, Type, or Stamp Commissioned Name of Notary Public)

THE DOCK EXPERTS



MARTY KIAR
BROWARD COUNTY
 PROPERTY APPRAISER

Site Address	801 SW 6 STREET, FORT LAUDERDALE FL 33315-1066	ID #	5042 10 40 0040
Property Owner	KIRWIN, CHRISTINA	Millage	0312
Mailing Address	801 SW 6 ST FORT LAUDERDALE FL 33315	Use	01
Abbr Legal Description	SEAWANNA SUB PT BLK 35 FT LAUDERDALE 7-37 B LOT 6		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2021 values are considered "working values" and are subject to change.

Property Assessment Values

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021*	\$288,550	\$436,880	\$725,430	\$725,430	
2020	\$288,550	\$777,950	\$1,066,500	\$1,066,500	\$20,246.08
2019	\$288,550	\$580,080	\$868,630	\$565,310	\$9,601.45

2021* Exemptions and Taxable Values by Taxing Authority

	County	School Board	Municipal	Independent
Just Value	\$725,430	\$725,430	\$725,430	\$725,430
Portability	0	0	0	0
Assessed/SOH 21	\$725,430	\$725,430	\$725,430	\$725,430
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$675,430	\$700,430	\$675,430	\$675,430

Sales History

Date	Type	Price	Book/Page or CIN
11/19/2020	QCD-T		116876821
5/30/2019	WD-Q	\$1,185,000	115838428
8/3/2004	QCD	\$100	38084 / 1845
6/24/2002	QCD	\$100	33631 / 431
1/1/1987	WD	\$186,000	14142 / 267

Land Calculations

Price	Factor	Type
\$27.00	10,687	SF
Adj. Bldg. S.F. (Card, Sketch)		2471
Units/Beds/Baths		1/3/2
Eff./Act. Year Built: 2003/2002		

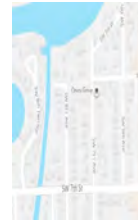
Special Assessments

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
1						1		



EXHIBIT III
ORIGINAL SURVEY

THE DOCK EXPERTS



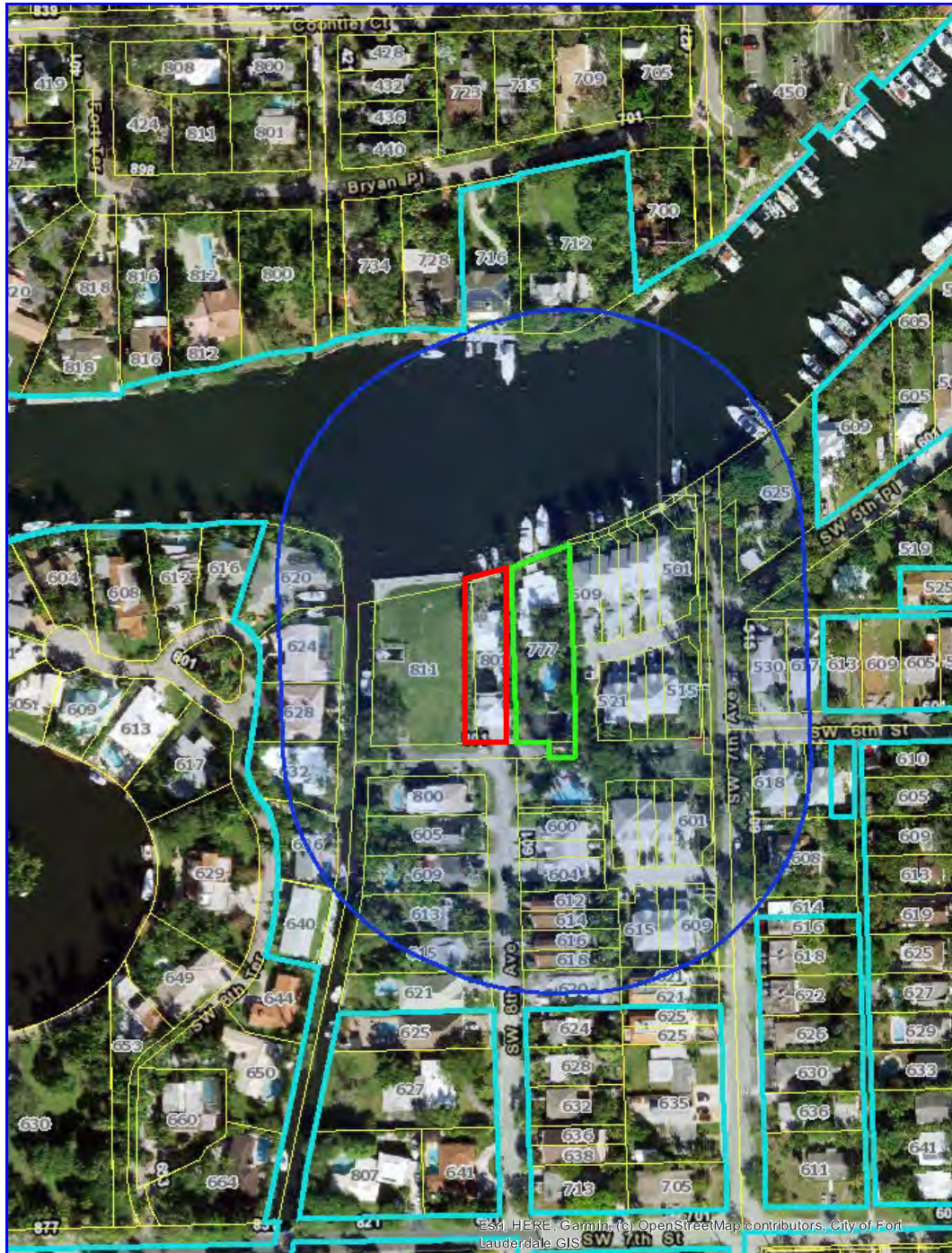
avier De La Rocha
Date: 2020.09.22
15:09:32 -04'00'



