



CITY OF FORT LAUDERDALE

CITY OF FORT LAUDERDALE  
FIRE RESCUE FACILITIES BOND ISSUE  
BLUE RIBBON COMMITTEE  
VIRTUAL MEETING  
JANUARY 28, 2021 – 6:00 P.M.

Board Member	Attendance	1/2021 through 12/2021 Cumulative Attendance	
		Present	Absent
Douglas Meade, Chair	P	1	0
Frank Snedaker, Vice Chair	P	1	0
Mark Booth	A	1	0
Raymond Dettmann	P	1	0
Patrick Dirindin	P	1	0
Don Larson	P	1	0
Charles Tattelbaum	P	1	0
John Vratsinas	P	1	0

**Also Attending**

Staff

Danica Grujicic, Project Manager II  
Irina Tokar, Senior Project Manager  
Betty Crews, Administrative Assistant  
Robert Bacic, Deputy Fire Chief  
Crysta Parkinson, Recording Secretary, Prototype Inc.

**I. Call to Order**

The meeting was called to order at 6:01 p.m.

• **Roll Call**

Roll was called, and it was determined a quorum was present.

**II. Approval of Meeting Minutes**

- **November 19, 2020**

**Motion** made by Mr. Snedaker, seconded by Mr. Tattelbaum, to approve the minutes of the Committee’s November 19, 2020 meeting. In a voice vote, motion passed unanimously.

### **III. Introduction of New Member – John Vratsinas**

Chair Meade introduced John Vratsinas, new member.

Mr. Vratsinas advised he was on the Economic Advisory Board for approximately 1 ½ years and when his term expired, he asked to become a member of this Board. He is in the commercial insurance business and about a decade ago he was in the contracting business and spent about 20 years as a commercial contractor and about ten years as a licensed Florida commercial contractor. He is happy to be part of the Board and hopes to add some value.

### **IV. Staff Liaison Report**

- Project Status – Fire Station 8 and Fire Station 13

Senior Project Manager Irina Tokar thanked everyone for visiting Fire Station 8. She welcomed Mr. Vratsinas to the Board and asked if anyone had any comments regarding the Fire Bond Expenditures Report. There were no comments.

#### **Fire Station 8**

Ms. Tokar reported that the contractor obtained the Temporary Certificate of Occupancy (TCO) to fully occupy Fire Station 8 on December 29, 2020. The Fire Department has moved in the building and their operations have begun. The contractor is working on addressing the remaining punch list items. Traffic signalization work is estimated to be completed by June 2021 as it requires finalization of the Florida East Coast Railway (FEC) agreement and Change Order approval. Funding required for the work was associated with EC scope (\$200,000) has been approved.

#### **Fire Station 13**

Ms. Tokar indicated that ACAI Associates, Inc., our architectural consultant, is working on the schematic design with several options, including a drive-thru and back-in for our review and selection of the best design for the site (Exhibit II).

A Power Point presentation was presented showing the following options:

Option 1 is a two-story, three-bay drive- thru apparatus bay. This is a preliminary design, so it is an initial concept. As the Fire Chief mentioned, they looked at the layout, but have not had a chance to review it internally. After a review is conducted, a meeting will be scheduled with the consultant to discuss which option they would like to proceed with.

The next step would be to pick an option and present it, so they can move to the design development phase. The cost estimate is a little over \$7 million.

Option 2 is a two-story, four-bay back-in apparatus bay. The Fire Station can be seen at the back of the property. The existing Fire Station is also a back-in Station as well, so they wanted to explore this option. Preliminary floor plans and elevations were shown. This option is about 15,000 square feet and the cost is about \$7.7 million.

Option 3 is a three-story, three- bay drive-thru apparatus bay Fire Station. This is a site plan with a preliminary floor plan and elevations. The cost is \$7.5 million.

The Phase 1 Environmental Site Assessment has been completed, the facility operated a 550-gallon diesel fuel underground storage tank (UST) near the northwest corner of the building, which was removed in 1992 along with 37 tons of impacted soil that was transported offsite. However, the former UST location is overlain by the proposed building and apparatus bay. While the discharge was addressed to the satisfaction of the regulatory authority, it is possible for the remnant, undiscovered areas of odorous soil to still exist nearby. For this reason, the consultant concluded this poses an environmental business risk, and the time and cost for addressing this should be included as a contingency in any re-development plans. We will include the possible soil clean-up as a bid allowance item.

Design is progressing as planned and on schedule.

Staff submitted a grant application to the Rebuild Florida General Infrastructure Program (GIP) requesting \$4,100,000 in additional construction funding. Currently, the Florida of Economic Opportunity (DEO) is conducting application scoring and we are still waiting for their response.

They have not heard any regarding the grant, but the response received from the State stated that the applications were granted, but they have not been finalized.

They anticipate starting construction in May 2022 pending notification of required funding.

Mr. Snedaker questioned if there are any monitoring wells currently in that location.

Ms. Tokar indicated that monitoring wells are not required; the tank was cleaned and removed.

Mr. Snedaker commented that the spreadsheet shows \$4.5 million for the Station and we are looking at \$7.1 million to \$7.6 million. He questioned where the money is coming from.

Ms. Tokar advised that would have to be identified. They are waiting to hear from the State. There is currently little over \$3 million in the budget.

