



BOARD OF ADJUSTMENT MEETING NOTICE:

JULY 27, 2021

A Public Hearing will be held before the Board of Adjustment on Wednesday, **August 11, 2021, at 6:00 P.M.**

This meeting will be held in the City Commission Chambers, City Hall, 1st Floor, 100 North Andrews Avenue, to determine whether the following application should be granted:

CASE: PLN-BOA-21070003
OWNER: CARPELO JEBOAM
AGENT: N/A
ADDRESS: 6997 NW 30TH TERRACE; 6995 NW 30TH TERRACE, 6993 NW 30TH TERRACE; 6991 NW 30TH TERRACE, FORT LAUDERDALE, FL 33309

LEGAL DESCRIPTION: PALM-AIRE VILLAGE 3RD SEC ADDN 7 101-27 B A POR OF PAR "A" DESC AS: COMM AT SE COR OF SAID PAR "A", W ALG S/L 125.68, N 10 TO POB, W 35.40 ,N 23.58, NE 9.66, E 28.57, S 30.41 TO POB AKA: UNIT D LYONS TOWNHOMES; PALM-AIRE VILLAGE 3RD SEC ADDN 7 101-27 B A POR OF PAR "A" DESC AS: COMM AT SE COR OF SAID PAR "A", W ALG S/L 90.68, N 10 TO POB, W 35, N 30.41, E 35, S 30.41 TO POB AKA: UNIT C LYONS TOWNHOMES; PALM-AIRE VILLAGE 3RD SEC ADDN 7 101-27 B A POR OF PAR "A" DESC AS: COMM AT SE COR OF SAID PAR "A", W ALG S/L 55.68, N 10 TO POB, W 35, N 30.41, E 35, S 30.41 TO POB AKA: UNIT B LYONS TOWNHOMES; PALM-AIRE VILLAGE 3RD SEC ADDN 7 101-27 B A POR OF PAR "A" DESC AS: COMM AT SE COR OF SAID PAR "A", W ALG S/L 20.28, N 10 TO POB, W 35.40, N 30.41, E 28.57, SE 9.66, S 23.58 TO POB AKA: UNIT A LYONS TOWNHOMES;

ZONING: RMH-25
COMMISSION DISTRICT: 1
REQUESTING: Sec. 47-18.33. B.12.b- Single family dwelling, attached: Townhouses. Driveways.

- Requesting a variance to omit the installation of structural soil related to planting a canopy tree.

Sec. 47-18.33. B.12. c - Single family dwelling, attached: Townhouses. Driveways.

- Requesting a variance to omit the landscaped pervious area, the canopy tree, and the continuous shrub planting.

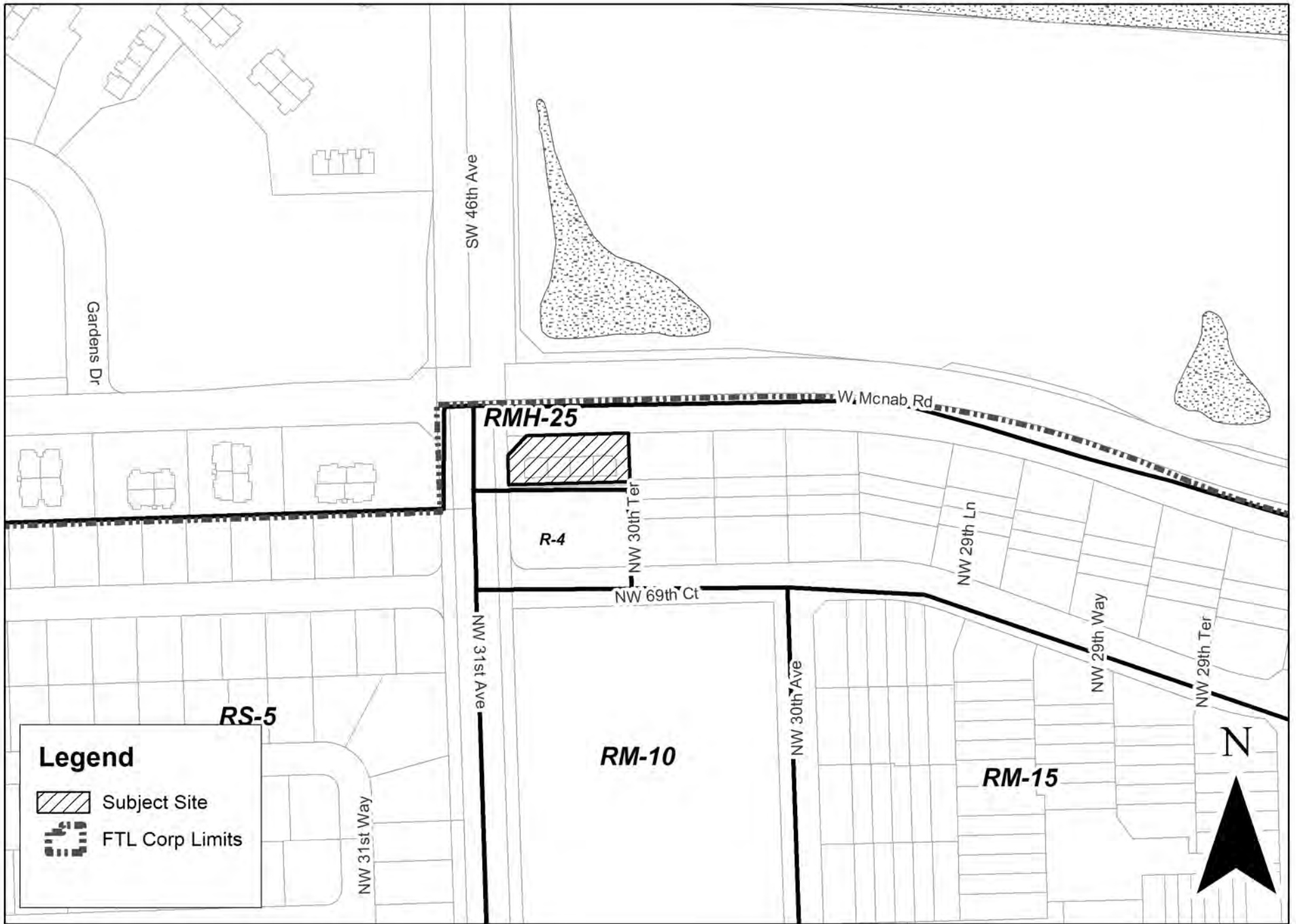
If you have any questions, please feel free to contact me directly at 954-828-6342.

MOHAMMED MALK
ZONING ADMINISTRATOR

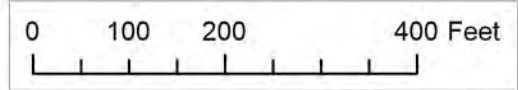
Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.





PLN-BOA-21070003



Graphic Scale



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENTS MEETING

DATE: AUGUST 11, 2021

TIME: 6:00 PM

CASE: PLN-BOA-21070003

Requesting: Sec. 47-18.33.B.12.b. and Sec. 47-18.33.B.12.c. - Single family dwelling, attached: Townhouses. Driveways.

- Sec. 47-18.33.B.12.b.- Requesting a variance to omit the installation of structural soil related to planting a canopy tree.
- Sec. 47-18.33.B.12.c. - Requesting a variance to omit the landscaped pervious area, the canopy tree, and the continuous shrub planting.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

INFORMATION: CONTACT (954) 828-6506
<http://www.fortlauderdale.gov>

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



DATE: 08/11/2021

AGENDA ITEM: 3

CASE: 3

PLN-BOA-21070003



SUSTAINABLE DEVELOPMENT – ZONING & LANDSCAPING

BOARD OF ADJUSTMENT (BOA) APPLICATION

Rev: 3 Revision Date: 05/17/2021 | Print Date: 05/17/2021
I.D. Number: Z&L-BOA

BOARD OF ADJUSTMENT (BOA) APPLICATION

Cover:	Deadline, Notes, and Fees
Page 1:	Applicant Information Sheet
Page 2:	Variance Request Criteria
Page 3:	Required Documentation & Mail Notice Requirements
Page 4:	Sign Notice Requirements & Affidavit
Page 5:	Technical Specifications

DEADLINE: Submittals must be received prior to 4:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if plans do not meet the submittal requirements and if changes are required.

APPLICATION SUBMITTAL: Submit your Board of Adjustment (BOA) application, required documents and fees online by visiting: <https://aca-prod.accela.com/FTL>. After application and document submission, you should receive a case number and will be invoiced for the fee amount due. Prior to formal submittal of applications, applicants are encouraged to schedule an appointment with the Board Liaison and staff to obtain feedback regarding proposals. The meetings provide an opportunity for applicants to obtain feedback and general direction, prior to expending significant effort on preparation of submittal documents. To request a meeting to discuss your variance request, please contact Chakila Crawford at chcrawford@fortlauderdale.gov and/or Stephanie Hughey at shughey@fortlauderdale.gov.

FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

- Variance/Special Exception/Interpretation (Before): **\$2,200**
- Variance/Special Exception/Interpretation (After): **\$2,800**
- Parking Variance (per space): **\$2,600**
- Variance/Special Exception/Interpretation (Before)- Residential Homesteaded Only- Accessory Structures & Existing Non-Conforming Structures: **\$650**
- Variance/Special Exception/Interpretation (After)- Residential Homesteaded Only- Accessory Structures & Existing Non-Conforming Structures: **\$850**
- Request for Continuance: **\$900**
- Request for Rehearing: **\$300**
- Rehearing before the Board: **\$1,150**

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Carpelo Jeoboam
Property Owner's Signature	<small>If a signed agent letter is provided, no signature is required on the application for the owner.</small>
Address, City, State, Zip	3908 Passion Flower Rd, Coconut Creek, FL 33073
E-mail Address	carpelo@jharc.com
Phone Number	305.803.1914 or 954.367.9292
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	
Applicant / Agent's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Letter of Consent Submitted	

Development / Project Name	Lyons Townhouses		
Existing / New	Existing: <input type="checkbox"/>	New: <input checked="" type="checkbox"/>	
Project Address	Address: 6997 NW 30th Terrace, Fort Lauderdale, FL 33309		
Legal Description	Parcel "A" Of "Palm Aire Village 3rd Section Add'n 7", According To The Plat Thereof, As Recorded In Plat Book 101, Page 27 Of The Public Records Of Broward County, Florida.		
Tax ID Folio Numbers (For all parcels in development)	494208120374, 494208120373, 494208120372, 494208120371, 494208120370		
Request / Description of Project	Request is to reduce the (8) feet separation requirement of driveways to (4) feet separation. Project consist of (4) fee-simple 2-story townhomes.		
Applicable ULDR Sections	ULDR Sec. 47-18.33.B.11.a. Driveways shall have a minimum separation of eight (8) feet from the adjacent driveway within the same development for the entire length of the driveway. Driveways can be reduced to a minimum of four (4) feet in width...		

Current Land Use Designation	36
Current Zoning Designation	RMH-25
Current Use of Property	VACANT LAND
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N, S, E, W)	Required	Proposed
Front [W]	25 FT	25 FT
Side [N]	20 FT	34 FT
Side [S]	10 FT	10 FT
Rear [E]	20 FT	20 FT

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

Complete this page and an attached narrative.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.

Request is to reduce the (8) feet separation requirement of driveways to (4) feet separation. (ULDR Sec. 47-18.33.B.11.a)

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12. A.4,

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and
Site is a corner lot which sits at the SE corner of McNab and 31st Ave and does not allow access from the main through-fare roadway. Access is achieved using NW 30th Terrace Drainage and Utility Ingress/Egress Easement. On-site 10-Ft utility easement which runs along the North property line prohibits permanent construction.
b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:
Sites exhibiting similar constraints due to prohibited access off the main thorough-fare and a 10-ft utility easement located along the entire longitudinal length of the property are uncommon and restricts the use of a significant portion of the site.
c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and
Would deprive the property the ability to provide the minimum required number of 2-parking spaces for each unit.
d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and
The unique hardship is attributed to the constraints of the lot configuration and a change in regulation that was adopted in 2017 after the initial design of the project was reviewed with zoning for feasibility based on previous regulations.
e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.
This variance request would not pose a dramatic shift away from the intent of the ULDR section and would still promote compatibility with adjoining properties and surrounding neighborhoods because of its' sensitivity to the context of the site.

AFFIDAVIT: I, Carpele Jeoboam the Owner/Agent of said property ATTEST that I am aware of the following:

- 1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

(Signature)
SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 8 day of July 2021

(SEAL)

Notary Public
MY COMMISSION EXPIRES: 12/6/2024



Page 3: Required Documentation & Mail Notice Requirements

One (1) original set, signed and sealed, with plans at 24" x 36"

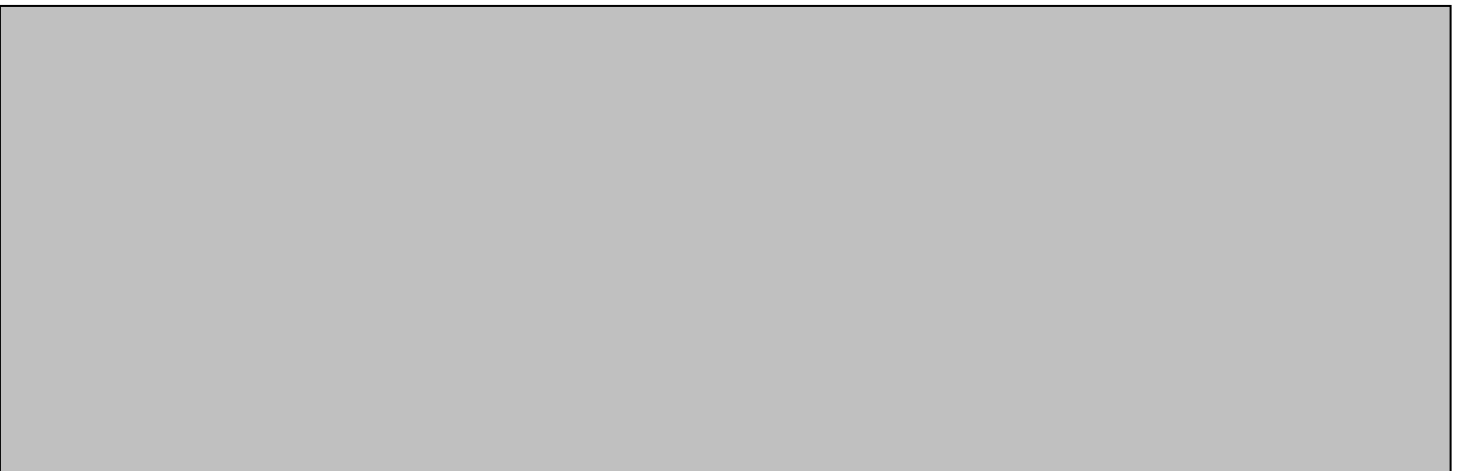
One (1) electronic version (CD or USB) of complete application and plans in PDF format

Fourteen (14) copy sets of each item below and plans at half-size scale 11" x 17"

- Completed application** (all pages must be filled out where applicable)
- Mail notification documents** (mail notification instructions at bottom of page)
- Proof of ownership** (warranty deed, Sunbiz and/or tax record), including corporation documents if applicable
- Property owners original notarized signature** and/or notarized agent letter signed by the property owner (if applicable).
- Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
- Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
- Cover sheet** on plan set to state project name and table of contents.
- Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. If the survey is not signed and sealed, a zoning affidavit is required and shall only be used for the structures listed in the affidavit.
- Site Plan** (a survey may be substituted if the requested variance is clearly indicated)
- Landscape Plan (if applicable)**
- Elevations (if applicable)**
- Additional Plan details as needed**
-

Note: All copy sets must be clear and legible.