EXHIBIT IV

SITE AERIAL

THE DOCK EXPERTS



CITY OF FORT LAUDERDALE
Map Created by GIS Mailer

801 SW 6 St



GIS
Fort Lauderdale



EXHIBIT V

SITE PHOTOGRAPHS

THE DOCK EXPERTS



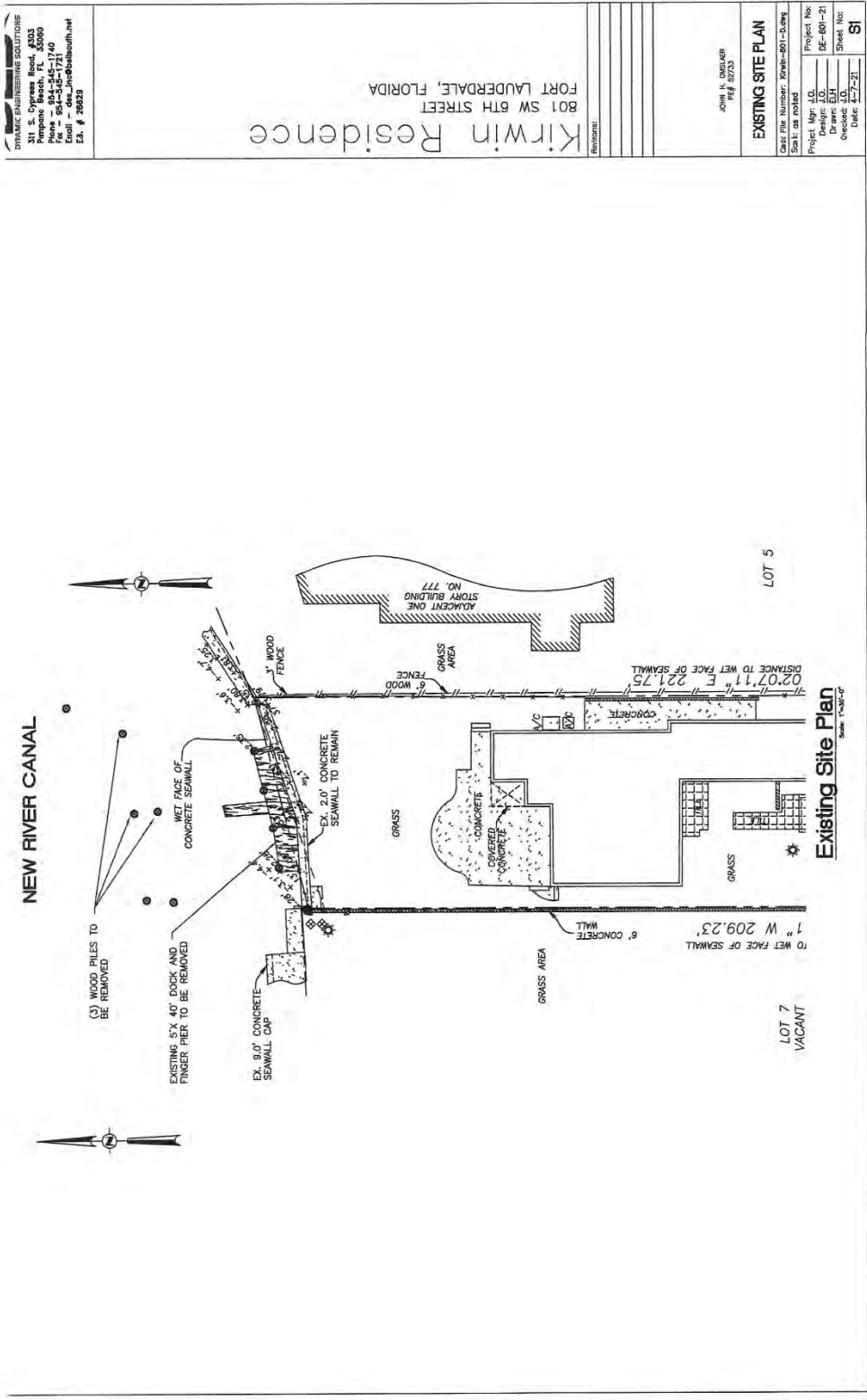
THE DOCK EXPERTS





EXHIBIT VI

PROJECT PLANS



THE DOCK EXPERTS
 1111 S. Cypress Road, #303
 Pompano Beach, FL 33060
 Phone: 305-944-5477
 Fax: 305-944-5477
 Email: den_jacob@dockexperts.net
 E.A. # 26829

Kirwin Residence
 801 SW 6TH STREET
 FORT LAUDERDALE, FLORIDA

JOHN H. SAMPSON P.E. # 87233	
EXISTING SITE PLAN	
Card File Number: Kirwin-001-Dwg Scale: as noted	Project No.: CE-801-21 Project Mgr.: J.O. Drawn: E.M. Checked: J.O. Date: 4-7-21
61	

DEE
 DYNAMIC ENGINEERING SOLUTIONS
 8115 S. Orange Ave., Suite 3000
 Ft. Lauderdale, FL 33309
 Phone: 954-545-1740
 Email: dee@doeckexperts.com
 E.R. / 26823

Kirwin Residence
 801 SW 6TH STREET
 FORT LAUDERDALE, FLORIDA

JOHN A. OSSEER
 1/4/2022

EXISTING SITE PLAN	
Drawn By: J.A.O.	Project No: 2021-001
Checked By: J.A.O.	Sheet No: 82
Date: 1/4/22	