Chair Meade stated some of this money is not under the Bond. He mentioned the civil infrastructure for \$1 million and questioned what that includes. He also questioned the line item on 54 and **why this building twice the price.**

Ms. Tokar explained the site would need to be raised significantly due to the flood elevation and grading is for the site. A significant amount of soil is needed and water, sewer, and civil is included. This is a schematic estimate; they do not have civil drawings yet. Once they select which option to proceed with, the estimate will be refined based on design development drawings.

Mr. Snedaker stated the entire street for Fire Station 54 was raised, so he did not think Sunrise Boulevard would be raised.

Ms. Tokar advised they are not going to raise Sunrise Boulevard, but there will be a significant cost. It depends where on the property the Fire Station will be located. The cost of the fence alone is close to \$100,000.

Chair Meade questioned if the back-in Station is set in far enough so vehicles can pull directly off the street forward and then back into the garage or if they must back in directly off Sunrise Boulevard.

Ms. Tokar stated they would have to check with the Fire Chief. Options with a drive-thru will not fit the full length of a fire truck because they need make sure they can make the turning radius. With a back-in option, which is part of Exhibit II, they have about 88 feet from the property line to the face of the bay.

Deputy Fire Chief Bacic advised there is some possibility, but they have to get with the team to review options and idea tweaking. He mentioned some problems with FDOT with curb cuts in the front. There is a potential with a back-in Station to pull in and make a turn and back in without going out onto Sunrise Boulevard, but they need to look at that.

Mr. Snedaker doubted they would be able to do that with grade changes; there will be some steep grades.

Deputy Fire Chief Bacic **stated a lot would be lifted** and that is where a lot of the cost is with improvements. The apparatus apron will have to be concrete and it will have to be elevated so there are no issues with approach and approach angles when coming or leaving the Station. The trucks are long and with the tail boards and front bumpers, they must make sure the grade is such so they do not bottom out the bumpers when approaching or leaving.

Mr. Snedaker questioned how many pieces of apparatus are existing.

Deputy Fire Chief Bacic advised the ladder was temporarily moved to Fire Station 49 because of the fire boat, but at some point, that ladder will need to come back.

Mr. Dirindin stated the biggest difference he sees in the design physically is one is a three-bay building and the other is a four-bay building.

Deputy Fire Chief Bacic mentioned the reason is because the three-bay has four units inside, but the Rescue and Battalion Chief are back-to-back. The Battalion Chief would respond out of the back of Station #13 and Rescue would respond out of the front. With a four-bay, everyone would respond out the front. He does not have a back-to-back option when they are backed up to the back of the property, so they have to have the four-bay to have the Battalion Chief.

Mr. Dirindin questioned if the three-bay is a realistic consideration or if they need to go with the four-bay design. He also questioned what would be needed in ten years.

Deputy Fire Chief Bacic advised they are tapped out regardless. They could make the three-bay work if it were a drive-thru, but if they are moving to gain space in the front with the apron and they move the Station back, they would have to have four bays because there are four units. That minimum requirements for the Station design were four units and 12 bunks, so it is at least a three-bay drive-thru or a four-bay back-in Station with 12 bunks, which would be full staffing for an engine ladder, Rescue, and a Battalion Chief.

Ms. Tokar commented that a drive-thru cannot be made as a four-bay. There are plusses and minuses for each design. If they move the Fire Station to the corner of the property and it is back-in, then they can have a four-bay Station.

Mr. Snedaker stated any of the site plans are going to require relief from Planning and Zoning public purpose.

Ms. Tokar advised not according to the Building Department. There are no setback requirements, it is already zoned for a Fire Station.

Mr. Dirindin questioned if the engineers like the back-in and if the Fire Station would prefer four bays.

Deputy Fire Chief Bacic stated their wish list would be at least an acre and a half with drive-thru bays, plenty of room on both sides, and an extra bay for a reserve apparatus. The reason for the drive-thru concept is that the majority of accidents are backing up. They have stringent policies having people get out and assist in backing up and guiding the driver. Most of their drive-thru Stations end up being back-in Stations anyway. Fire Station 2 has bay doors in the front and back; it is a back-in Station. Station 54 is a back-in Station and Fire Station 49 has a drive-thru in the back, but the turning angle is close to the docks. They have a meeting scheduled with staff to discuss all the different

challenges and proposals of the three designs. This is very preliminary, but he thinks they are leaning towards the four-bay back-in Station because of the front apron size; it provides more room for parking, but the turning radius in the back will be a little tight. The close second will be that or the drive-thru, two-story, three-bay. They are not too keen on the three-story because of response time. One-story Stations are their favorite because they have the fastest out times; the less stories the better.

Mr. Snedaker commented that the renderings show bifold doors, which have always been the preference. He questioned if they were committed to bifolds on this Station.

Deputy Fire Chief Bacic indicated he was going to ask for the bi-folds, especially for the back-in Station because they have no rear bay doors. There is a huge difference when it comes to the operation of a Fire Station. Bay doors open and close in four to seven seconds versus a full 30 to 40 seconds with an overhead rollup door. They are hydraulic doors, and they last forever. Station 2 has bifold doors in the front. As they go through the budgeting process, they are cost conscious and want to stay fiscally responsible. As they go through the process, they will decide once they have a better idea of cost, budget, and funding. If possible, their wish has always been to maintain bifold doors because operationally, it is the best tool for Fire Stations.