Note: Plans must be folded to 8 ½" x 11". All non-plan documents should be 8 ½" x 11".



MAIL NOTIFICATION: Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
 - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
 - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owner notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners' associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
 - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:

**City of Fort Lauderdale
Urban Design & Development -BOA
700 NW 19th Avenue, Fort Lauderdale, FL 33311**

- **DISTRIBUTION:** The City of Fort Lauderdale, Urban Design & Development will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.
- **HOW TO ORDER A TAX MAP AND MAIL NOTICE LIST:** To order a tax map and notice list, please email Heather Hanson at hhanson@bcpa.net or call 954-357-6855. You may also contact Kenny Gibbs, kgibbs@bcpa.net or call 954-357-5503.

Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date, and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time, and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. _____

APPLICANT: _____

PROPERTY: _____

PUBLIC HEARING DATE: _____

BEFORE ME, the undersigned authority, personally appeared _____, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred, or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Development **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties, therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULDR, I will forfeit my sign deposit. _____ (initial here)

Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this _____ day of _____, 20__

(SEAL)

NOTARY PUBLIC
MY COMMISSION EXPIRES:

Page 5: Technical Specifications

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property
 - Land Use designation
 - Zoning designation
 - Site area (sq. ft. and acres)
 - Setback table (required vs. provided)
 - Open space
8. Site Plan Features (graphically indicated)
 - Setbacks and building separations (dimensioned)
 - Project signage (if applicable)
 - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (i.e. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage



ATTN: Board of Adjustment:
Fort Lauderdale Building Department
700 NW 19th Ave
Fort Lauderdale, FL 33311
Tel (954) 828-5660
Fax (954) 828-5706

DATE OF ISSUE
JULY 08, 2021
PROJECT ID + NAME
2013_05 LYONS TOWNHOUSES

NARRATIVE

This project is to complete a project which originally received an approved permit back in 2006 to construct (4) fee-simple Townhomes. The project was abandoned due to the Great Recession and the reduced demand in the housing market. I acquired the unfinished project back in 2013 in an attempt to revive the project; but after a meeting with City Building and Zoning Officials I was advised that I would have to secure a new permit because ownership has changed. That created a huge setback for me, because I was not allowed to reopen the already approved permit and continue construction. This problem ballooned because I could not locate the previous design professionals. So not only would I not be able to reopen the permit, I now had to endure significant delays and also had to hire new design professionals to reproduce all of the necessary documents in order to secure a permit to complete the project.

Unbeknownst to me, the seller concealed violations issued against the property by pretending to pay for them with a check which they immediately cancelled once the closing had taken place. After suffering through all of these setbacks, I have now reached a point where I can resubmit my application for a permit to complete the project. However; I have run into a new obstacle because of an ordinance change which requires an (8) feet separation between driveways in accordance with ULDR Sec. 47-18.33.B.11.a.

That is why I am submitting this **request to reduce the (8) feet separation requirement between driveways down to a (4) feet separation**. There are additional circumstances stated in page 2 of the BOA application, which also illustrate various constraints placed on the site that reduce configuration flexibility. Such as: prohibited access imposed by Broward County from the main thoroughfare roadway, an on-site 10-ft utility easement running the entire length along the North property line, the angled corner property line located at the SE corner of McNab and 31st Ave, the already installed storm drainage system mandated by Broward County Surface Water Management and the underground sewer lateral connections and clean-outs.

DISTRIBUTE TO:		RESPONDED BY:	CARPELO JEBOAM, RA
			

FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	STATI	ZIP
494205060092	PUBLIC LAND	% CITY OF POMPANO BEACH	100 W ATLANTIC BLVD	POMPANO BEACH	FL	33060
494206000060	CITY OF POMPANO BEACH		100 W ATLANTIC BLVD	POMPANO BEACH	FL	33060
494206240070	PUBLIC LAND	% CITY OF POMPANO BEACH	100 W ATLANTIC BLVD	POMPANO BEACH	FL	33060
494207000220	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
494207020010	VICTOR,ELNE JOSEPH	THERVIL,CLERMELINE	3101 NW 69 CT	FORT LAUDERDALE	FL	33309
494207020020	SPONSLER,RORY TY		3107 NW 69 CT	FORT LAUDERDALE	FL	33309
494207020030	HAYES,WILLIE MAYS	OILGIFOCCEC,ASSILEM	3111 NW 69 CT	FORT LAUDERDALE	FL	33309
494207020160	MICHAEL MAY TR	MAY,MICHAEL TRS	32744 CARRIAGE LN	AVON LAKE	OH	44012
494207020170	SAINT-LOUIS,LINDA & PATRICK		3106 NW 69 CT	FORT LAUDERDALE	FL	33309
494207020650	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
494207020660	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
494207080010	PUBLIC LAND	% CITY OF POMPANO BEACH	100 W ATLANTIC BLVD	POMPANO BEACH	FL	33060
494208000030	CITY OF FORT LAUDERDALE		100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
494208000050	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
494208000060	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
494208000090	BROWARD COUNTY	BOARD OF COUNTY COMMISSIONERS	115 S ANDREWS AVE RM 501-RP	FORT LAUDERDALE	FL	33301
494208011220	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
494208120010	THOMAS,DONMONIQUE BOWE		6992 NW 30 TER	FORT LAUDERDALE	FL	33309
494208120020	SCHMITZ,SOENKE		6988 NW 30 TER	FORT LAUDERDALE	FL	33309
494208120030	DEONANAN,JEANNA M		6984 NW 30 TER	FORT LAUDERDALE	FL	33309
494208120040	SSJK REAL ESTATE LLC		4 RIDGE RD	PARSIPPANY	NJ	07054
494208120050	DEARBORN,LYNDA		6981 NW 30 AVE	FORT LAUDERDALE	FL	33309
494208120060	BOYD,SAMUEL	KOLK,CHRISTOPHER	6985 NW 30 AVE	FORT LAUDERDALE	FL	33309
494208120070	BREWER,KARA ANN		6989 NW 30 AVE	FORT LAUDERDALE	FL	33309
494208120080	REUTLINGER,SUSAN H/E	REUTLINGER,MATILDE	6993 NW 30 AVE	FORT LAUDERDALE	FL	33309
494208120370	JEBOAM,CARPELO		3908 PASSION FLOWER RD	COCONUT CREEK	FL	33073
494208120371	JEBOAM CARPELO		3908 PASSION FLOWER RD	COCONUT CREEK	FL	33073
494208120372	JEBOAM CARPELO		3908 PASSION FLOWER RD	COCONUT CREEK	FL	33073
494208120373	JEBOAM CARPELO		3908 PASSION FLOWER RD	COCONUT CREEK	FL	33073
494208120374	JEBOAM CARPELO		3908 PASSION FLOWER RD	COCONUT CREEK	FL	33073
494208120380	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL	33301
494205JN0010	COLINA,LETICIA	COLINA,LISBETH	4201 W MCNAB RD #10	POMPANO BEACH	FL	33069
494205JN0020	FOURBOND CORP	<Null>	PO BOX 227506	DORAL	FL	33222
494205JN0030	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33309
494205JN0040	RF STAR INVESTMENTS LLC	<Null>	7910 S WOODRIDGE DR	PARKLAND	FL	33067
494205JN0050	MURIEL BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN0060	PIGNASA GROUP LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN0070	REDLAND TECHNOLOGY HOLDING INC	<Null>	100 N FEDERAL HWY #1025	FORT LAUDERDALE	FL	33301
494205JN0080	FOURBOND CORP	<Null>	4100 N MIAMI AVE FL 2	MIAMI	FL	33127
494205JN0090	FOREST HILL LAND TR	ZUPAN,MARYSOL ALEJANDRA TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN0100	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN0110	GIRASSOLLI,ALEJANDRO	GIRASSOLLI,MONICA CRISTINA C D	100 N FEDERAL HWY #1025	FORT LAUDERDALE	FL	33301
494205JN0120	LOPEZ ALVAREZ,CARLOS	<Null>	4201 W MCNAB RD #21	POMPANO BEACH	FL	33069
494205JN0130	AKSON ONE LLC	<Null>	15 NW 7 AVE	FORT LAUDERDALE	FL	33311
494205JN0140	ILALDA LLC	<Null>	1707 E HALLANDALE BCH BLVD	HALLANDALE BEACH	FL	33009
494205JN0150	FIALCOVSCHI,MIHAI V & MARIA D	<Null>	214 THORNHILL WOODS DR	*THORNHILL ON	CA	L4J 8

494205JN0160	FARA,LUIS MARIA	<Null>	AVENIDA JUAN B JUSTO 1045 #9 RIO	*CIUDAD DE BUENOS AIRES	AR	C1425
494205JN0170	MAT PROPERTIES GROUP LLC	<Null>	20191 E COUNTY CLUB DR #1906	AVENTURA	FL	33180
494205JN0180	MIABA CORP	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN0190	THEMIS HOLDINGS LLC	<Null>	2635 SW 17 AVE	MIAMI	FL	33133
494205JN0200	VERTICE PARTNERS	<Null>	19165 S HIBISCUS ST	FORT LAUDERDALE	FL	33332
494205JN0210	MCKENNEY,ANAI CRISTINA HOLZMANN	<Null>	4221 W MCNAB RD #10	POMPANO BEACH	FL	33069
494205JN0220	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN0230	G A L F 4 LLC	<Null>	1707 E HALLANDALE BCH BLVD	HALLANDALE BEACH	FL	33009
494205JN0240	SOYSA INVESTMENTS LLC	<Null>	5881 SW 164 CT	MIAMI	FL	33193
494205JN0250	SOUTH FLORIDA DEBT SERVICES INC	<Null>	13834 NW 15 ST	PEMBROKE PINES	FL	33028
494205JN0260	EMBAHE LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN0270	SBR PROPERTY MANAGEMENT LLC	<Null>	9412 GRAND PRIX LN	BOYNTON BEACH	FL	33472
494205JN0280	MURIEL BP LLC	<Null>	2875 NE 191 ST # 801	AVENTURA	FL	33180
494205JN0290	G&GJ MOTO CORP	<Null>	20200 W DIXIE HWY #907	AVENTURA	FL	33180
494205JN0300	MACHADO,JESUS	<Null>	4221 W MCNAB RD #19	POMPANO BEACH	FL	33069
494205JN0310	LAPAMPA TR	DE LUCA,DANIEL GUSTAVO TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN0320	MURIEL BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN0330	SPRING PARADISE LLC	<Null>	15 NW 7 AVE	FORT LAUDERDALE	FL	33311
494205JN0340	BRESNAHAN,TIMOTHY	<Null>	4221 W MCNAB RD #23	POMPANO BEACH	FL	33069
494205JN0350	RUBIANO,MARIA STELLA	<Null>	20500 W COUNTRY CLUB #511	AVENTURA	FL	33160
494205JN0360	LAURELES BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN0370	HOLZMANN,ANAI CRISTINA	<Null>	4221 W MCNAB RD #26	POMPANO BEACH	FL	33069
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494205JN0390	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN0400	MALIBU MANAGEMENT GROUP LLC	<Null>	11700 NW 29 PL	SUNRISE	FL	33323
494205JN0410	GUBIANI,VALDECIR	<Null>	4221 W MCNAB RD #30	POMPANO BEACH	FL	33069
494205JN0420	DENOVELLIS,DAVID	HERNANDEZ,RORAIMA ETAL	4432 NW 112 CT	DORAL	FL	33178
494205JN0430	ANASTASSIA VU REV TR	VU,ANASTASSIA TRSTEE	1670 NE 191 ST #401	NORTH MIAMI BEACH	FL	33179
494205JN0440	ORYGEEM LLC	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN0450	VALENCIA,RODOLFO MOSQUERA	<Null>	4820 N STATE RD 7 # 203	COCONUT CREEK	FL	33073
494205JN0460	WONDER WIND LLC	<Null>	15129 NW 7 ST	PEMBROKE PINES	FL	33028
494205JN0470	7TH SUN LLC	<Null>	15901 COLLINS AVE #4305	SUNNY ISLES BEACH	FL	33160
494205JN0480	CHEN,DAVID	<Null>	4300 N OCEAN BLVD APT 3N	FORT LAUDERDALE	FL	33308
494205JN0490	MARTINEZ,OLGA	<Null>	3029 NE 188 ST #506	MIAMI	FL	33180
494205JN0500	KWY HOLDINGS LLC	<Null>	8958 W STATE RD 84 #201	DAVIE	FL	33324
494205JN0510	ALVAREZ,ELIAS	% MAHEN INC	PO BOX 668863	POMPANO BEACH	FL	33066
494205JN0520	MURIEL BP LLC	<Null>	2875 NE 191 ST STE 801	AVENTURA	FL	33180
494205JN0530	BROWARD COUNTY COMMUNITY	DEVELOPMENT CORPORATION INC	305 SE 18 CT	FORT LAUDERDALE	FL	33316
494205JN0540	BAIDE,CINDY A	<Null>	9419 FONTAINEBLEAU BLVD APT 207	MIAMI	FL	33172
494205JN0550	LAURELES BP LLC	<Null>	2875 NE 191 ST STE 801	AVENTURA	FL	33180
494205JN0560	RAIGOZA,JAIRO A &	ALVAREZ,MARGARITA	6183 NW 45 AVE	COCONUT CREEK	FL	33073
494205JN0570	RF STAR INVESTMENTS LLC	<Null>	7910 S WOODRIDGE DR	PARKLAND	FL	33067
494205JN0580	AKIKI,ELIAS	MAROUN,NADA	2322 RUE LETENDRE	*LAVAL QC	CA	H7T 2
494205JN0590	J & S CONDOS & APTS LLC	<Null>	2000 ATLANTIC SHORES BLVD #307	HALLANDALE BEACH	FL	33009
494205JN0600	DJUKIC,DAVORIN	DI GENOVA,ADRIANA	4241 W MCNAB RD #13	POMPANO BEACH	FL	33069
494205JN0610	PRESIDENTIAL PROPERTY	SERVICES INC	934 N UNIVERSITY DR #444	CORAL SPRINGS	FL	33071
494205JN0620	LA FEDERALA LLC	<Null>	2617 N 40 AVE	HOLLYWOOD	FL	33021