SCOPE OF WORK

1. Contractor to follow 2020 Florida Building Code, 7th Edition and amendments as applicable.
2. Contractor shall verify the existing conditions prior to commencement of the work. Any deviations or omissions shall be brought to the attention of the Engineer prior to the commencement of the work. Contractor and all subcontractors are responsible for the accuracy of the information provided.
3. Do not scale drawings for dimensions.
4. Contractor to coordinate with utility companies for location of existing utilities and existing easements.
5. Contractor to obtain all permits as necessary from all local, state, and federal agencies.
6. Contractor to properly fence and secure site with barricades.
7. Any deviation and/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
8. Contractor shall provide a detailed schedule of work, including start and stop dates, which shall require a revision from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
9. Contractor shall provide a detailed schedule of work, including start and stop dates, and/or adjoining work where practical except as specifically noted herein.
10. Contractor shall use all possible care to protect all existing materials.
11. The licensed contractor to install and remove all shoring and bracing as required for the work.
12. All new work and/or materials shall conform to all requirements of each applicable code and/or regulation.
13. All elevations shown refer to national geodetic vertical datum (NGVD) of 1929 or American Vertical Datum (AVD) of 1988, whichever is specifically specified.
14. All elevations shown refer to national geodetic vertical datum (NGVD) of 1929 or American Vertical Datum (AVD) of 1988, whichever is specifically specified.
15. Tolerance Barriers are to surround all in water construction areas during all construction activities.
16. Contractor to remove and dispose of existing 5", 40' dock end piles, finger pier end piles.
17. Contractor to remove and dispose of (3) wood mooring piles.
18. Contractor to install 50L of pre-cast concrete seawall panels to a minimum penetration of 24" or to bearing rock, in front of existing coral rock seawall.
19. Contractor to provide and drive 12"x12" prestressed concrete king piles and 6"x6" wood piles to a maximum of 10' spacing along 50L span. Piles to be cut off into the bottom of new seawall cap elevation. 20L and epoxy (2) #5 rebar dowels into cut ends of piles.
20. Contractor to tie in reinforcing steel per plans using #3 rebar and #3 rebar stirrups, connecting to reinforced steel cage for new seawall cap across 50L.
21. Contractor to form and pour 22" x 30" x 14" seawall cap with 5,000psi concrete.
22. Contractor to install filter fabric behind seawall.
23. Contractor to backfill behind new seawall with clean, compacted fill per FBC 2020.

SHEET INDEX

- 52 PROPOSED SITE PLAN
- 53 SEAWALL DETAILS
- 54 SEAWALL DETAILS
- 55 DOCK DETAILS
- 56 DOCK DETAILS
- 57 SPECIFICATIONS