Mr. Snedaker stated that makes the back-in more feasible because there are less doors, even though there are more bays.

Chair Meade questioned when they are meeting to discuss the preferences.

Ms. Tokar advised there is an internal meeting scheduled tomorrow.

Mr. Dettman mentioned the tour at Station 8 and noted that Deputy Fire Chief Bacic stated the Station did not have a community room, but they were going to do some sort of outreach to the community for first aid. A comment was made that there was no sink in that room. He questioned if this Station was going to have a community room and if they would be doing a community outreach.

Deputy Fire Chief Bacic stated there is no community room, but there is a medical watch; it is the watch office, a future medical exam room, and the preliminary drawings have a sink. He noted that one of the Fire Chief's big pushes is trying to expand services and partner with all community partners to provide paramedicine. This is a great opportunity to help those who do not need to go to the emergency room but need to see a doctor. It also includes going to residents' homes and providing service, so they do not have to call 911.

Mr. Larson thought four-door bays with folding front doors would be much better.

Ms. Tokar indicated the next step would be to look for the design that meets their needs the most and then they will move to the design development phase. She would like to present more choices and elevations because they want this Fire Station to be a statement. They will contact the consultant and try to present this at the next meeting.

### **Temporary Fire Station 13**

Ms. Tokar stated (This project is funded through other sources)

Temporary Fire Station 13 is on schedule. Craven, Thompson & Associates (CIA) submitted the drawings to the Department of Sustainable Development for review. CIA is currently working on a bidding package.

The projected construction start date is April 2021 with an estimated completion in October 2021.

**IV. Communications to the City Commission – None.**

**VI. Adjournment**

The next meeting is February 25, 2021.

There being no further business to come before the Committee at this time, the meeting was adjourned at 6:37 p.m.

{Minutes prepared by C. Guifarro, Prototype, Inc.}



## Memorandum

**To:** Fire-Rescue Bond Committee  
**From:** Irina Tokar, RA, Senior Project Manager  
**Date:** January 19, 2021  
**Re:** Fire-Rescue Facilities Bond Issue Blue Ribbon Committee Update

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The purpose of this Memorandum is to provide an update on two (2) fire station projects and one (1) temporary fire station.

Please see the current Fire Bond Expenditures report (Exhibit I).

### **Fire Station #8**

Contractor obtained the Temporary Certificate of Occupancy (TCO) to fully occupy Fire Station #8 on December 29<sup>th</sup>, 2020. Fire Department has moved in the Building and their operations have begun. The Contractor is working on addressing the remaining punch list items. Traffic signalization work is estimated to be completed by June 2021 as it requires finalization of the Florida East Coast Railway (FEC) agreement and Change Order approval. The funding required for the work associated with FEC scope (\$200,000) has been approved.

### **Fire Station #13**

ACAI Associates, Inc., our architectural consultant, is working on the schematic design with several options, including drive-through and back-in for our review and selection of the best design for the site (Exhibit II).

Phase I Environmental Site Assessment has been completed. The facility operated a 550-gallon diesel fuel underground storage tank (UST) near the north-west corner of the building which was removed in 1992 along with 37 tons of impacted soil that was transported offsite. However, the former UST location is overlain by the proposed building and apparatus bay. While the discharge was addressed to the satisfaction of the regulatory authority, it is possible for remnant, undiscovered areas of odorous soil to still exist nearby. For this reason, the consultant concluded this poses an environmental business risk, and the time and cost for addressing this should be included as a contingency in any re-development plans. We will include the possible soil clean-up as bid allowance item.

Design is progressing as planned and on schedule.

Staff submitted a grant application to the Rebuild Florida General Infrastructure Program (GIP) requesting \$4,100,000 in additional construction funding. Currently, the Florida





Department of Economic Opportunity (DEO) is conducting application scoring and we are still waiting for their response.

We anticipate starting the construction in May 2022 pending the identification of required funding.

**Temporary Fire Station #13** (This project is funded through other sources)

Temporary Fire Station #13 is on schedule. Craven Thompson & Associates (CTA) submitted the drawings to the Department of Sustainable Development for review. CTA is currently working on bidding package.

The projected construction start date is April 2021 with estimated completion in October 2021.

Attachments:

Exhibit I: Fire Rescue Bond Expenditures

Exhibit II: Schematic Design Options Fire Station #13

C: Chris Lagerbloom, City Manager  
John Herbst, City Auditor  
Laura Reece, Director Office of Management and Budget  
Rhoda Mae Kerr, Fire Chief  
Robert Bacic, Deputy Fire Chief  
Raj Verma, Public Works Director  
Victor Carosi, Assistant Public Work Director-Engineering





CITY OF  
**FORT LAUDERDALE**

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## **EXHIBIT I: Fire Rescue Bond Expenditures**