494205JN0630	MANCINI,LUPO J	<Null>	4521 W MCNAB RD UNIT 28	POMPANO BEACH	FL	33069
494205JN0640	TOBA,CARMEN	TOBA,COSTEL	4322 LAURELHURST LN	FRISCO	TX	75033
494205JN0650	VABA INVESTMENTS LLC	<Null>	20801 BISCAYNE BLVD #403 PB 1006	AVENTURA	FL	33180
494205JN0660	SPIRIDONOV,YULIAN	<Null>	232 EL PESCADO DR	SAINT PETERS	MO	63376
494205JN0670	FIGUEIRA,MANUEL	REYNA,FERNANDO	4241 W MCNAB RD # 20	POMPANO BEACH	FL	33069
494205JN0680	RAINBOW APARTMENTS ONE LLC	<Null>	290 174 ST STE 1118	SUNNY ISLES BEACH	FL	33160
494205JN0690	DE FARIAS,ELISABETH MELLO	<Null>	301 174TH ST APT 2004	SUNNY ISLES BEACH	FL	33160
494205JN0700	YINGER,CHRISTINE	<Null>	4241 W MCNAB ROAD #23	POMPANO BEACH	FL	33069
494205JN0710	TRIGIANI,DIANE	TRIGIANI,LOUIS J JR	7 HIGHLANDS LN	HARDWICK	NJ	7825
494205JN0720	GLAVCE,CASIAN GEORGE	GLAVCE,CORINA	10438 E CLAIRMONT CIR	TAMARAC	FL	33321
494205JN0730	L&J BN LLC	<Null>	3063 NE 208 ST	MIAMI	FL	33180
494205JN0740	BERAJA BH LLC	<Null>	175 SW 7 ST #2020	MIAMI	FL	33130
494205JN0750	GALAP LLC	<Null>	229 CAROLINE ST	DERBY	CT	6418
494205JN0760	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN0770	INVERSIONES 4861 LLC	<Null>	175 SW 7 ST #2011	MIAMI	FL	33130
494205JN0780	SERVIN,MANUEL	<Null>	5900 ARLINGTON AVE 9N	BRONX	NY	10471
494205JN0790	FRIENDS CAPITAL INVESTMENTS LLC	<Null>	2855 NE 23 ST	FORT LAUDERDALE	FL	33305
494205JN0800	SOUTH FLORIDA EQUITY GROUP	HOLDINGS LLC	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN0810	VERTICE PARTNERS LLC	<Null>	19165 S HIBISCUS ST	WESTON	FL	33332
494205JN0820	RF STAR INVESTMENTS LLC	<Null>	7910 S WOODRIDGE DR	PARKLAND	FL	33067
494205JN0830	BARATTA,ROBERTO	<Null>	2039 SE 10 AVE #517	FORT LAUDERDALE	FL	33316
494205JN0840	SOUTH FLORIDA EQUITY GROUP	HOLDINGS LLC	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN0850	MSE MANAGEMENT INC	<Null>	2875 NE 191 ST STE 801	AVENTURA	FL	33180
494205JN0860	SHYTTUF LLC	<Null>	20185 E COUNTRY CLUB DR #405	AVENTURA	FL	33180
494205JN0870	G A L F 3 LLC	<Null>	1707 E HALLANDALE BCH BLVD	HALLANDALE BEACH	FL	33009
494205JN0880	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33009
494205JN0890	BRICKS & TIPS LLC	<Null>	981 WATERSIDE CIR	WESTON	FL	33327
494205JN0900	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN0910	MANA REALTY GROUP LLC	<Null>	5750 COLLINS AVE #4F	MIAMI BEACH	FL	33140
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494205JN0930	AYDINCIK,MERVE	<Null>	12600 BARRICKS CV	AUSTIN	TX	78727
494205JN0940	PRESERVE 4083 LLC	<Null>	1990 NE 163 ST #209	NORTH MIAMI BEACH	FL	33162
494205JN0950	SWITCH OF FLORIDA LLC	<Null>	6300 S FALLS CIRCLE DR APT 110	LAUDERHILL	FL	33319
494205JN0960	CASTILLO,MARICEL FERNANDA NAREA	CASTILLO,SANDRA FABIOLA NAREA	PO BOX 15187	PLANTATION	FL	33318
494205JN0970	PALVER LLC	<Null>	20949 NE 37 CT	AVENTURA	FL	33180
494205JN0980	4261 WEST MCNAB RD #27 PALM AIRE	GARDENS CONDO LAND TR ETAL	10 EDGEWATER DR #6H	MIAMI	FL	33133
494205JN0990	MURIEL BP LLC	<Null>	2875 NE 191 ST STE 801	AVENTURA	FL	33180
494205JN1000	VABA INVESTMENTS LLC	<Null>	20801 BISCAYNE BLVD #403 PMB1006	AVENTURA	FL	33180
494205JN1010	ZLARLUKIMUTOVUSA LLC	<Null>	15 NW 7 AVE	FORT LAUDERDALE	FL	33311
494205JN1020	ERANDAN,EMINE ESRA	<Null>	19510 W OAKMONT DR	HIALEAH	FL	33015
494205JN1030	FRIEDA BILU ENTERPRISES LLC	<Null>	1510 FENTON DR	DELRAY BEACH	FL	33445
494205JN1040	ALONA HOLDINGS LLC	<Null>	1160 SW 70TH AVE	PLANTATION	FL	33317
494205JN1050	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN1060	GLOBSS NORTH AMERICA LLC	<Null>	10800 BISCAYNE BLVD #440	MIAMI	FL	33161
494205JN1070	ANNECHIARICO,RON	<Null>	5803 NW 71 TER	PARKLAND	FL	33067
494205JN1080	MASPAZ LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN1090	LAND TIME CORP	<Null>	PO BOX 15187	PLANTATION	FL	33318

494205JN1100	LIBERTY GROUP LLC	<Null>	4353 SW 163 PATH	MIAMI	FL	33185
494205JN1110	DAVIS,ALTIMAN & AVRIL	<Null>	22 UPLANDS AVE	*HAMILTON ON	CA	L8S 3
494205JN1120	JITAR LLC	<Null>	3 SAMOSET CT	ROGERS	AR	72758
494205JN1130	BROWN,LAURENCE	<Null>	4281 W MCNAB ROAD #18	POMPANO BEACH	FL	33069
494205JN1140	NOFFRA INVESTMENT GROUP LLC	<Null>	3233 COMMERCE PKWY	MIRAMAR	FL	33025
494205JN1150	CAMBERLAND DEVELOPMENTS LLC	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN1160	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN1170	MANA REALTY GROUP LLC	<Null>	5750 COLLINS AVE #4F	MIAMI BEACH	FL	33140
494205JN1180	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN1190	SALT LAKE TR	ZUPAN,MARYSOL ALEJANDRA TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN1200	AMERICAN ROYAL REALTY LLC	<Null>	3321 SW 51 ST	FORT LAUDERDALE	FL	33312
494205JN1210	DESAULNIERS,DANY &	FAUCHER,MARC	7723 HARDING AVE APT 2	MIAMI BEACH	FL	33141
494205JN1220	ORTEGA,JUAN H/E	ORTEGA,ROMELIA	4281 W MCNAB RD #27	POMPANO BEACH	FL	33069
494205JN1230	HUNTER,STILL	<Null>	604 SW 8 TER	FORT LAUDERDALE	FL	33315
494205JN1240	PIRLEA,DIANA D	PIRLEA,FLORIN D	4281 W MCNAB RD #29	POMPANO BEACH	FL	33069
494205JN1250	TIMAGO LLC	<Null>	1219 IRIS CT	WESTON	FL	33326
494205JN1260	MANA REALTY GROUP LLC	<Null>	2615 SW 22 AVE APT 6	MIAMI	FL	33133
494205JN1270	RF STAR INVESTMENTS LLC	<Null>	7910 S WOODRIDGE DR	PARKLAND	FL	33067
494205JN1280	SUNNY BUILDERS CORP	<Null>	1945 S OCEAN DR #314	HALLANDALE BEACH	FL	33009
494205JN1290	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
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494205JN1310	BRYAN BEACH LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN1320	PALM CERRICA INVESTMENTS LLC	<Null>	100 N FEDERAL HWY #1025	FORT LAUDERDALE	FL	33301
494205JN1330	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN1340	AZABACHE2001 LLC	<Null>	1707 E HALLANDALE BEACH BLVD	FORT LAUDERDALE	FL	33009
494205JN1350	MATRIX HOUSES INC	<Null>	6175 NW 153RD ST STE 201	MIAMI LAKES	FL	33014
494205JN1360	BRUCK,ERICA	<Null>	2451 GLENWOOD AVE	*PORT COQUITLAM BC	CA	V3B 1
494205JN1370	ONE INVEST LLC	<Null>	309 SUNSET DR #3	FORT LAUDERDALE	FL	33301
494205JN1380	RUGINA,CLAUDIU & GABRIELA	<Null>	218-16 ELGIN ST	*THORNHILL ON	CA	L3T 4
494205JN1390	GLASTONBURY PROPERTIES LLC	<Null>	1707 E HALLANDALE BCH BLVD	HALLANDALE BEACH	FL	33009
494205JN1400	LAURELES BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN1410	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN1420	MANA REALTY GROUP LLC	<Null>	5750 COLLINS AVE #4F	MIAMI BEACH	FL	33140
494205JN1430	MURIEL BP LLC	<Null>	2875 NE 191 ST # 801	AVENTURA	FL	33180
494205JN1440	MALECON HOLDING LLC	<Null>	2020 NE 163 ST #300D	AVENTURA	FL	33160
494205JN1450	WARD,TAMMY LYNN	<Null>	4341 W MCNAB ROAD UNIT 10	POMPANO BEACH	FL	33069
494205JN1460	KAPLAN,GINA M &	KAPLAN,JAMES L	3240 MUIRFIELD	FORT LAUDERDALE	FL	33332
494205JN1470	DURE,CLAUDIO OMAR	BARBERA,FABIANA	CANGALLO 990 1640 MARTINEZ	*BUENOS AIRES	AR	33073
494205JN1480	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN1490	KAPLAN,GINA M &	KAPLAN,JAMES	3240 MUIRFIELD	FORT LAUDERDALE	FL	33332
494205JN1500	MIAMI PROPERTY TRUST LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN1510	T MILLENNIUM BUILDING LLC	%UNIVERSAL USA REALTY	PO BOX 155	DANIA BEACH	FL	33004
494205JN1520	BRSD INVESTMENTS LLC	<Null>	3340 NE 190 ST APT 109	AVENTURA	FL	33180
494205JN1530	LIGHTBLUE LLC	<Null>	1707 E HALLANDALE BCH BLVD	HALLANDALE BEACH	FL	33009
494205JN1540	PERSAUD,KHEMRAJ & LILLA	PERSAUD,OMESH	174 KING KNOLL DR	*BRAMPTON ON	CA	L6Y 4
494205JN1550	FRIEDMAN,NATAN JEREMY	<Null>	4341 W MCNAB RD #20	POMPANO BEACH	FL	33069
494205JN1560	FOURBOND CORP	<Null>	4100 N MIAMI AVE FL 2	MIAMI	FL	33127

494205JN1570	PAG 4341 LLC	<Null>	4341 W MCNAB RD #22	POMPANO BEACH	FL	33069
494205JN1580	ALU INVESTMENTS GROUP CORP	<Null>	2021 COOLIDGE ST	HOLLYWOOD	FL	33020
494205JN1590	MANA REALTY GROUP LLC	<Null>	5750 COLLINS AVE #4F	MIAMI BEACH	FL	33140
494205JN1600	5MISSION LLC	<Null>	19300 W DIXIE HWY # 4	MIAMI	FL	33180
494205JN1610	OPTIMIFY LLC	<Null>	11231 NW 20 ST #140121	DORAL	FL	33172
494205JN1620	MDQ CORP	<Null>	16911 NW 47 AVE	MIAMI GARDENS	FL	33055
494205JN1630	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33009
494205JN1640	GALAP LLC	<Null>	229 CAROLINE ST	DERBY	CT	6418
494205JN1650	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN1660	MIAMI PROPERTY TRUST LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN1670	VASQUEZ MORAO,OWALDO F	MALAVE DE VASQUEZ,ANYBETH A	6346 NW 113 CT	DORAL	FL	33178
494205JN1680	FOREST,SYLVAIN	<Null>	6832 NW 26 AVE	FORT LAUDERDALE	FL	33309
494205JN1690	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN1700	GONZALEZ,CARLOS LUIS BARRANTES	<Null>	4361 W MCNAB RD #15	POMPANO BEACH	FL	33069
494205JN1710	BATIM ENTERPRISES LLC	<Null>	1753 NW 74 WAY	HOLLYWOOD	FL	33024
494205JN1720	JONATHAN & LIA LLC	<Null>	3063 NE 208 ST	AVENTURA	FL	33180
494205JN1730	FERNANDO GEORGE TR	ZUPAN,MARYSOL ALEJANDRA TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN1740	ZAMBRANO MOGOLLON,JOSE ANTONIO	<Null>	7550 NW 19 DR	PEMBROKE PINES	FL	33024
494205JN1750	MAARRAWL,DALAL	MAHAYNI,HOUMAM	4020 GALT OCEAN DR UNIT 1401	FORT LAUDERDALE	FL	33308
494205JN1760	BRAVO ECHO 436121 LLC	<Null>	1315 NW 127 DR	SUNRISE	FL	33323
494205JN1770	FAITHFUL TOWER LLC	<Null>	PO BOX 222	FORT LAUDERDALE	FL	33302
494205JN1780	FIRST BUY TR	INOUE,ROMINA VALERIA TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN1790	C R HOUSE LLC	<Null>	421 NE 1 ST UNIT 220	HALLANDALE BEACH	FL	33009
494205JN1800	MNR CAPITAL LLC	<Null>	105 LAKE EMERALD DR #404	OAKLAND PARK	FL	33309
494205JN1810	LAURELES BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN1820	PASQUALIN,PEDRO R & MARCIA	<Null>	6468 VIA ROSA	BOCA RATON	FL	33433
494205JN1830	BEJOJO LLC	<Null>	4361 W MCNAB RD #28	POMPANO BEACH	FL	33069
494205JN1840	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN1850	DE LA ROSA,QUISQUEYA E	<Null>	4361 W MCNAB RD #30	POMPANO BEACH	FL	33069
494205JN1860	MAHAYNI,HOUMAM	<Null>	4020 GALT OCEAN DR #1401	FORT LAUDERDALE	FL	33308
494205JN1870	JAMES P MANAGEMENT LLC	<Null>	117 HOPE RD	HOLLAND	PA	18966
494205JN1880	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
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494205JN1900	JAMES P MANAGEMENT LLC	<Null>	117 HOPE RD	HOLLAND	PA	18966
494205JN1910	TOBA,CARMEN	TOBA,COSTEL	4322 LAURELHURST LN	FRISCO	TX	75033
494205JN1920	BERESNITZKY,CAROLINE	<Null>	4381 W MCNAB RD #13	POMPANO BEACH	FL	33069
494205JN1930	VIGVEL LLC	<Null>	323 S 21 AVE	HOLLYWOOD	FL	33069
494205JN1940	LORDEST LLC	<Null>	2517 HUNTERS RUN WAY	WESTON	FL	33327
494205JN1950	MARINELLI,FRANCO	<Null>	3151 SOUTH PALM AIRE DR #402	POMPANO BEACH	FL	33069
494205JN1960	KONSULTA LLC	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN1970	F&Q 05-4 LLC	<Null>	488 NE 18 ST #908	MIAMI	FL	33132
494205JN1980	KONSULTA LLC	%STATE STREET PROPERTY MGMT	PO BOX 15187	PLANTATION	FL	33318
494205JN1990	PIETRA,FEDERICO GASTON	<Null>	MARCOS PAZ 4314 CP 1419	*AUTONOMA DE BUENOS AIRES	AR	<Null>
494205JN2000	GRUPO RIFOR LLC	<Null>	2131 HOLLYWOOD BLVD STE 306	HOLLYWOOD	FL	33020
494205JN2010	GAILE RODRIGUEZ LIV TR	RODRIGUEZ,GAILE TRSTEE ETAL	3036 NE 19 ST	FORT LAUDERDALE	FL	33305
494205JN2020	SOLER REAL ESTATE LLC	<Null>	19611 NE 18 PL	MIAMI	FL	33179
494205JN2030	SLIDE INVESTMENTS LLC	<Null>	18083 CLEAR BROOK CIR	BOCA RATON	FL	33498