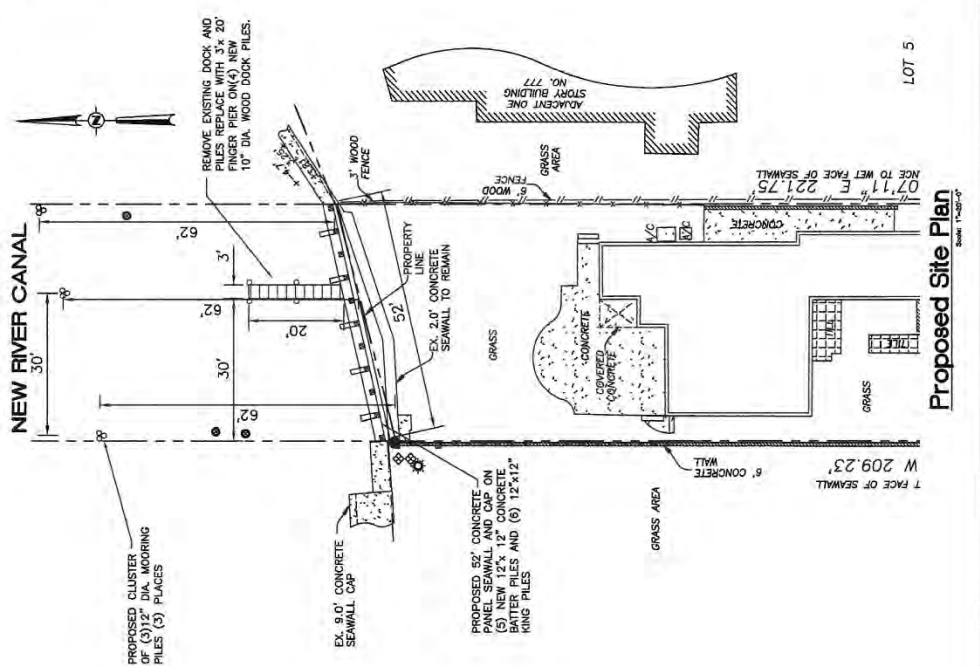
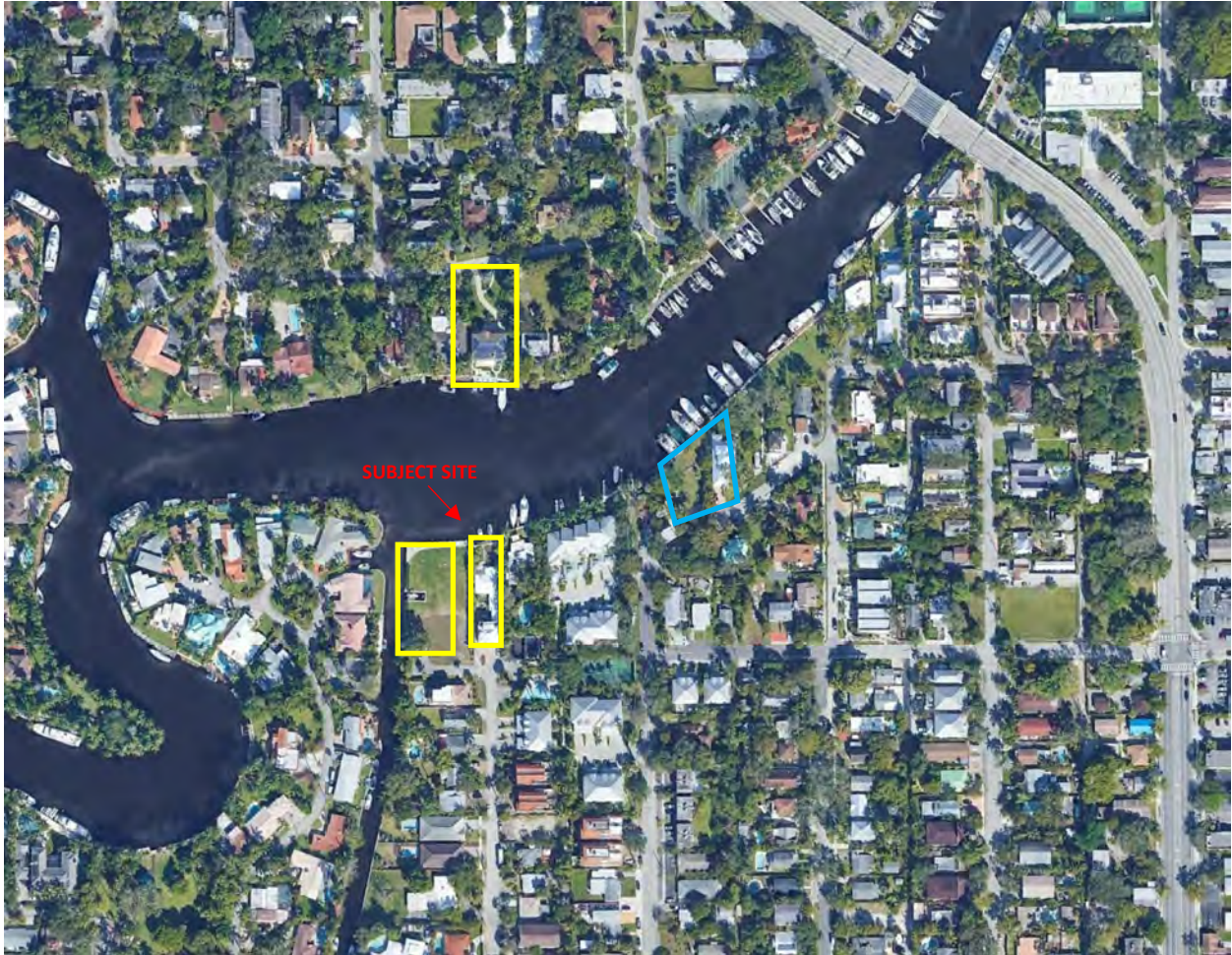




EXHIBIT VII

EXISTING WAIVERS IN THE VICINITY

THE DOCK EXPERTS



ADDRESS	MAXIMUM DISTANCE
716 Bryan Place	62'
801 SW 6 St	38'
811 SW 6 St	47.1'
625 SW 5 PL (CITY REVIEW)	55.6'
Subject Site – 777 SW 6 St	55'

^{THE}
DOCK EXPERTS