**Fire Rescue Bond  
Series 2005 and 2011  
as of January 25, 2021**

<b>Project Number</b>	<b>Project Title</b>	<b>Bond Estimate (Exhibit A)</b>	<b>Appropriations to Date<sup>1</sup></b>	<b>Expenditures to date</b>	<b>Unspent Balance</b>	<b>Encumbrance</b>	<b>Funds Available</b>
<b>FIRE RESCUE BOND 2005 SERIES FUND (336)</b>							
<b>COMPLETED STATIONS</b>							
P10363	Exec Airport ARFF/EOC Building <sup>2</sup>	3,535,000	6,050,721	6,050,721	-	-	-
P10766	Replacement Fire Station 47	3,760,000	4,033,510	4,033,510	-	-	-
P10905	Fire Station 29 Design & Construction	3,760,000	3,847,235	3,847,235	-	-	-
P10910	Fire Station Southeast Land Acquisition	1,350,000	9,500	9,500	-	-	-
P10911	Fire Station 46 Design & Construction	3,760,000	3,356,804	3,356,804	-	-	-
P10912	Fire Station 49 Design & Construction	-	3,860,394	3,860,394	-	-	-
P10916	New Fire Station 3	3,760,000	2,777,833	2,777,833	-	-	-
P10919	New Fire Station 35	4,510,000	3,627,073	3,627,073	-	-	-
P11238	Temporary Fire Station 29 Modifications	-	119,394	119,394	-	-	-
P11368	Temporary Fire Station 49	3,760,000	309,655	309,655	-	-	-
P11892	Temporary Fire Station 54	-	420,748	420,748	-	-	-
<b>COMPLETED STATIONS TOTAL</b>		<b>28,195,000</b>	<b>28,412,868</b>	<b>28,412,868</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>NON-STATION RELATED COSTS</b>							
P00274	Bond And Other Financial Expenses	-	706,838	706,838	-	-	-
P11024	New Fire Stations Shared Project Costs	-	23,105	23,105	-	-	-
P11576	Fire Station Feasibility Study	-	68,000	68,000	-	-	-
<b>NON-STATION RELATED COSTS TOTAL</b>		<b>-</b>	<b>797,943</b>	<b>797,943</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>STATIONS TO BE COMPLETED</b>							
P10909	SE Fire Station 8 Design & Construction <sup>3</sup>	3,535,000	5,197,260	4,940,497	256,762	256,202	560
P10914	New Fire Station 54	3,760,000	5,118,873	5,012,255	106,619	100,080	6,539
P10918	New Fire Station 13	4,510,000	4,671,646	171,040	4,500,606	671,097	3,829,509
<b>STATIONS TO BE COMPLETED TOTAL</b>		<b>11,805,000</b>	<b>14,987,779</b>	<b>10,123,792</b>	<b>4,863,987</b>	<b>1,027,379</b>	<b>3,836,608</b>
<b>FIRE RESCUE BOND 2005 SERIES FUND (336) TOTAL</b>		<b>40,000,000</b>	<b>44,198,589</b>	<b>39,334,603</b>	<b>4,863,987</b>	<b>1,027,379</b>	<b>3,836,608</b>
<b>GENERAL CAPITAL PROJECTS FUND (331)</b>							
<b>COMPLETED STATIONS</b>							
P10363	Exec Airport ARFF/EOC Building <sup>2</sup>	N/A	593,711	593,711	-	-	-
P10766	Replacement Fire Station 47	N/A	1,019,348	1,019,348	-	-	-
P10914	New Fire Station 54	N/A	316,674	316,673	1	-	1
P10916	New Fire Station 3	N/A	71,846	71,846	-	-	-
<b>COMPLETED STATIONS TOTAL</b>		<b>-</b>	<b>2,001,579</b>	<b>2,001,578</b>	<b>1</b>	<b>-</b>	<b>1</b>

**Fire Rescue Bond  
Series 2005 and 2011  
as of January 25, 2021**

<b>Project Number</b>	<b>Project Title</b>	<b>Bond Estimate (Exhibit A)</b>	<b>Appropriations to Date<sup>1</sup></b>	<b>Expenditures to date</b>	<b>Unspent Balance</b>	<b>Encumbrance</b>	<b>Funds Available</b>
<b>STATIONS TO BE COMPLETED</b>							
P10909	SE Fire Station Design & Construction	N/A	844,256	572,920	271,336	71,556	199,780
P10918	New Fire Station 13	N/A	106,000	40,007	65,993	-	65,993
P12509	Temporary Fire Station 13 <sup>4</sup>	N/A	380,000	152,410	227,509	66,425	161,084
<b>STATIONS TO BE COMPLETED TOTAL</b>			<b>1,330,256</b>	<b>765,337</b>	<b>564,838</b>	<b>137,981</b>	<b>426,857</b>
<b>GENERAL CAPITAL PROJECTS FUND (331) TOTAL</b>			<b>3,331,835</b>	<b>2,766,914</b>	<b>564,839</b>	<b>137,981</b>	<b>426,858</b>
<b>PARKING FUND (461)</b>							
<b>COMPLETED STATIONS</b>							
P10914	New Fire Station 54	N/A	500,000	500,000	-	-	-
<b>COMPLETED STATIONS TOTAL</b>			<b>500,000</b>	<b>500,000</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>STATIONS TO BE COMPLETED</b>							
P10909	SE Fire Station Design & Construction	N/A	50,000	50,000	-	-	-
<b>STATIONS TO BE COMPLETED TOTAL</b>			<b>50,000</b>	<b>50,000</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>PARKING FUND (461) TOTAL</b>			<b>550,000</b>	<b>550,000</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>COMPLETED STATIONS</b>							
P10363	Exec Airport ARFF/EOC Building <sup>2</sup>	N/A	3,593,447	3,593,447	-	-	-
<b>COMPLETED STATIONS TOTAL</b>			<b>3,593,447</b>	<b>3,593,447</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>AIRPORT FUND (468) TOTAL</b>			<b>3,593,447</b>	<b>3,593,447</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>GRAND TOTAL (ALL FUNDS)</b>		<b>40,000,000</b>	<b>51,673,871</b>	<b>46,244,964</b>	<b>5,428,826</b>	<b>1,165,360</b>	<b>4,263,466</b>