494205JN2040	INFANTE,CHRISTIAN H	<Null>	1430 CECILIA AVE	CORAL GABLES	FL	33146
494205JN2050	SANTOS,DAVID H DOS	<Null>	4381 W MCNAB RD #26	POMPANO BEACH	FL	33069
494205JN2060	FMJA INVESTMENTS LLC	<Null>	100 N FEDERAL HWY #1025	FORT LAUDERDALE	FL	33301
494205JN2070	ELITZOUR,ABRAHAM YAKOV	ELITZOUR,RONNY	4381 W MCNAB RD #28	POMPANO BEACH	FL	33069
494205JN2080	GEFEN,DORON	<Null>	2131 HOLLYWOOD BLVD #306A	HOLLYWOOD	FL	33020
494205JN2090	SHAKTY CORP	<Null>	4700 SHERIDAN ST #J	HOLLYWOOD	FL	33021
494205JN2100	GRAFI LLC	<Null>	2635 SW 17 AVE	MIAMI	FL	33133
494205JN2110	CEA,JOSE JAVIER	PICASSO,ADRIANNA ETAL	4401 W MCNAB RD #12	POMPANO BEACH	FL	33069
494205JN2120	BKG 2015 LLC	<Null>	175 SW 7 ST #2011	MIAMI	FL	33130
494205JN2130	LAURELES BP LLC	<Null>	2875 NE 191 ST # 801	AVENTURA	FL	33180
494205JN2140	ZABA ROOTS LLC SERIES 15	<Null>	4401 W MCNAB RD #15	POMPANO BEACH	FL	33069
494205JN2150	CICERI,PAULA ALVAREZ	FERREIRA,MARIA ELVIRA	112 RIVERWALK CIR E	PLANTATION	FL	33325
494205JN2160	RAINBOW APARTMENTS ONE LLC	<Null>	290 174 ST STE 1118	SUNNY ISLES BEACH	FL	33160
494205JN2170	BERMANI LLC	<Null>	175 SW 7 ST #2309	MIAMI	FL	33130
494205JN2180	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN2190	MUELLER,DENAYER N	<Null>	4214 NW 38 DR	COCONUT CREEK	FL	33073
494205JN2200	TAHUIITE,HUBERTO	SERRANO,MILDRED	396 WAKE ROBIN	*CRESCENT KITCHENER ON	CA	N2E 3
494205JN2210	BEST RESIDENCE VA7 LLC	<Null>	4401 W MCNAB RD #22	POMPANO BEACH	FL	33069
494205JN2220	VIDAL,CARMEN &	MARTINEZ,MARIA	4430 ANDERSON RD	CORAL GABLES	FL	33146
494205JN2230	SOUTH FLORIDA EQUITY GROUP	HOLDINGS LLC	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN2240	CVSP INVESTMENTS LLC	<Null>	15970 W STATE ROAD 84	FORT LAUDERDALE	FL	33326
494205JN2250	KRONENBERG,MORTON	KRONENBERG,HASINA	821 N RIVERSIDE DR #903	POMPANO BEACH	FL	33062
494205JN2260	LUME LLC	<Null>	2320 NE 194 ST	MIAMI	FL	33180
494205JN2270	MURIEL BP LLC	<Null>	2875 NE 191 ST STE 801	AVENTURA	FL	33180
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494205JN2330	GRIFFITH,BEVERLY	<Null>	4421 W MCNAB RD #10	POMPANO BEACH	FL	33069
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494205JN2350	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33009
494205JN2360	MSE MANAGEMENT INC	<Null>	4421 W MCNAB RD #13	POMPANO BEACH	FL	33069
494205JN2370	SILVERIO,JUAN PABLO H/E &	SILVERIO,MINELLY M	4421 W MCNAB ROAD UNIT 14	POMPANO BEACH	FL	33069
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494205JN2390	ALABBAD,MOHAMMED	<Null>	13560 NW 5 CT	PLANTATION	FL	33325
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494205JN2420	ELSMERE CORP	<Null>	1390 BRICKELL AVE #104	MIAMI	FL	33131
494205JN2430	CAJAL5640 LLC	<Null>	613 NE 193 TER	MIAMI	FL	33179
494205JN2440	NORINVEST PROPERTY LLC	<Null>	19300 W DIXIE HWY #4	NORTH MIAMI BEACH	FL	33180
494205JN2450	BRICKS & TIPS LLC	<Null>	981 WATERSIDE CIR	WESTON	FL	33327
494205JN2460	SHAHAR,JAKLIN	<Null>	18313 NW 7 ST	PEMBROKE PINES	FL	33029
494205JN2470	YEBBA FAMILY TR	YEBBA,JOANIE TRSTEE	427 LOWELL ST	PEABODY	MA	1960
494205JN2480	BORONICO,CRAIG JESS	BORONICO,DANIEL	3003 HARWOOD C	DEERFIELD BEACH	FL	33442
494205JN2490	BERNAT GROUP LLC	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN2500	ABRAMS,CHRISTINE	<Null>	4421 W MCNAB RD #27	POMPANO BEACH	FL	33069

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494205JN2530	TEAM 0 LLC	<Null>	4441 W MCNAB ROAD #10	POMPANO BEACH	FL	33069
494205JN2540	KAPLAN,GINA M &	KAPLAN,JAMES L	3240 MUIRFIELD	FORT LAUDERDALE	FL	33332
494205JN2550	ERANDAN,TARIK & EMINE ESRA	ERANDAN,NAZLI & ERANDAN,OMER	19510 W OAKMONT DR	MIAM LAKES	FL	33015
494205JN2560	MIABA CORP	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN2570	MICELI,EMANUELE	MICELI,SUSAN M	272 W WARREN ST	WASHINGTON	NJ	7882
494205JN2580	BARSA LLC	%GFB TAX	4441 W MCNAB RD #15	POMPANO BEACH	FL	33069
494205JN2590	7TH SUN LLC	<Null>	15901 COLLINS AVE #4305	SUNNY ISLES BEACH	FL	33160
494205JN2600	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN2610	PANAGAKOS,PROKOPIOS	<Null>	517 S RIVERSIDE DR	POMPANO BEACH	FL	33062
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494205JN2630	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33009
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494205JN2670	BALGOBIN,NICHOLAS	<Null>	4441 W MCNAB RD APT 24	POMPANO BEACH	FL	33069
494205JN2680	DEVANEY,TARA & TIO	<Null>	1456 NW 206 TER	MIAMI	FL	33169
494205JN2690	INSERT COINS INVESTMENT LLC	<Null>	11402 NW 41 ST #211-531	DORAL	FL	33178
494205JN2700	CHEN,DAVID	<Null>	4300 N OCEAN BLVD APT 3N	FORT LAUDERDALE	FL	33308
494205JN2710	MORLES,FIDEL J	ARIAS DE MORLES,MAGALY	19501 W COUNTRY CLUB DR #1907	AVENTURA	FL	33180
494205JN2720	A&Q FLORIDA LLC	<Null>	54 FERGUSON RD	WARREN	NJ	7059
494205JN2730	NUEVA COMPANIA DEL SUR LLC	<Null>	19300 W DIXIE HWY STE 4	NORTH MIAMI BEACH	FL	33180
494205JN2740	ASTORSI LLC	<Null>	1707 E HALLANDALE BCH BLVD	HALLANDALE BEACH	FL	33009
494205JN2750	TEKEV INC	<Null>	4506 HIGHGATE DR	DELRAY BEACH	FL	33445
494205JN2760	LAURELES BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN2770	FERNANDO GEORGE TR	ZUPAN,MARYSOL ALEJANDRA TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN2780	BALESTRA,DIEGO	<Null>	PO BOX 15187	PLANTATION	FL	33318
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494205JN2810	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN2820	DI LUSTRO,SARA	<Null>	253 S CYPRESS RD UNIT 241	POMPANO BEACH	FL	33060
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494205JN2840	SENGES,MARIA ALICIA ADORNO	<Null>	4301 W MCNAB RD	POMPANO BEACH	FL	33069
494205JN2850	CHAMBAS 6 INVESTMENT LLC	<Null>	PO BOX 155	DANIA BEACH	FL	33004
494205JN2860	DIVERSIFIED RE HOLDINGS LLC	<Null>	2425 E COMERCIAL BLVD SUITE 402	FORT LAUDERDALE	FL	33308
494205JN2870	HEZNEK INC	<Null>	22720 MORTON RANCH RD #160-344	KATY	TX	77449
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494205JN2900	ELLIS,JESSE	<Null>	PO BOX 1230	*VERNON BC	CA	V1T 6
494205JN2910	FIRST BUY TR	INOUE,ROMINA VALERIA TRSTEE	2637 E ATLANTIC BLVD #24556	POMPANO BEACH	FL	33062
494205JN2920	ZITAIAT,GUY	<Null>	3325 S UNIVERSITY DR	DAVIE	FL	33328
494205JN2930	KWY HOLDINGS LLC	<Null>	8958 W STATE RD 84 #201	DAVIE	FL	33324
494205JN2940	SOARES,AURITA	<Null>	4481 W MCNAB RD #27	POMPANO BEACH	FL	33069
494205JN2950	7TH SUN LLC	<Null>	72 HOPE RD	HOLLAND	PA	18966
494205JN2960	JUANFLOLU INVESTMENTLLC	<Null>	2320 HOLLYWOOD BLVD	HOLLYWOOD	FL	33020
494205JN2970	LEA-PLAZA,ALEJANDRA	<Null>	4481 W MCNAB RD #30	POMPANO BEACH	FL	33069