<sup>1</sup>Since 2005, the bond proceeds have earned \$3.0 Million in interest revenue. With the 2011 bond issue, the City received \$400,000 in premiums revenue. In November 2016, \$850,000 was reimbursed to the Fire Bond Fund from the General Fund for internal engineering services paid for by the Fire Bond. In December 2016, an additional \$155,991 was reimbursed to the Fire Bond Fund from the General Fund for internal engineering services paid for by the Fire Bond.

<sup>2</sup>P10363 Executive Airport ARFF/EOC Building project included Airport Funds which have been completely spent.

<sup>3</sup>In September 2018 P10909 SE Fire Station Design & Construction was funded with Airport Funds for the sale of Temporary Fire Station 54 \$141,887. The Budget Needs to be amended since the sale was reversed and other funding needs to be found

<sup>4</sup>On November 5th the project was presented to commission for the first reading for P12509 and approved.



**EXHIBIT II: Fire Station #13, at 2871 E. Sunrise Boulevard**

▪ **Schematic Design and Preliminary Budget Cost:**

- **Option I - two story, three bay drive-through apparatus**
- **Option II - two story, four bay back-in apparatus**
- **Option III - three story, three bay drive-through apparatus**

# OPTION I - TWO STORY, THREE BAY DRIVE-THROUGH APPARATUS



## CITY OF FORT LAUDERDALE FIRE STATION #13

2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SCHEMATIC  
1/15/2021



CITY OF FORT LAUDERDALE


EXHIBIT II - OPTION I

GENERAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
GN-000	COVER SHEET			
ARCHITECTURAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
AS-101	ARCHITECTURAL SITE PLAN			
A-101	FIRST FLOOR PLAN			
A-102	SECOND FLOOR PLAN			
A-103	ROOF PLAN			
A-201	EXTERIOR ELEVATIONS			
A-202	EXTERIOR ELEVATIONS			
R-001	CONCEPTUAL EXTERIOR VIEWS	01/15/21		

**PROJECT OWNER**

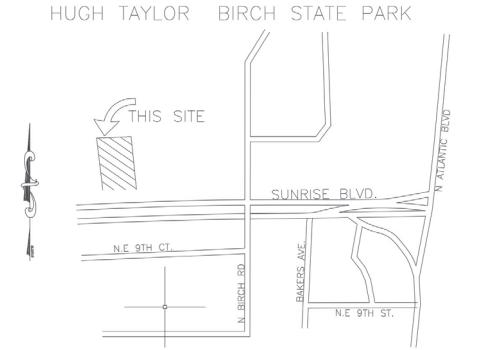
CLIENT: CITY OF FORT LAUDERDALE

2871 E. SUNRISE BLVD.  
FORT LAUDERDALE, FL, 33304



**PROJECT LOCATION MAP**

HUGH TAYLOR BIRCH STATE PARK



**PROJECT DESIGN TEAM**

PRIME CONSULTANT / ARCHITECT OF RECORD:

**ACAI**  
architecture • engineering  
www.acalarchitects.com

AAC001323 EB0004379 CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, FL 33309  
Tel: 954.484.4000 Fax: 954.484.5588

PROFESSIONAL IN CHARGE  
ADOLFO J. COTILLA, JR., AIA  
REGISTRATION NUMBER  
AR-0008011

LEAD CONSULTING:

**SPINNAKER GROUP**

SPINNAKER GROUP  
1409 GEORGIA AVENUE  
WEST PALM BEACH, FL 33401  
P: 561-801-7576

CIVIL:

**CRAVEN THOMPSON & ASSOCIATES INC.**  
Engineers • Planners • Surveyors • Landscape Architects

CRAVEN THOMPSON  
3563 NW 53RD STREET  
FORT LAUDERDALE, FL 33309  
P: 954-739-6409

LANDSCAPE:

**CRAVEN THOMPSON & ASSOCIATES INC.**  
Engineers • Planners • Surveyors • Landscape Architects

CRAVEN THOMPSON  
3563 NW 53RD STREET  
FORT LAUDERDALE, FL 33309  
P: 954-739-6409

STRUCTURAL:

**S&F Engineers, Inc.**

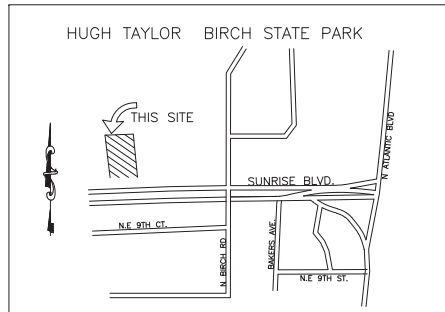
S&F ENGINEERS, INC  
2925 W. CYPRESS CREEK RD., SUITE 200  
FORT LAUDERDALE, FL 33309  
P: 954-938-0020