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494205JN2990	KWY HOLDINGS LLC	<Null>	8958 W STATE RD 84 #201	DAVIE	FL	33324
494205JN3000	MURIEL BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
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494205JN3020	HARARI,NIR	<Null>	18660 COLLINS AVE #107	SUNNY ISLES BEACH	FL	33160
494205JN3030	DIDO INVESTMENT LLC	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN3040	BALLIAMI LLC	%STATE STREET PROPERTY MGMT	PO BOX 15187	PLANTATION	FL	33318
494205JN3050	MATHEWS,DAVID	<Null>	4501 W MCNAB ROAD, #10	POMPANO BEACH	FL	33069
494205JN3060	BENTIVEGNA,MICHAEL	BENTIVEGNA,SUSAN	5247 NW 109 WAY	CORAL SPRINGS	FL	33076
494205JN3070	MARCHANDI LLC	<Null>	3475 SHERIDAN ST #C215	HOLLYWOOD	FL	33021
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494205JN3090	4501 MCNAB ROAD JS LLC	<Null>	4050 SW 130 AVE	MIRAMAR	FL	33027
494205JN3100	SREGADA LLC	<Null>	9266 W ATLANTIC BLVD #1013	CORAL SPRINGS	FL	33071
494205JN3110	TEMPUS PROPERTIES CORP	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN3120	US MIAMI CORP	% GFB TAX SERVICE LLC	1110 BRICKELL AVE #719	MIAMI	FL	33131
494205JN3130	PERSUAD,KHEMRAJ & LILLA	<Null>	174 KINGKNOLL DR	*BRAMPTON ON	CA	L6Y 4
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494205JN3150	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN3160	ALABBAD,MOHAMMED	<Null>	13560 NW 5 CT	PLANTATION	FL	33325
494205JN3170	GOODRUM,TEARRIA S	<Null>	4501 W MCNAB RD #22	POMPANO BEACH	FL	33069
494205JN3180	EDUARDO N FURUNDARENA IRREV TR	BARBETTA,NILDA MONICA TRSTEE	100 N FEDERAL HWY UNIT 1025	FORT LAUDERDALE	FL	33301
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494205JN3200	VULCANO,DOMINGO	<Null>	3121 MIDDLETOWN RD APT 9F	BRONX	NY	10461
494205JN3210	FARA,LEANDRO L	FARA,LUIS M	JUAN BAUSTISTA JUST 1045 9 RIO1	*BUENOS AIRES	AR	1425
494205JN3220	ABI CAPITAL GROUP INC	% LELIAN CESTARI	1627 BRICKELL AVE #405	MIAMI	FL	33129
494205JN3230	KRONENBERG,MORTON	KRONENBERG,HASINA	821 N RIVERSIDE DR #903	POMPANO BEACH	FL	33062
494205JN3240	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33009
494205JN3250	MALECON HOLDING LLC	<Null>	2020 NE 163 ST # 300D	AVENTURA	FL	33160
494205JN3260	DMO BUSINESS LLC	<Null>	3111 N UNIVERSITY DR #105	CORAL SPRINGS	FL	33065
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494205JN3280	MANA REALTY GROUP LLC	<Null>	4521 W MCNAB RD #13	POMPANO BEACH	FL	33069
494205JN3290	GACHE LLC	<Null>	175 SW 7 ST #2020	MIAMI	FL	33130
494205JN3300	MURIEL BP LLC	<Null>	2875 NE 191 ST #801	AVENTURA	FL	33180
494205JN3310	PILQ LLC	<Null>	15 NW 7 AVE	FORT LAUDERDALE	FL	33311
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494205JN3350	JARI INTERNATIONAL LLC	<Null>	11402 NW 41 ST #211	DORAL	FL	33178
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494205JN3380	PRYCE-JONES,SABINA L	<Null>	1170 HOLLY OAKS CT	ST JOHNS	FL	32259
494205JN3390	MRCC INTERNATIONAL	INVESTMENTS LLC	1707 E HALLANDALE BCH	HALLANDALE BEACH	FL	33009
494205JN3400	SOUTH FLORIDA EQUITY GROUP	HOLDINGS LLC	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN3410	PALM AIRE 4521 LLC	<Null>	2641 N FLAMINGO RD #108	PLANTATION	FL	33323
494205JN3420	MILODC LLC	<Null>	1539 NE 123 ST	MIAMI	FL	33166
494205JN3430	MANCINI,LUPO J	<Null>	4521 W MCNAB RD UNIT 28	POMPANO BEACH	FL	33069
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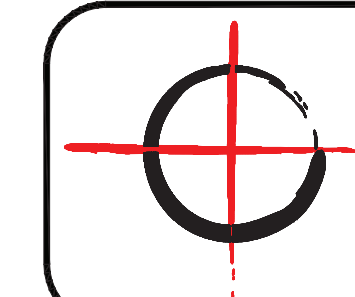
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494205JN3480	PALM AIRE GARDENS 33 LLC	<Null>	4 FULLER DR	NORTON	MA	2766
494205JN3490	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN3500	ADASU SOLUTIONS LLC	<Null>	8863 NW 19 ST	CORAL SPRINGS	FL	33071
494205JN3510	MOROCOTA GROUP INC	<Null>	12500 SW 6 ST #302	PEMBROKE PINES	FL	33027
494205JN3520	CARPENTER,ALBERTINA &	CARPENTER,WILLIAM ERNEST	621 NE 49 ST	FORT LAUDERDALE	FL	33334
494205JN3530	POINCIANA CITADEL LLC	<Null>	2320 PONCE DE LEON BLVD	CORAL GABLES	FL	33134
494205JN3540	TAMAYO,LILIA	<Null>	PO BOX 12291	MIAMI	FL	33101
494205JN3550	KEMPO LLC	<Null>	1835 NE MIAMI GARDENS DR #362	MIAMI	FL	33179
494205JN3560	PARDI,RAFAEL A	<Null>	10876 NW 79 ST	MIAMI	FL	33178
494205JN3570	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
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494205JN3590	LEVINE,MICHAEL GARY	MILLER,BARRY	21131 NE 19 AVE	NORTH MIAMI BEACH	FL	33179
494205JN3600	SPRING PARADISE LLC	<Null>	15 NW 7 AVE	FORT LAUDERDALE	FL	33311
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494205JN3620	FEJOEL LLC	<Null>	2130 NE 121 ST	NORTH MIAMI	FL	33181
494205JN3630	APART FLORIDA LLC	<Null>	1850 S OCEAN DR #3702A	HALLANDALE BEACH	FL	33009
494205JN3640	GRAZIANO,RODOLFO	LAVEGLIA,ARCANGELA	4100 RIVERSIDE DR #4	CORAL SPRINGS	FL	33065
494205JN3650	MRCC INTERNATIONAL INVESTMENTS	LLC	1549 NE 123 ST	NORTH MIAMI	FL	33161
494205JN3660	KASSAL,HARRY P	VERNENGO,MARIA B	4541 W MCNAB RD #27	POMPANO BEACH	FL	33069
494205JN3670	GAGUITO LLC	<Null>	5966 S DIXIE HWY #300	MIAMI	FL	33143
494205JN3680	ALVAREZ,ELIAS	% MAHEN INC	PO BOX 668863	POMPANO BEACH	FL	33066
494205JN3690	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
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494205JN3710	ATENCIO,EKATERINA	ATENCIO,EURO E	7415 CORKWOOD CIR	TAMARAC	FL	33321
494205JN3720	DE ORTIZ,GABRIELA SANDRA CUEYO	ORTIZ,RICARDO MARCELO	2111 NW 34 TER	COCONUT CREEK	FL	33066
494205JN3730	SOUTH FLORIDA EQUITY GROUP	HOLDINGS LLC	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN3740	SOUTH FLORIDA EQUITY GROUP	HOLDINGS LLC	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN3750	JLE MANAGEMENT LLC	<Null>	2635 SW 17 AVE	MIAMI	FL	33133
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494205JN3770	PRYCE-JONES,SABINA L	<Null>	1170 HOLLY OAKS CT	JACKSONVILLE	FL	32259
494205JN3780	BELL,ELIJAH	<Null>	3750 N STATE RD 7	LAUDERDALE LAKES	FL	33319
494205JN3790	GSF3 INVESTMENTS LLC	<Null>	175 SW 7 ST STE 2011	MIAMI	FL	33131
494205JN3800	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
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494205JN3820	SOUTH FLORIDA EQUITY GROUP LLC	<Null>	2625 PONCE DE LEON BLVD STE 245	CORAL GABLES	FL	33134
494205JN3830	FOREST,SYLVAIN	<Null>	6832 NW 26 AVE	FORT LAUDERDALE	FL	33309
494205JN3840	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN3850	SOYSA INVESTMENTS LLC	<Null>	5881 SW 164 CT	MIAMI	FL	33193
494205JN3860	2134 MIRAMAR LLC	<Null>	20949 NE 37 CT	AVENTURA	FL	33180
494205JN3870	PALM AIRE HC LLC	<Null>	3440 HOLLYWOOD BLVD STE 415	HOLLYWOOD	FL	33021
494205JN3880	DAVARI,JAHAN	DEHKORDI,MOHAMMED RACISI	4561 W MCNAB RD #29	POMPANO BEACH	FL	33069
494205JN3890	ALMOND,TODD T	<Null>	4581 W MCNAB RD # 10	POMPANO BEACH	FL	33069
494205JN3900	ERIKMAR USA CORP	<Null>	6187 NW 167 ST STE H-36	MIAMI LAKES	FL	33015
494205JN3910	SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160

494205JN3920 SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN3930 OCA LLC	<Null>	802 BURNEY CT	CEDAR HILL	TX	75104
494205JN3940 RIZWAN BHAILA REV LIV TR	BHAILA,RIZWAN TRSTEE	958 HARBOR VW S	HOLLYWOOD	FL	33019
494205JN3950 SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN3960 INVERSIONES VACH LLC	<Null>	4980 E 10 LN	MIAMI	FL	33013
494205JN3970 STAR ENTERTAINMENT AGENCY LLC	<Null>	290 174 ST #1118	SUNNY ISLES BEACH	FL	33160
494205JN3980 M & F MIAMI INVESTMENTS LLC	<Null>	PO BOX 1816	DANIA BEACH	FL	33004
494205JN3990 LAURELES BP LLC	<Null>	2875 NE 191 ST # 801	AVENTURA	FL	33180
494205JN4000 SOPHIGOR LLC	<Null>	290 174 ST #2207	SUNNY ISLES BEACH	FL	33160
494205JN4010 EMBAHE LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494205JN4020 BERNARD TR	GEISMAN,GLADYS NORA TRSTEE	4581 W MCNAB RD #23	POMPANO BEACH	FL	33069
494205JN4030 PHILLIPS,PAULA & MARK	<Null>	4581 W MCNAB RD #24	POMPANO BEACH	FL	33069
494205JN4040 LAURELES BP LLC	<Null>	2875 NE 191 ST STE 801	AVENTURA	FL	33180
494205JN4050 LA VIRGINIA LLC	<Null>	4581 W MCNAB ROAD #26	POMPANO BEACH	FL	33069
494205JN4060 IJ & M LLC	<Null>	1549 NE 123 ST	NORTH MIAMI BEACH	FL	33161
494205JN4070 MYSTIC RHAPSODY	<Null>	PO BOX 15187	PLANTATION	FL	33318
494205JN4080 MEMORIA,CARLOS EDUARDO C	DE FARIAS,ELISABETH MELLO	301 174TH ST APT 2004	SUNNY ISLES BEACH	FL	33160
494205JN4090 LG REAL ESTATE GROUP CORP	<Null>	3300 NE 188 ST #309	AVENTURA	FL	33180
494205JN4100 AMLLAV CORP	% GFB TAX SERVICE LLC	1110 BRICKELL AVE #430-B	MIAMI	FL	33131
494205JN4110 KWY HOLDINGS LLC	<Null>	8958 W STATE RD 84 #201	DAVIE	FL	33324
494205JN4120 KWY HOLDINGS LLC	<Null>	8958 W STATE RD 84 #201	DAVIE	FL	33324
494205JN4130 CURTIN,MICHAEL F	<Null>	14 BRIGHTON ST #1	CHARLESTOWN	MA	2129
494205JN4140 PASCAL,ALAN	<Null>	3810 BUCK LAKE RD APT 206	TALLAHASSEE	FL	32317
494205JN4150 YOYA 2 LLC	<Null>	2000 NW 150 AVE STE 1105-2	PEMBROKE PINES	FL	33028
494205JN4160 GPV GROUP LLC	<Null>	2875 NE 191 ST # 801	AVENTURA	FL	33180
494206BA0010 EMOND,JOSHUA D	<Null>	4538 NW 51 CT	COCONUT CREEK	FL	33073
494206BA0020 SONHO GRANDE LLC	<Null>	10826 OCEANO WAY	PARKLAND	FL	33076
494206BA0030 BOTELHO,KATHERINE	<Null>	105 GARDENS DR APT 103	POMPANO BEACH	FL	33069
494206BA0040 NAINSTEIN,HARRY & LILLY	<Null>	105 GARDENS DR #104	POMPANO BEACH	FL	33069
494206BA0050 FEARS,ANNA MARIE & WILLIAM	<Null>	7351 NW 44 LN	COCONUT CREEK	FL	33073
494206BA0060 KOCA,SUAT	<Null>	3507 OAKS WAY #205	POMPANO BEACH	FL	33069
494206BA0070 JODA RENTALS LLC	<Null>	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494206BA0080 HALL,HOWARD L	<Null>	105 GARDENS DR APT 204	POMPANO BEACH	FL	33069
494206BA0090 GUROV,RADIAN	GUROVA,GALINA	10 CARWOOD CIR	*OTTAWA ON	CA	K1K 4
494206BA0100 ERAS,SERKAN	<Null>	13846 PALM GROVE PL	PALM BEACH GARDENS	FL	33418
494206BA0110 ROSENBERG,HARRY DAVID	<Null>	3843 SWEET MAGNOLIA DR	GAINESVILLE	GA	30504
494206BA0120 MADELINE,JOSEPH E JR	<Null>	103 GARDENS DR APT 104	POMPANO BEACH	FL	33069
494206BA0130 KLUIBER,SIOBHAIN	<Null>	103 GARDENS DR #201	POMPANO BEACH	FL	33069
494206BA0140 KHANIN,VICTOR	KLYMCHENKO,VIKTORIIA	200 WINSTON DR #2410	CLIFFSIDE PARK	NJ	7010
494206BA0150 ERAS,SERKAN	<Null>	13846 PALM GROVE PL	PALM BEACH GARDENS	FL	33418
494206BA0160 BUYUKGEBIZ,CEZAIK ATTILA & BENAL	<Null>	PIYASA CADDESI NO 31/1	*SARIYER ISTANBUL	TR	<Null>
494206BA0170 CAROLYN GIERUT-PACE LIV TR	GIERUT-PACE,CAROLYN TRSTEE	214 HARMAN AVE	FORT LEE	NJ	7024
494206BA0180 5MISSION LLC	<Null>	19300 W DIXIE HWY #4	MIAMI	FL	33180
494206BA0190 YATES,CHRISTOPHER	<Null>	101 GARDENS DR #103	POMPANO BEACH	FL	33069
494206BA0200 GARCIA,JORGE J	<Null>	10139 NW 129 TER	HIALEAH	FL	33018
494206BA0210 SHAUGHNESSY,ERIN M	<Null>	5681 NW 41 AVE	COCONUT CREEK	FL	33073
494206BA0220 INGRAM,MARGARET L H/E	CURNOCK,CHRISTOPHER D	101 GARDENS DR #106	POMPANO BEACH	FL	33069

494206BA0230 BINSOL,MICHAEL G	<Null>	101 GARDENS DR #201	POMPANO BEACH	FL	33069
494206BA0240 ONE HEAD LLC	<Null>	2020 NE 163 ST STE 300D	MIAMI	FL	33162
494206BA0250 KHANIN,VICTOR	KLYMCHENKO,VIKTORIIA	200 WINSTON DR #2410	CLIFFSIDE PARK	NJ	7010
494206BA0260 TTH HOLDINGS INC	<Null>	11 TRENTON AVE	*DOLLARD DES ORMEAUX QC	CA	H9B 1
494206BA0270 DSTC INC	<Null>	1 MAIDEN LN FL 5	NEW YORK	NY	10038
494206BA0280 HOPKINS,ANN	<Null>	3436 DUNES VISTA DR	POMPANO BEACH	FL	33069
494206BA0290 GANTCHEVA,ROUMIANA	<Null>	106 GARDENS DR UNIT 101	POMPANO BEACH	FL	33069
494206BA0300 CUCUZZA,SANDRA N	<Null>	106 GARDENS DR APT 102	POMPANO BEACH	FL	33069
494206BA0310 LAMOUREUX,YVES	LAMOUREUX,VERONIQUE ETAL	106 GARDENS DR #103	POMPANO BEACH	FL	33069
494206BA0320 SUREDA ALBERTI,MIGUEL	MARTINEZ DE SUREDA,TANIA C	URB LA ALAMEDA CALLE B RES ISLA	*DE AROSA CARACAS 1080	VE	<Null>
494206BA0330 CHAVEZ,FERNANDO R &	CHAVEZ,MARIA CAROLINA	106 GARDENS DR UNIT 201	POMPANO BEACH	FL	33069
494206BA0340 KBW INVESTMENTS INC	<Null>	4303 NE 1 TER #3	OAKLAND PARK	FL	33334
494206BA0350 JACKSON,DAWN MARIE H/E	DAVIS,PEGGY ANN	106 GARDENS DR # 203	POMPANO BEACH	FL	33069
494206BA0360 METZA FLL LLC	<Null>	2701 GRIFFIN RD	FORT LAUDERDALE	FL	33312
494206BA0370 CARVO,MARITZA L	GONZALEZ,MARIA C	2648 NW 124 AVE	CORAL SPRINGS	FL	33065
494206BA0380 PERUN,SAMUEL JR	<Null>	104 GARDENS DR UNIT 102	POMPANO BEACH	FL	33069
494206BA0390 OLGA ROTVER LIV TR	ROTVER,OLGA TRSTEE	104 GARDENS DR # 103	POMPANO BEACH	FL	33069
494206BA0400 EAST CAPITAL INVESTMENTS LLC	<Null>	4521 N FEDERAL HWY	POMPANO BEACH	FL	33069
494206BA0410 VARELA,CARLOS HONORIO PERDOMO	FAZIO,JOAQUIN SERGIO	1707 E HALLANDALE BEACH BLVD	HALLANDALE BEACH	FL	33009
494206BA0420 ROSE,KEITH	<Null>	46 GOLDENEYE PL	*MOUNT PEARL NL	CA	A1N 5
494206BA0430 TEMPUS PROPERTIES CORP	<Null>	PO BOX 15187	PLANTATION	FL	33318
494206BA0440 CARMO-ROMERO,CRISTINA	<Null>	104 GARDENS DR #202	POMPANO BEACH	FL	33069
494206BA0450 ROLU ONE LLC	<Null>	3416 SPRING ST #3	POMPANO BEACH	FL	33062
494206BA0460 ARNOLD,JONATHAN	ARNOLD,ODELYA	302 CLIFFSIDE TRL	PONTE VEDRA	FL	32081
494206BA0470 GREENBLATT,RYAN	<Null>	9571 SAVONA WINDS DR	DELRAY BEACH	FL	33446
494206BA0480 FULGA,BOGDAN STEFAN	<Null>	17 EMERY CRT	*NEPEAN ON	CA	K2H 7
494206BA0490 SALAS,KATIA I	<Null>	6106 SOUTHGATE BLVD	MARGATE	FL	33068
494206BA0500 VOHRA,RAJESH & SHERRY	<Null>	8858 CLUB ESTATES WAY	LAKE WORTH	FL	33467
494206BA0510 SHERLOCK,TIMOTHY	<Null>	102 GARDENS DR UNIT 103	POMPANO BEACH	FL	33069
494206BA0520 NOLL,MICHAEL	<Null>	102 GARDENS DR APT 104	POMPANO BEACH	FL	33069
494206BA0530 RAMSUMAIR,SHOBA	<Null>	2002 SW NARURA BLVD #C	DEERFIELD BEACH	FL	33441
494206BA0540 ESCALANTE,DIANA	<Null>	102 GARDENS DR #202	POMPANO BEACH	FL	33069
494206BA0550 SCACCI,DOMINIC A	<Null>	5681 NW 41 AVE	COCONUT CREEK	FL	33073
494206BA0560 ALEXANDROV,ALEXANDER	ALEXANDROV,PATRICIA	102 GARDENS DR #204	POMPANO BEACH	FL	33069
494207AC0010 FUENTES,SEBASTIAN	FUENTES,ALEXANDER ETAL	4600 W MCNAB RD #A1	POMPANO BEACH	FL	33069
494207AC0020 PLUS RENTALS INC		4600 W MCNAB RD UNIT B1	POMPANO BEACH	FL	33069
494207AC0030 DELEGAL,SHARON V		10317 NW 16 CT	CORAL SPRINGS	FL	33071
494207AC0040 CLEMENTI,ALEX		4600 W MCNAB RD #D1	POMPANO BEACH	FL	33069
494207AC0050 KUCINE,JASON	<Null>	4600 W MCNAB RD #A2	POMPANO BEACH	FL	33069
494207AC0060 ROTUNDO,ALFONSO	<Null>	4600 W MCNAB RD #B2	POMPANO BEACH	FL	33069
494207AC0070 GREULICH,JOLENE M	<Null>	4600 W MCNAB RD #C-2	POMPANO BEACH	FL	33069
494207AC0080 CARRION,MYRIAM IVETTE	<Null>	4600 W MCNAB RD #2D	POMPANO BEACH	FL	33069
494208AA0010 ACHI,D YAMIL SARGI	<Null>	221 NW 8 AVE APT 107	HALLANDALE BEACH	FL	33009
494208AA0020 MARTIN,KENEDY	<Null>	3002 NW 69 CT #1B	FORT LAUDERDALE	FL	33309
494208AA0030 HIGLEY,SUE A	<Null>	3004 NW 69 CT #1C	FORT LAUDERDALE	FL	33309
494208AA0040 KAHLKE,STEPHEN E	<Null>	4217 LANTERN LIGHT DR	PLANO	TX	75093
494208AA0050 ANDERSON,MARI L	MARI L ANDERSON REV TR	6441 NW 31 WAY	FORT LAUDERDALE	FL	33309

494208AA0060 KAHLKE,STEPHEN E & JOANNE L	<Null>	4217 LANTERN LIGHT DR	PLANO	TX	75093
494208AA0070 SCHLUTER,MARY	<Null>	3010 NW 69 CT	FORT LAUDERDALE	FL	33309
494208AA0080 JULIE A DODARELL REAL ESTATE TR	DODARELL,JULIE A TRSTEE	4959 NW 6 ST	COCONUT CREEK	FL	33063
494208AA0090 JULIE A DODARELL REAL ESTATE TR	DODARELL,JULIE A TRSTEE	4959 NW 6 ST	COCONUT CREEK	FL	33063
494208AA0100 KOTKOWSKI,JOHN G	<Null>	3014 1/2 NW 69 CT # 2D	FORT LAUDERDALE	FL	33309
494208AA0110 DUGAZON,JEWISON	<Null>	3016 NW 69 CT #2E	FORT LAUDERDALE	FL	33309
494208AA0120 PEARSON,NATASHA	<Null>	3018 NW 69 CT #2F	FORT LAUDERDALE	FL	33309
494208AA0130 JANCZYK,MONIKA	KUBIEC,KINGA K & KUBIEC,MICHAL P	PO BOX 924556	HOMESTEAD	FL	33092
494208AA0140 TERCJ,RUBENS F	<Null>	4110 NW 69 TER	CORAL SPRINGS	FL	33065
494208AA0150 IRIARTE,BERNARDO A & MONICA	<Null>	9477 NW 5 STREET	CORAL SPRINGS	FL	33071
494208AA0160 WALLO,CRISTINA	<Null>	2280 NW 69 TER	MARGATE	FL	33063
494208AA0170 NADEAU,KATHLEEN KEITH	<Null>	3026 NW 69 CT #3E	FORT LAUDERDALE	FL	33309
494208AA0180 ADAMS,CYNTHIA LEE	<Null>	3028 NW 69 CT UNIT 3F	FORT LAUDERDALE	FL	33309
494208AA0190 KAHLKE,STEPHEN EUGENE	KAHLKE,JOANNE LILLIAN	4217 LANTERN LIGHT DR	PLANO	TX	75093
494208AA0200 STEWART,LATOYA	<Null>	3032 NW 69 CT #4B	FORT LAUDERDALE	FL	33309
494208AA0210 VALENTI,ARIELLE C	VRICELLA,LAWRENCE	3032 1/2 NW 69 CT #4C	FORT LAUDERDALE	FL	33309
494208AA0220 BONI FL LLC	<Null>	1885 NE 121 ST #9	NORTH MIAMI	FL	33181
494208AA0230 MERGENHAGEN,DONNA M	<Null>	3034 1/2 NW 69 CT	FORT LAUDERDALE	FL	33309
494208AA0240 CASAMENTO,SERGIO	<Null>	17839 CROOKED OAK AVE	BOCA RATON	FL	33487
494208AA0250 LIMPJERT,JOFFREY & DARLENE	<Null>	300 VERO AVE	CLEWISTON	FL	33440
494208AA0260 BERMUDEZ,RAUL	HIDALGO,ANABEL	3038 NW 69 CT #4H	FORT LAUDERDALE	FL	33309
494208AA0270 PUERTO RE16 LLC	<Null>	5017 NW 51ST TER	TAMARAC	FL	33319
494208AA0280 MOEWS,JEFFREY	<Null>	6843 NW 30 AVE #5B	FORT LAUDERDALE	FL	33309
494208AA0290 TAVERAS,KARINA	<Null>	6845 NW 30 AVE #5C	FORT LAUDERDALE	FL	33309
494208AA0300 LANG,EBONY ROYCE H/E	ROYCE,TRUDY & LANG,LARRY	6847 NW 30 AVE #5D	FORT LAUDERDALE	FL	33309
494208AA0310 AASVED,MIKAL J	<Null>	4481 NW 2 CT	COCONUT CREEK	FL	33066
494208AA0320 PEREIRA,JACQUELINE B	<Null>	6823 NW 30 AVE # 6B	FORT LAUDERDALE	FL	33309
494208AA0330 STEPHAN,MONIQUE	<Null>	6825 NW 30 AVE #6C	FORT LAUDERDALE	FL	33309
494208AA0340 JASPER,BETTY L	JASPER,JACQUELINE V	4310 CENTENNIAL CT APT 6	GURNEE	IL	60031
494208AA0350 PENTERICH,CARLOS RENATO	DANTAS,ROSILENE DE MELO	4881 SWANS MANOR	COCONUT CREEK	FL	33073
494208AA0360 TRUONG,PHONG HUY	<Null>	6844 NW 31 AVE #7-B	FORT LAUDERDALE	FL	33309
494208AA0370 HOPKINS,WARREN	<Null>	6842 NW 31 AVE #7C	FORT LAUDERDALE	FL	33309
494208AA0380 CALDERBANK,ALLISON	<Null>	6722 NW 108 AVE	PARKLAND	FL	33076
494208AA0390 ORREGO,RAMIRO A	<Null>	620 NE 59 CT	FORT LAUDERDALE	FL	33334
494208AA0400 RENGIFO,ANGIE	<Null>	620 NE 59 CT	FORT LAUDERDALE	FL	33334
494208AA0410 JOSEPH,STANLEY REMY	<Null>	6822 NW 31 AVE #8C	FORT LAUDERDALE	FL	33309
494208AA0420 CRUZ,MOISES	<Null>	6820 NW 31ST AVE	FORT LAUDERDALE	FL	33309
494208AA0430 YOUNG,ISABEL	<Null>	3009 NW 68 ST #9A	FORT LAUDERDALE	FL	33309
494208AA0440 FULLERTON,MARCIA	<Null>	3007 1/2 NW 68 ST # 9B	FORT LAUDERDALE	FL	33309
494208AA0450 FERGUSON,THOMAS GREGORY	<Null>	47589 REEF TER	POTOMAC FALLS	VA	20165
494208AA0460 JEWETT,DENA	<Null>	3005 NW 68 ST #9D	FORT LAUDERDALE	FL	33309
494208AA0470 GAY,TYRONE & TAKARA V	<Null>	3005 NW 68 ST #9E	FORT LAUDERDALE	FL	33309
494208AA0480 CALDERBANK,ALLISON L	<Null>	6722 NW 108 AVE	PARKLAND	FL	33076
494208AA0490 AWA USA ENTERPRISE LLC	<Null>	11098 BISCAYNE BLVD STE 308	MIAMI	FL	33161
494208AA0500 RANGER,LEILA M H/E	RANGER,JENNIFER J	3001 NW 68 ST #9H	FORT LAUDERDALE	FL	33309
494208AA0510 NUNEZ,LYNN S	<Null>	3019 NW 68 ST #10A	FORT LAUDERDALE	FL	33309
494208AA0520 MONTENEGRO,ELENA ISABEL	<Null>	3017 NW 68 ST #10-B	FORT LAUDERDALE	FL	33309

494208AA0530 PRESCOTT,ELVIA NATALIA	<Null>	3015 NW 68 ST # 10C	FORT LAUDERDALE	FL	33309
494208AA0540 DUMORNAY,JACQUES A JR	<Null>	6815 NW 24 WAY	FORT LAUDERDALE	FL	33309
494208AA0550 ESCHEN,STEVEN P	<Null>	3013 NW 68 ST #10E	FORT LAUDERDALE	FL	33309
494208AA0560 ALCIRA,LUCIA	<Null>	9792 SW EASTBROOK CIR	PORT SAINT LUCIE	FL	34987
494208AA0570 ALINCY,ROSNELD	<Null>	8620 BANYAN PL	TAMARAC	FL	33321
494208AA0580 VVS CORP	<Null>	PO BOX 823040	PEMBROKE PINES	FL	33082
494208AA0590 SARABIA,MARTINA G	<Null>	3027 NW 68 ST UNIT 11C	FORT LAUDERDALE	FL	33309
494208AA0600 JONES,KAYLA	<Null>	3025 1/2 NW 68 ST #11D	FORT LAUDERDALE	FL	33309
494208AA0610 VINCENT,IMMACULA	<Null>	2341 NW 38 TER	LAUDERDALE LAKES	FL	33311
494208AA0620 LOHAN,MICHAEL	<Null>	3023 NW 68 ST UNIT 11-F	FORT LAUDERDALE	FL	33309
494208AA0630 ADAMS,SHELLEY LEE	<Null>	3021 1/2 NW 68 ST UNIT 11-G	FORT LAUDERDALE	FL	33309
494208AA0640 MYERS,SUSAN	<Null>	3021 NW 68 ST UNIT 11-H	FORT LAUDERDALE	FL	33309
494208AA0650 CODORNIU,OMAR BABUN	RUESGA,ISABEL D CASAS	1350 NE 50 CT #202	FORT LAUDERDALE	FL	33334
494208AA0660 ALVAREZ,ROCIO	<Null>	3037 NW 68 ST APT 12B	FORT LAUDERDALE	FL	33309
494208AA0670 FRANCES DELVECCHIO REV LIV TR	<Null>	6740 NW 26 WAY	FORT LAUDERDALE	FL	33309
494208AA0680 VIDAL,ARIEL QUINONES	<Null>	3035 NW 68 ST #12D	FORT LAUDERDALE	FL	33309
494208AA0690 FRIENDS CAPITAL INVESTMENTS LLC	<Null>	2855 NE 23 ST	FORT LAUDERDALE	FL	33305
494208AA0700 AZETA INTERNATIONAL LLC	<Null>	3202 CORAL WAY	MIAMI	FL	33145
494208AB0010 HACOLBESEDER LLC	<Null>	PO BOX 801910	MIAMI	FL	33280
494208AB0020 HERRERA,OLGA	<Null>	6932 NW 31 AVE # B13	FORT LAUDERDALE	FL	33309
494208AB0030 DALI CREATION WORK CORP	<Null>	12226 SW 130 ST	MIAMI	FL	33186
494208AB0040 GONAZALEZ MORALES,REYNA M	REYES-RODRIGUEZ,JOSUE I	6936 NW 31 AVE #D13	FORT LAUDERDALE	FL	33309



PINNELL SURVEY, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
5300 WEST HILLSBORO BOULEVARD, SUITE 215-A
COCONUT CREEK, FLORIDA 33073
PHONE: (954)418-4940 FAX: (954)418-4941
LICENSED BUSINESS #6857

**PROJECT ADDRESS: 6997 N.W. 30th TERRACE
FORT LAUDERDALE, FLORIDA 33309**

CERTIFY TO:

- 1. CARPELO JEBOAM
- 2.
- 3.
- 4.

LEGAL DESCRIPTION:

PARCEL "A" OF "PALM AIRE VILLAGE 3RD SECTION ADD'N 7", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 101, PAGE 27 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ENCROACHMENT NOTES:

- 1) 6 FOOT CHAIN LINK FENCE CROSSES OVER THE EASTERLY PROPERTY LINE.