MECHANICAL, ELECTRICAL AND PLUMBING:

**DELTA G CONSULTING ENGINEERS, INC.**

DELTA G CONSULTING ENGINEERS, INC.  
707 NE 3RD AVE, SUITE 200  
FORT LAUDERDALE, FL 33304  
P: 954-527-1112

ACAI PROJECT NUMBER: 20-004 G01



LOCATION MAP  
NOT TO SCALE

**LEGAL DESCRIPTION:**  
A PARCEL OF LAND IN GOVERNMENT LOT 6, SECTION 36, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 6; THENCE WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 6, A DISTANCE OF 739.9 FEET TO A POINT; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; THENCE CONTINUING NORTH ALONG SAID LINE, THAT IS AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 200 FEET TO A POINT; THENCE WEST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE SOUTH AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING; LESS THE SOUTH 40 FEET THEREOF.

**CODE ANALYSIS**

APPLICABLE CODES

THE FOLLOWING IS A LIST OF APPLICABLE CODES FOR THE PROJECT. WHERE DIFFERENT REQUIREMENTS ARE SPECIFIED BY THE FLORIDA FIRE PREVENTION CODE AND THE FLORIDA BUILDING CODE, THE MOST STRINGENT AND RESTRICTIVE REQUIREMENTS ARE APPLICABLE AND ARE NOTED IN THIS OUTLINE.

- FLORIDA BUILDING CODE (FBC), 2020 EDITION (WITH SUPPLEMENTS)
- FLORIDA BUILDING CODE (FBC), 2020 ACCESSIBILITY CODE
- FLORIDA FIRE PREVENTION CODE (FFPC), 6th EDITION AS SPECIFIED WITHIN THE 6th EDITION FFPC, CHAPTER 2 REFERENCED PUBLICATIONS.
- 2.1 GENERAL:
  - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101), LIFE SAFETY CODE 2015 EDITION
  - NFPA 1, FIRE CODE, 2015
- CODE OF ORDINANCES - OF THE CITY OF FORT LAUDERDALE (COCFL), CURRENT EDITION (APRIL 17, 2020)

BUILDING/ZONING: CITY OF FORT LAUDERDALE, FLORIDA  
FIRE JURISDICTION: CITY OF FORT LAUDERDALE, FLORIDA

**SITE DATA INFORMATION**

EXISTING ZONING DISTRICT: P - PARKS, RECREATION AND OPEN SPACE

EXISTING SITE AREA: 31,991.59 SF (0.734 ACRES)

**SECTION 47-8.30 - TABLE OF DIMENSIONAL REQUIREMENTS**

MAX. HEIGHT REQUIRED:	60'-0"
MAX. FAR:	NONE
MAX. FLOOR AREA:	NONE

SET BACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'-0" Min.	26'-4"
SIDE (EAST)	25'-0" Min.	82'-4"
REAR (NORTH)	25'-0" Min.	48'-8"
SIDE (WEST)	25'-0" Min.	3'-1"

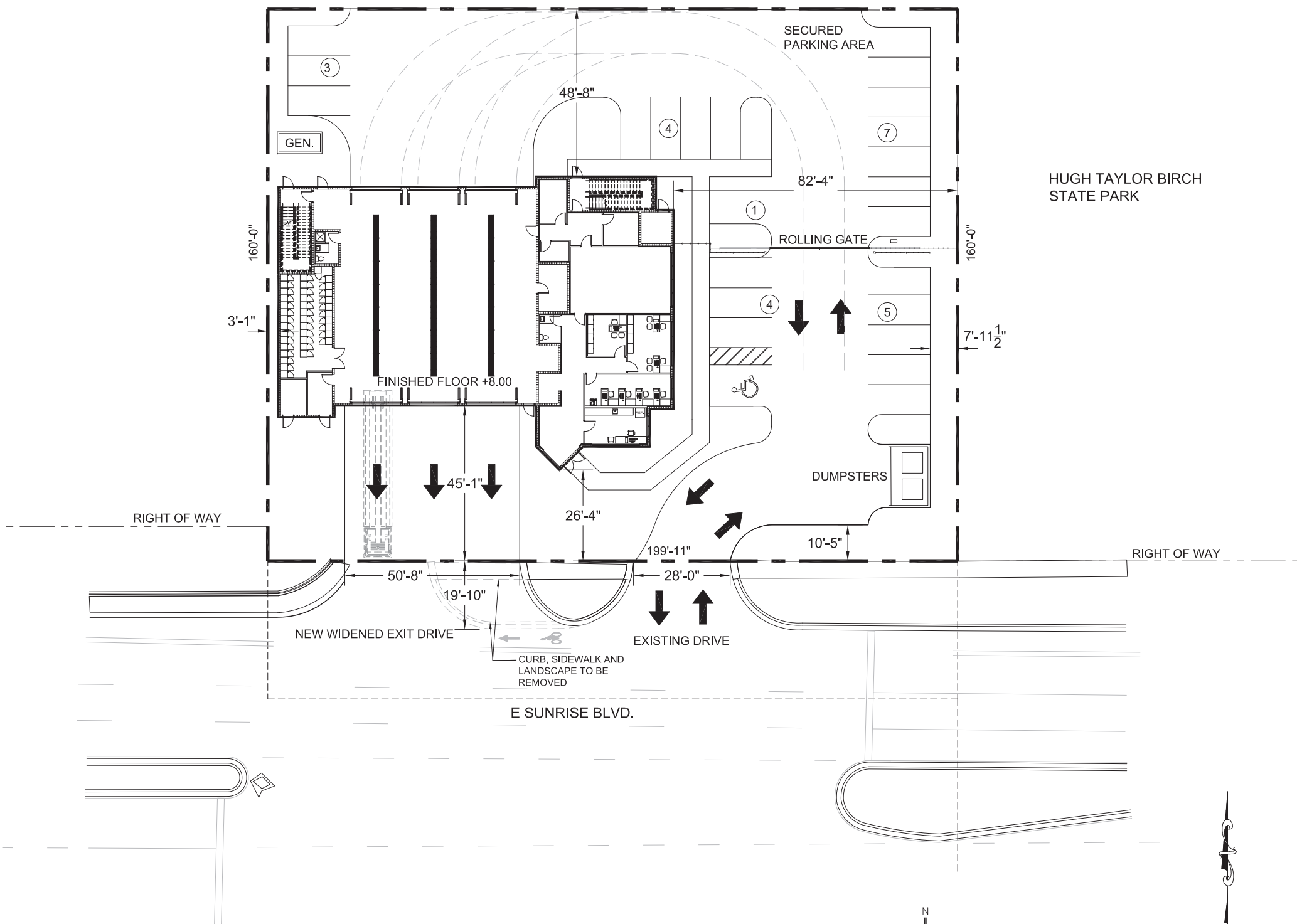
**SECTION 47-20.2 - PARKING REQUIREMENTS**