GENERAL NOTES:

- 1) TYPE OF SURVEY: BOUNDARY
- 2) IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL & VOID.
- 3) THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 4) THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD BY PINNELL SURVEY, INC. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT DEPICTED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, FOR WHICH THE SUBJECT PROPERTY IS LOCATED IN.
- 5) UNLESS OTHERWISE NOTED, FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
- 6) ELEVATIONS SHOWN HEREON (IF ANY) ARE BASED ON THE NAVD '88, UNLESS OTHERWISE NOTED.
- 7) UNDERGROUND IMPROVEMENTS AND UTILITIES ARE NOT LOCATED.
- 8) FENCE AND WALL OWNERSHIP IS NOT DETERMINED.
- 9) THIS DRAWING IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART WITHOUT WRITTEN PERMISSION & AUTHORIZATION FROM PINNELL SURVEY, INC.
- 10) ALL EASEMENTS SHOWN ON THE ATTACHED DRAWING ARE PER THE RECORD PLAT (UNLESS OTHERWISE NOTED).
- 11) BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF NORTH 88°54'49"E ALONG THE NORTH LINE OF PARCEL "A" OF "PALM AIRE VILLAGE 3RD SECTION ADD'N 7", PLAT BOOK 101, PAGE 27 BROWARD COUNTY RECORDS.
- 12) BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN HEREON IS LOCATED WITHIN A FLOOD ZONE "X" WITH NO BASE FLOOD ELEVATION DETERMINED, AS SHOWN ON F.I.R.M. MAP 125101-0354/0358-H, BEARING A MAP EFFECTIVE DATE OF 08/18/14.
- 13) REFERENCE BENCHMARK: BROWARD COUNTY ENGINEERING B.M. #1212, ELEVATION = 13.303'(NGVD '29) / 11.738'(NAVD '88)
- 14) DATE FIELDWORK PERFORMED: 01/30/21 (FIELD BOOK 625, PAGE 35)
- 15) DRAWN BY: J.H.P. & Q.D.I. CHECKED BY: J.H.P.

CERTIFICATION:

THIS IS TO CERTIFY THAT I HAVE RECENTLY SURVEYED THE PROPERTY DESCRIBED IN THE FOREGOING TITLE CAPTION AND HAVE SET OR FOUND MONUMENTS AS INDICATED ON THIS SKETCH AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE UNDER RULE 5J-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

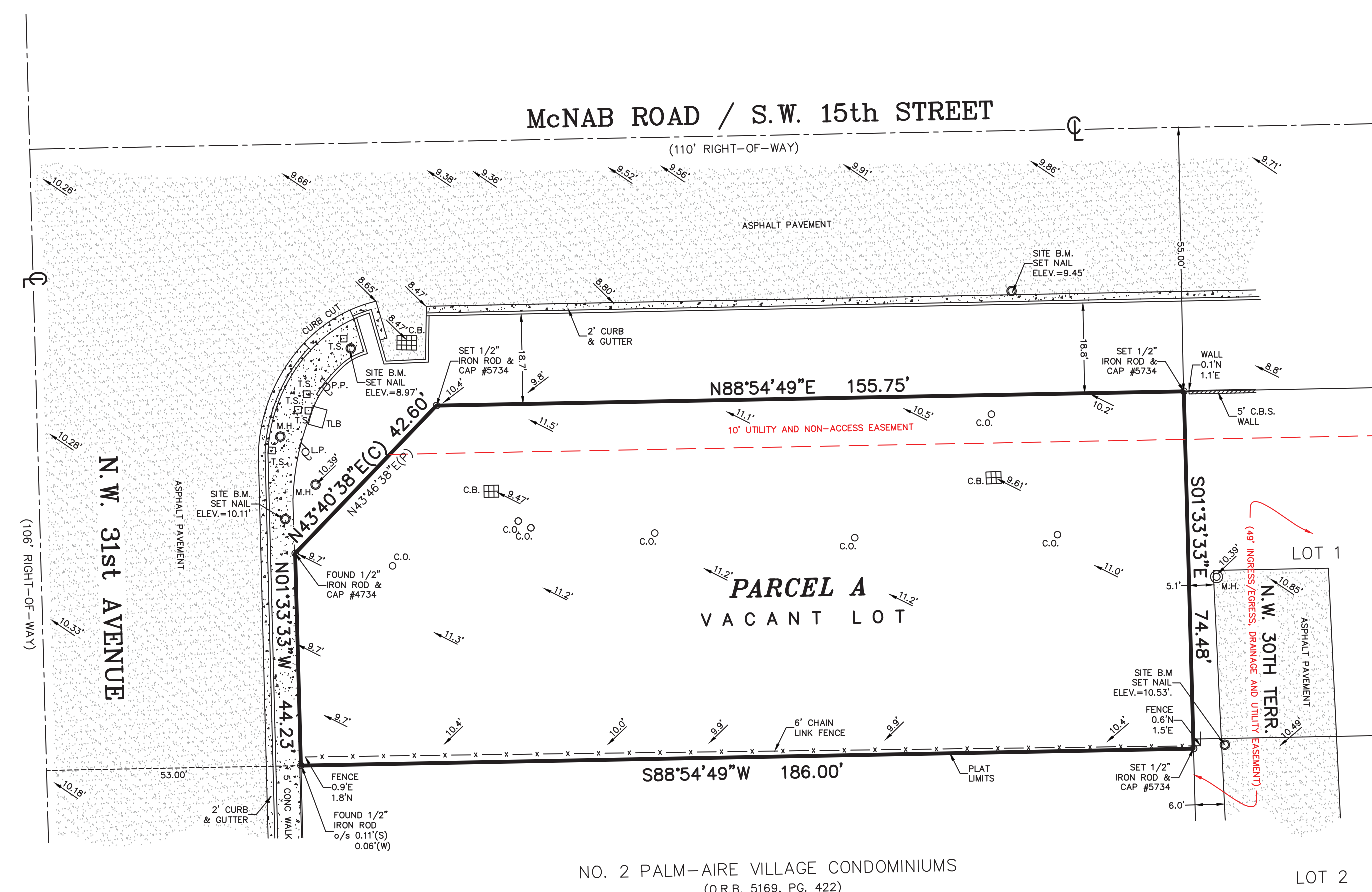
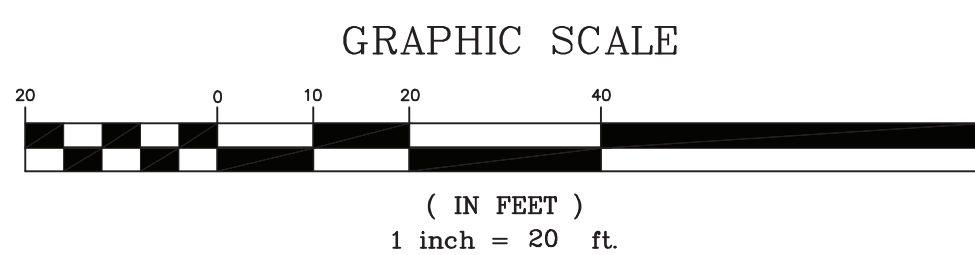
02/17/21
JASON H. PINNELL
PROFESSIONAL SURVEYOR & MAPPER
LICENSE NO. 5734 - STATE OF FLORIDA

REVISIONS:

REVISION	DATE	CHECKED BY

PROJECT NAME: JEBOAM

JOB NO.: 21-0166



- LEGEND:**
- B.M. = BENCHMARK
 - B.C.R. = BROWARD COUNTY RECORDS
 - C = CALCULATED MEASUREMENT
 - CL = CENTERLINE
 - C.B. = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - C.L.F. = CHAIN LINK FENCE
 - C.O. = CLEAN OUT
 - CONC. = CONCRETE
 - C.L.P. = CONCRETE LIGHT POLE
 - D = DEED MEASUREMENT
 - E.S. = ELECTRIC SERVICE
 - ELEV. = ELEVATION
 - F.P.L. = FLORIDA POWER & LIGHT
 - G.V. = GATE VALVE
 - L.P. = LIGHT POLE
 - M = MEASURED
 - M.H. = MANHOLE
 - NAVD = NORTH AMERICAN VERTICAL DATUM
 - NGVD = NATIONAL GEODETIC VERTICAL DATUM
 - O.R.B. = OFFICIAL RECORDS BOOK
 - P = PLAT MEASUREMENT
 - P.B. = PLAT BOOK
 - P.E. = POOL EQUIPMENT
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - TYP. = TYPICAL
 - W.M. = WATER METER
 - P.P. = POWER POLE
 - T.S. = TRAFFIC SIGNAL SERVICE
 - TLB = TRAFFIC LIGHT BOX
 - A/C = AIR CONDITIONING UNIT
 - o/s = OFFSET
 - R/W = RIGHT-OF-WAY
 - ♿ = HANDICAPPED PARKING
 - ⚡ = FIRE HYDRANT
 - ⚡ = UTILITY POLE
 - ⚡ = SPOT ELEVATION

NO.	NAME OF DRAWING
	ARCHITECTURAL
A-010	OVERALL SITE PLAN
A-301	ELEVATIONS
A-301.1	SITE AND SURROUNDING AREA IMAGES

LEGEND :	
	SODDED AND/OR LANDSCAPED AREAS
	OFF-STREET PARKING AREAS, VEHICULAR CIRCULATION AND PEDESTRIAN CONCRETE WALKWAYS
	SCORED CONC. PEDESTRIAN WALKWAYS / DRIVEWAYS



LYONS TOWNHOMES
6997 NW 30TH TER, FORT LAUDERDALE, FL 33309

PREPARED FOR:
CARPELO JECBOAM
3908 PASSION FLOWER RD
COCONUT CREEK, FL 33073
PHONE: (305) 803-1914
CONTACT: CARPELO JECBOAM

J H ARC + DESIGN INC
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INFO@JHARC.COM WWW.JHARC.COM
A A 2 6 0 2 2 9 1 1 8 2 6 0 1 3 1 0 8
FL AR44366 [NC 11915] NV 6834
UT 94683520301 [GA RAG14410]

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CONSULTANTS:



ZONING SECTION
SEC. 47-18.33. TOWNHOUSE

SITE DESIGN CRITERIA:
A TOWNHOUSE DEVELOPMENT SHALL MEET THE FOLLOWING SITE DESIGN CRITERIA.

MINIMUM LOT SIZE:
17,500 SQUARE FEET AND SHALL PROVIDE AN AVERAGE OF TWO THOUSAND (2,000) SQUARE FEET PER DWELLING UNIT, INCLUDING DRIVEWAYS AND AREAS HELD IN COMMON OWNERSHIP.

GROUP LIMIT:
A TOWNHOUSE GROUP SHALL BE LIMITED TO A MAXIMUM OF EIGHT (8) DWELLING UNITS. A MINIMUM OF TWENTY-FIVE PERCENT (25%) OF THE TOWNHOUSE GROUP'S FRONT FACADE SHALL BE SET BACK AN ADDITIONAL FIVE (5) FEET FROM THE REST OF THE FRONT FACADE. ATTACHED UNITS MAY HAVE A COMMON WALL OR INDIVIDUAL SIDEWALLS SEPARATED BY A DISTANCE OF NOT MORE THAN ONE (1) INCH OR AS DETERMINED REASONABLE BY THE BUILDING INSPECTOR. IF INDIVIDUAL WALLS ARE USED, THE BUILDINGS SHALL HAVE ADEQUATE FLASHING AT THE ROOFLINE.

YARD REQUIREMENTS:
A. FRONT YARD: A FIVE (5) FEET EASEMENT ALONG THE FRONT PROPERTY LINE OF THE GROUP SHALL BE REQUIRED.
B. SIDE YARD: THE MINIMUM SIDE YARD SHALL BE A MINIMUM OF TEN (10) FEET FROM THE SIDE OF THE PROPERTY LINE OF THE TOWNHOUSE GROUP AND A MINIMUM OF TWENTY (20) FEET MEASURED FROM AN ULTIMATE RIGHT-OF-WAY, DEDICATED STREET, OR STREET-WIDENING LINE. A FIVE (5) FEET EASEMENT WHICH EXTENDS FROM FRONT TO REAR LOT LINES ALONG A SIDE LOT LINE OF THE TOWNHOUSE GROUP NOT ABUTTING A PUBLIC STREET SHALL BE REQUIRED FOR USE BY OWNERS WITHIN THE GROUP.
C. REAR YARD: SHALL BE A MINIMUM OF TWENTY (20) FEET FROM THE REAR PROPERTY LINE. PROVISIONS SATISFACTORY TO THE CITY ATTORNEY SHALL BE MADE FOR A RECORDABLE EASEMENT ALONG THE REAR PROPERTY LINE OF THE GROUP FOR USE BY THE OWNERS OF THE GROUP.

ENTRANCE REQUIREMENTS:
WITHIN THE RC-15 DISTRICT ONLY, ANY PRINCIPAL STRUCTURE'S FACADE FACING A PUBLIC RIGHT-OF-WAY SHALL BE CONSIDERED THE FRONT FACADE FOR THOSE UNITS. EACH UNIT MUST HAVE, ON A FRONT FACADE, ITS OWN PRINCIPAL ENTRANCE. THE ENTRANCES SHALL BE ROOFED CONCRETE LANDING A MINIMUM OF THREE (3) FEET BY FIVE (5) FEET AND SHALL BE OF ARCHITECTURAL DESIGN AND MATERIAL SIMILAR TO AND INTEGRAL WITH THE PRINCIPAL STRUCTURE. NO TWO (2) PRINCIPAL ENTRANCES SHALL SHARE A ROOFED LANDING. A MINIMUM OF EIGHT (8) LINEAR FEET SHALL BE PROVIDED BETWEEN ENTRANCES WHICH ARE LOCATED WITHIN THE SAME PLANE.

MINIMUM FLOOR AREA:
EACH INDIVIDUAL DWELLING UNIT SHALL HAVE A MINIMUM FLOOR AREA OF SEVEN HUNDRED FIFTY (750) SQUARE FEET.

HEIGHT:
THE MAXIMUM HEIGHT SHALL NOT EXCEED THIRTY-FIVE (35) FEET.

FENCE REQUIREMENTS:
WITHIN THE RC-15 DISTRICT ONLY, FOR NEW CONSTRUCTION, SEVENTY-FIVE PERCENT (75%) OF ALL FENCING ALONG THE FRONT YARD OF A TOWNHOUSE DEVELOPMENT ABUTTING A PUBLIC RIGHT-OF-WAY MUST BE OF NON-OPAQUE MATERIALS SUCH AS VERTICAL BARS OR PICKET FENCE, AND BE SUBJECT TO ALL OTHER REQUIREMENTS OF SEC. 47-19.5, FENCES, WALLS AND HEDGES.

LANDSCAPE REQUIREMENTS:
A. A MINIMUM FIVE (5) FEET WIDE SIDEWALK ALONG EACH PUBLIC STREET ABUTTING THE PROPERTY ALONG THE FULL LENGTH OF THE FRONT PROPERTY LINE SHALL BE PROVIDED. A MINIMUM THREE (3) FEET WIDE SIDEWALK SHALL BE PROVIDED FROM EACH PRINCIPAL ENTRANCE TO THE PUBLIC SIDEWALK UNLESS THE DRC DETERMINES THAT ALTERNATIVE PEDESTRIAN ACCESS TO THE PUBLIC SIDEWALK IS PROVIDED.
B. STREET TREES SHALL BE PLANTED AND MAINTAINED ALONG THE PUBLIC STREET ABUTTING THE PROPERTY TO PROVIDE A CANOPY EFFECT. THE TYPE OF STREET TREES MAY INCLUDE SHADE, FLOWERING AND PALM TREES AND SHALL BE PLANTED AT A MINIMUM HEIGHT AND SIZE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 47-21. LANDSCAPE AND TREE PRESERVATION REQUIREMENTS, THE LOCATION AND NUMBER OF TREES SHALL BE DETERMINED BY THE DEPARTMENT BASED ON HEIGHT, BULK, SHADOW, MASS AND DESIGN OF THE STRUCTURES ON THE SITE AND THE PROPOSED DEVELOPMENT'S COMPATIBILITY TO SURROUNDING PROPERTIES.

MAINTENANCE AGREEMENT:
A TOWNHOUSE DEVELOPMENT SHALL HAVE A RECORDED MAINTENANCE AGREEMENT FOR THE COMMON AREAS. (ORD. NO. C-97-19; [147-18.32], 6-18-97; ORD. NO. C-99-18, § 4, 3-16-99)

UNIT	UNIT	UNIT	UNIT
#6997	#6995	#6993	#6991

KEY PLAN
SCALE: NTS

%	DATE:	DRAWING ISSUE HISTORY
100%	11.01.2020	SCHEDULED PERIOD
100%	12.16.2019	DEKAL DEVELOPMENT
100%	03.28.2014	CONSTRUCTION DOCUMENTS
100%	05.23.2014	RECORD DOCUMENTS
100%	08.12.2014	PERMIT DOCUMENTS

REV.	DATE:	REVISION ISSUE HISTORY
1	11.01.2020	RECORD DOCUMENTS
2	05.28.2021	BLDG DEPT COMMENTS

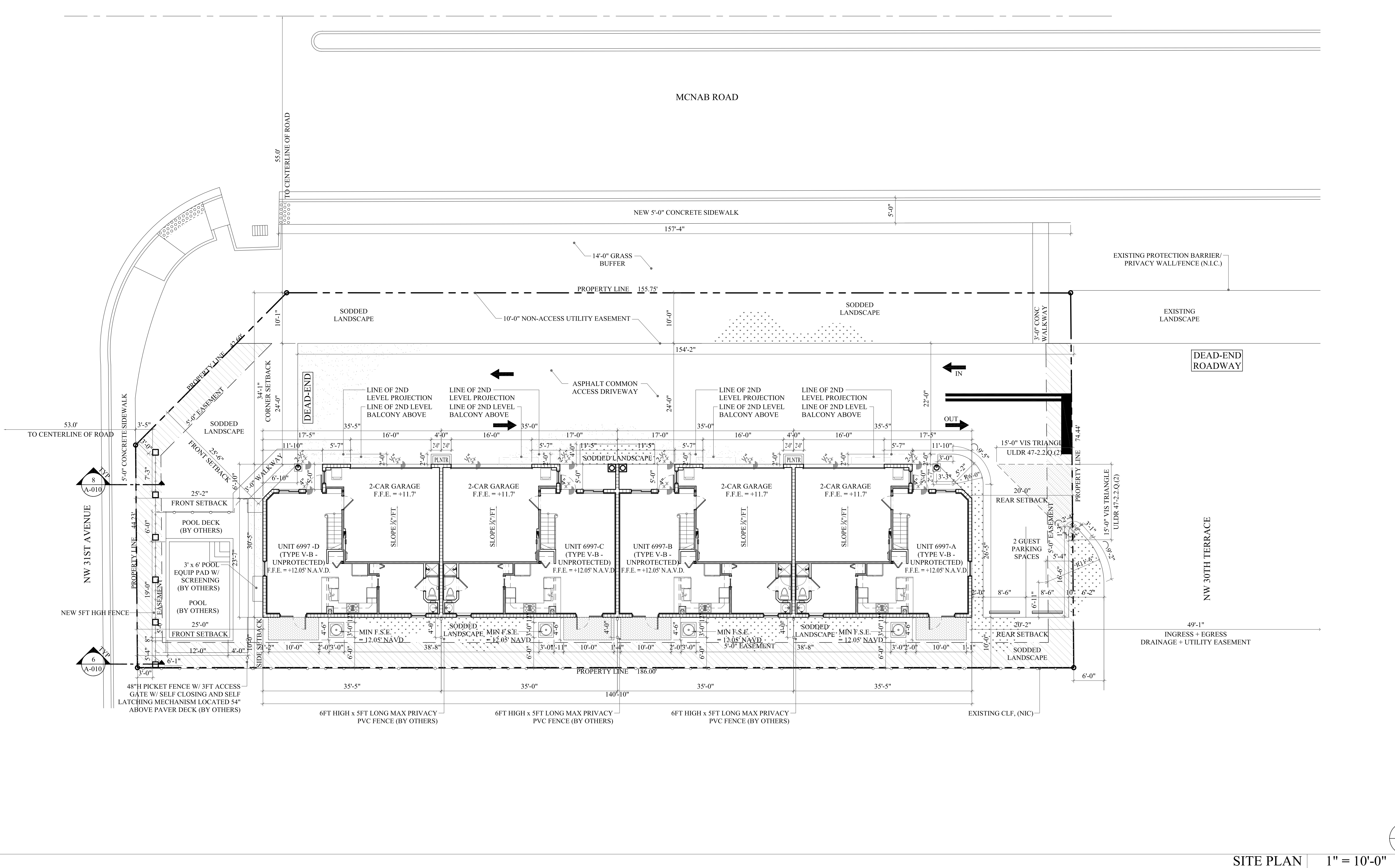
DATE:	REVISION ISSUE HISTORY
11.01.2020	RECORD DOCUMENTS
05.28.2021	BLDG DEPT COMMENTS

SHEET TITLE:
SITE PLAN

SET TITLE: 100% CONSTRUCTION DOCUMENTS FOR REGULATORY APPROVAL, PERMITTING, AND/OR CONSTRUCTION

JOB NO: 2013.05 **DRAWN BY:** STAFF
DATE: 11.01.2020 **CHECKED BY:** STAFF

DISCIPLINE:
A
SHEET NO:
010



SITE PLAN 1" = 10'-0" 1

ZONING ORDINANCE

B. BUILDING INFORMATION

DESCRIPTION OF WORK:
RESIDENTIAL ADDITION: SELECTIVE DEMOLITION & RENOVATION

CONSTRUCTION TYPE: I I-B II-A II-B III-A III-B
 IV V-A V-B

MIXED CONSTRUCTION: YES NO TYPES _____

SPRINKLER: YES NO NFPA 13 NFPA 13R NFPA 13D

STAIRPIPE: YES NO CLASS I II III WET DRY

FIRE DISTRICT: <35 FEET 2 # OF STORIES UNLIMITED PER _____

BUILDING HEIGHT: _____

MEZZANINE: YES NO

HIGH RISE: YES NO

ZONING DESIGNATION: RMH-25 TOTAL NET LOT AREA: 13,400 SF = 3076 ACRE

LAND USE DESIGNATION: 36

PROJECT SCOPE OF WORK: CONSTRUCTION OF 4 NEW TOWNHOMES EACH WITH 4 BED, 3 BATH, LOFT, PRIVATE PORCH + BALC W/ 2-CAR ATTACHED GARAGE

PARKING SPACES PROVIDED: 8 GARAGE SPACES + 2 EXTERIOR GUEST SPACES

B.2 SITE USE DATA

1. SQUARE FOOTAGE CALCS	2. SETBACKS**	REQUIRED	PROVIDED
MIN FLOOR AREA: 750 S.F.	FRONT	25'	25'-0"
PROPOSED RESIDENCE (UNIT TYPE A/D)	NORTH SIDE	20'	34'-0"
TOTAL AC AREA (1ST FLR)	SOUTH SIDE	10'	10'-0"
TOTAL AC AREA (2ND FLR)	REAR	20'	20'-0"
TOTAL NON AC AREA (1ST FLR)			
TOTAL NON AC AREA (2ND FLR)			
TOTAL COVERED AREA			
TOTAL:			
PROPOSED RESIDENCE (UNIT TYPE B/C)			
TOTAL AC AREA (1ST FLR)	MIN PERVIOUS AREA: 25%	644 S.F.	MIN PERVIOUS AREA: 25%
TOTAL AC AREA (2ND FLR)		1,092 S.F.	3,347 S.F. = 25% 4,902 S.F. = 36.5%
TOTAL NON AC AREA (1ST FLR)		366 S.F.	
TOTAL NON AC AREA (2ND FLR)		0 S.F.	
TOTAL COVERED AREA		103 S.F.	SEMI-PERVIOUS / IMPERVIOUS AREA (CONCRETE / ASPHALT / PAVED): 4,266 S.F. = 31.8%
TOTAL:		2,205 S.F.	LANDSCAPE / SODDED AREA: 4,902 S.F. = 36.5%

NOTE:
** IF OVER 22 FEET, SETBACK 1 FOOT INCREMENTS

B.3 LEGAL DESCRIPTION
FOLIO IDENTIFICATION NUMBER: 4942 08 12 0370
PARCEL 'A' OF PALM-AIRE VILLAGE ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 101, PAGE 27 OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA

B.4 FLOOD ZONE + NOTES

- FLOOD ZONE: X / BASE ELEV: N/A
- BENCHMARK: BROWARD COUNTY NO. 1212 - ELEV +11.793' NAVD



07/13/2021
East View NW 30 Ter NTS 5



07/13/2021
East View NW 30 Ter NTS 4



07/13/2021
Site South View NTS 3



07/13/2021
Site East View 6997 NTS 2



07/13/2021
Site West View 6997 NTS 1



07/13/2021
North View NW 69th Ct + 31st Ave NTS 10



07/13/2021
North View NW 69th Ct NTS 9



07/13/2021
South View NW 69th Ct NTS 8



07/13/2021
West View NW 30th Ter NTS 7



07/13/2021
North View NW 30th Ter NTS 6



07/13/2021
South View NW 69th Ct + 31st Ave NTS 15



07/13/2021
South View W McNab Rd NTS 14



07/13/2021
South View W McNab Rd NTS 13



07/13/2021
South View W McNab Rd NTS 12



07/13/2021
South View W McNab Rd + NW 31st Ave NTS 11



07/13/2021
East View NW 31st Ave + W McNab Rd NTS 20



07/13/2021
East View NW 31st Ave NTS 19



07/13/2021
North View W McNab Rd + NW 31st Ave NTS 18



07/13/2021
North View W McNab Rd NTS 17



07/13/2021
North View W McNab Rd NTS 16



07/13/2021
West View NW 31st Ave + W McNab Rd NTS 22

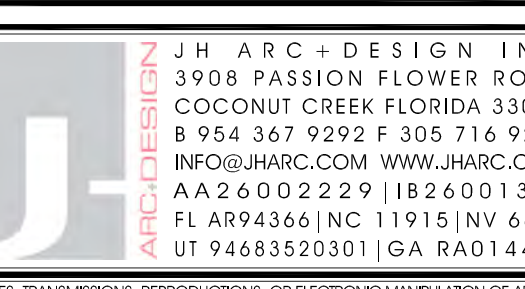


07/13/2021
West View NW 31st Ave + W McNab Rd NTS 21



LYONS TOWNHOMES
6997 NW 30TH TER, FORT LAUDERDALE, FL 33309

PREPARED FOR:
CARPELLO JECOSHAM
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FL AR94366 [NC 11915] NV 6834
UT 94683520301 [GA RAD14410]

ALL DIMENSIONS SHALL BE FIELD VERIFIED AND CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

CONSULTANTS:

Table with 4 columns: UNIT #6997, UNIT #6995, UNIT #6993, UNIT #6991. Includes a north arrow and a key plan scale of NTS.

Table with 2 columns: DATE, DRAWING ISSUE HISTORY. Includes a revision history table with columns for REV., DATE, and REVISION ISSUE HISTORY.

Table with 2 columns: DATE, REVISION ISSUE HISTORY. Includes a revision history table with columns for REV., DATE, and REVISION ISSUE HISTORY.

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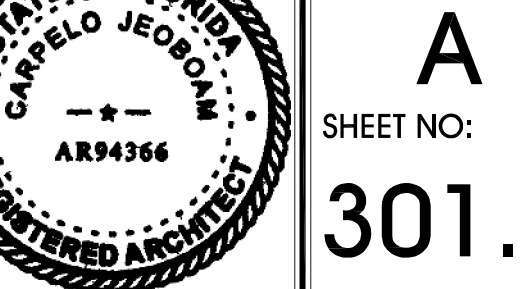
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SHEET TITLE:
SITE AND SURROUNDING AREA IMAGES

SET TITLE: 100% CONSTRUCTION DOCUMENTS FOR REGULATORY APPROVAL, PERMITTING, AND/OR CONSTRUCTION

JOB NO: 2013.05 DRAWN BY: STAFF

DATE: 11.01.2020 CHECKED BY: STAFF



DISCIPLINE: A SHEET NO: 301.1

Sec. 47-18.33.B.12.b - Single family dwelling, attached: Townhouses. Driveways.

- Requesting a variance to omit the installation of structural soil related to planting a canopy tree.

Sec. 47-18.33.B.12.c - Single family dwelling, attached: Townhouses. Driveways.

Requesting a variance to omit the landscaped pervious area, the canopy tree, and the continuous shrub planting.



Site Address	6997 NW 30 TERRACE, FORT LAUDERDALE FL 33309	ID #	4942 08 12 0370
Property Owner	JEOBOAM, CARPELO	Millage	0312
Mailing Address	3908 PASSION FLOWER RD COCONUT CREEK FL 33073	Use	09
Abbr Legal Description	PALM-AIRE VILLAGE 3RD SEC ADDN 7 101-27 B PARCEL "A", LESS POR DESC AS: COMM AT SE COROF SAID PAR "A", W ALG S/L 20.28, N 10 TO POB, W 140.80, N 23.58, NE 9.66, E 127.14, SE 9.66,S 23.58 TO POB AKA: COMMON AREA LYONS TOWNHOMES		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2021 values are considered "working values" and are subject to change.

Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021*	\$10		\$10	\$10	
2020	\$93,810		\$93,810	\$93,810	\$1,917.19
2019	\$93,810		\$93,810	\$93,810	\$1,755.40

2021* Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$10	\$10	\$10	\$10
Portability	0	0	0	0
Assessed/SOH	\$10	\$10	\$10	\$10
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type 20	\$10	\$10	\$10	\$10
Taxable	0	0	0	0

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
1/15/2019	QCD-T	\$100	115563229	\$0.51	9,166	SF
11/12/2013	WD-Q-DS	\$93,000	111959115			
7/17/2013	CET-D	\$50,800	111754169			
3/16/2005	WD	\$215,000	39306 / 1592			
9/9/1996	TXD	\$3,000	25414 / 380			
				Adj. Bldg. S.F.		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03			4C					
V			4C					
1								