PARKING SPACE REQUIREMENT: 2/ (12)BEDS= 24  
PARKING SPACE PROVIDED: 24  
ACCESSIBLE PARKING SPACE REQUIRED (PER FBC ACCESSIBILITY - TABLE 208.2): 1  
ACCESSIBLE PARKING SPACE PROVIDED: 1

**SECTION 47-21.12 - LANDSCAPE REQUIREMENTS FOR VEHICULAR USE AREAS (VUA)**

- LANDSCAPING SHALL BE PROVIDED IN SQUARE FOOTAGE AREA EQUAL TO A MIN. OF 20% OF THE GROSS VUA. THIS SQUARE FOOTAGE SHALL ABUT AND EXTEND NO FURTHER THAN 10 FEET AWAY FROM A VUA. THE LANDSCAPE AREA REQUIRED FROM A VUA SHALL CONSIST OF PERIMETER, PENINSULAR AND INTERIOR LANDSCAPE AREAS
- PERIMETER LANDSCAPE AREA: 20 FT. FRONT AT INTERDISTRICT CORRIDOR (PER 47-21.13) AND MIN. 2 1/2 FT. OTHER 3 SIDES.
- INTERIOR LANDSCAPE AREA: 30 SF MIN./PARKING SPACE.

VUA PROVIDED: XX SF  
LANDSCAPING REQUIRED FOR VUA: 20% OF XX SF = XX SF  
LANDSCAPING PROVIDED FOR VUA: XX SF APPROX. (INCLUDING PERIMETER, PENINSULAR AND INTERIOR)  
INT. LANDSCAPE AREA REQUIRED: 24 PARKING SPACES X 30 SF = 720 SF REQUIRED  
INT. LANDSCAPE AREA PROVIDED: XX SF APPROX.  
TOTAL LANDSCAPE AREA PROVIDED: XX SF APPROX.  
PROPOSED BUILDING FOOTPRINT: 7,816 SF



SITE PLAN  
SCALE 1/16" = 1'-0"

EXHIBIT II - OPTION I

ARCHITECT:  
ADOLFO J. COTTILA, AIA  
REG. No. AR-0008011  
DATE:

DRAWN BY:  
DATE: 01/15/2021  
DESIGNED BY:  
SCALE:  
CHECKED BY:  
FIELD BOOK:

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

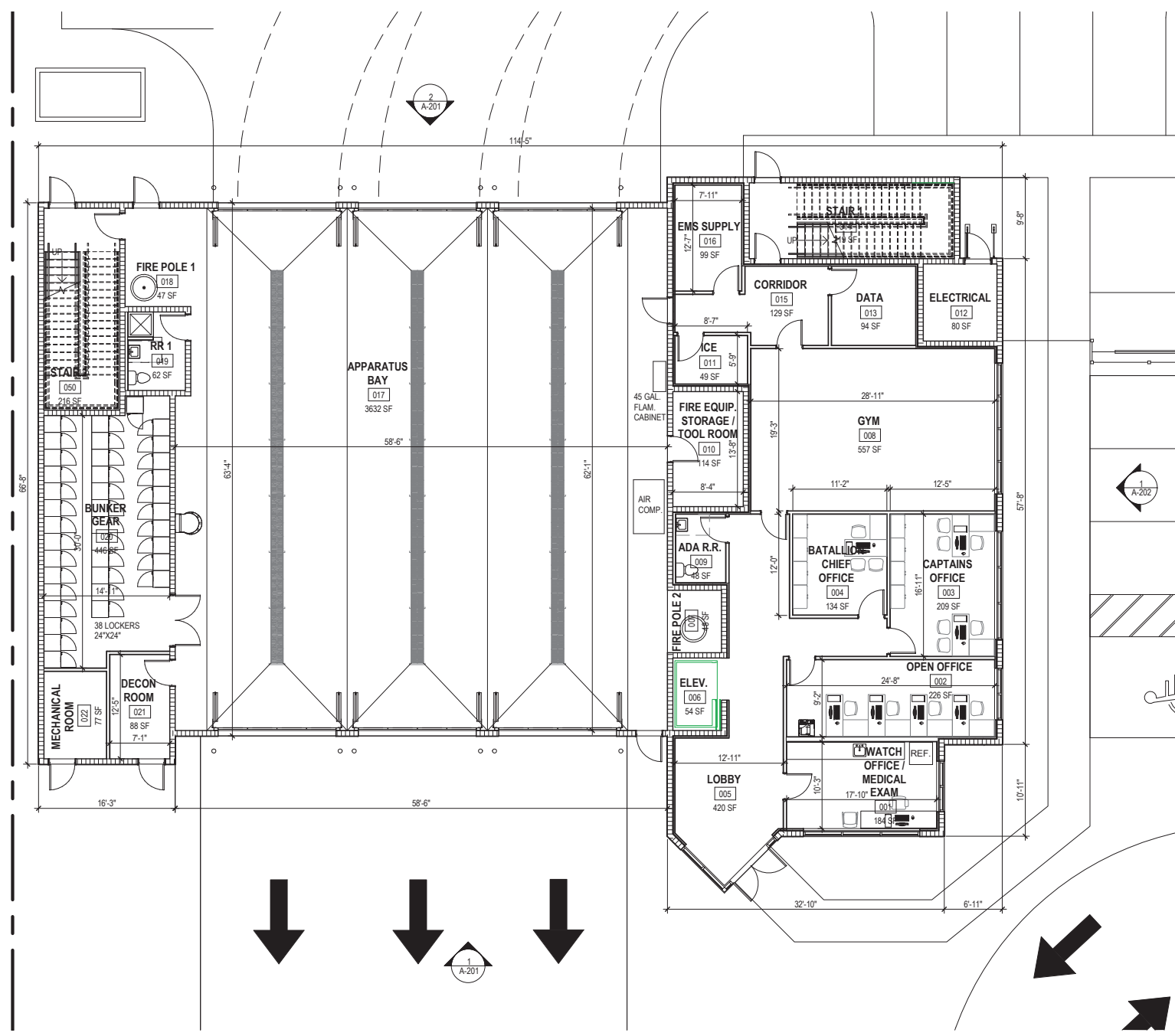
NO.	DATE	BY (REV'D)	DESCRIPTION

PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
SITE  
2871 E. SUNRISE BLVD., FORT LAUDERDALE

SHEET NO. OF  
**AS-101**  
TOTAL:  
CAD FILE:  
DRAWING FILE NO.

**ACA I**  
associates, inc.  
architecture • engineering  
roofing • consulting  
construction management  
AAC001323 • EB0004379 • CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, Florida 33309  
Tel: 954.484.4000 • Fax: 954.484.5588  
www.acaiaarchitects.com

S:\PROJECTS\20-004 G01 FT. LAUDERDALE FS 13\06 DRAWINGS\6.02 SCHEMATIC\109018-A01-SITE\_01.13.2021.DWG



1 FIRST FLOOR PROPOSED FLOOR PLAN  
1/8" = 1'-0"

EXHIBIT II - OPTION I

**ACAIA**  
associates, inc.  
architecture • engineering  
interior design • consulting  
roofing • construction management

AAC001323-EB0004379-CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, Florida 33309  
Tel: 954.484.4000 • Fax: 954.484.5588  
www.acaiarchitects.com

NOT FOR CONSTRUCTION OR BID - SCHEMATIC

PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
FIRST FLOOR PLAN  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>A-101</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.:	

NO.	DATE	BY	DESCRIPTION

**CITY OF FORT LAUDERDALE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33300

DRAWN BY:	DATE:
DESIGNED BY:	7/5/2021
CHECKED BY:	SCALE:
FIELD BOOK:	



**ROOF GENERAL NOTES**

1. CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS AND OPENINGS WITH MEP AND STRUCTURAL DWGS.
2. ALL WOOD IN CONTACT WITH MASONRY, STEEL OR CONCRETE SHALL BE PRESSURE TREATED. DIFFERENT MATERIALS SHALL BE SUITABLY ISOLATED WHEN IN CONTACT.
3. ALL METAL ACCESSORIES SHALL CONFORM TO SMACNA STANDARDS AND SHALL COMPLY WITH FBC.
4. ROOFING SHALL COMPLY WITH FBC HIGH VELOCITY HURRICANE ZONE REQUIREMENTS AND SHALL BE INSTALLED PER RAS 115 AND MANUFACTURER'S INSTRUCTIONS.

DATE:	7/5/2021
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
FIELD BOOK:	

**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**



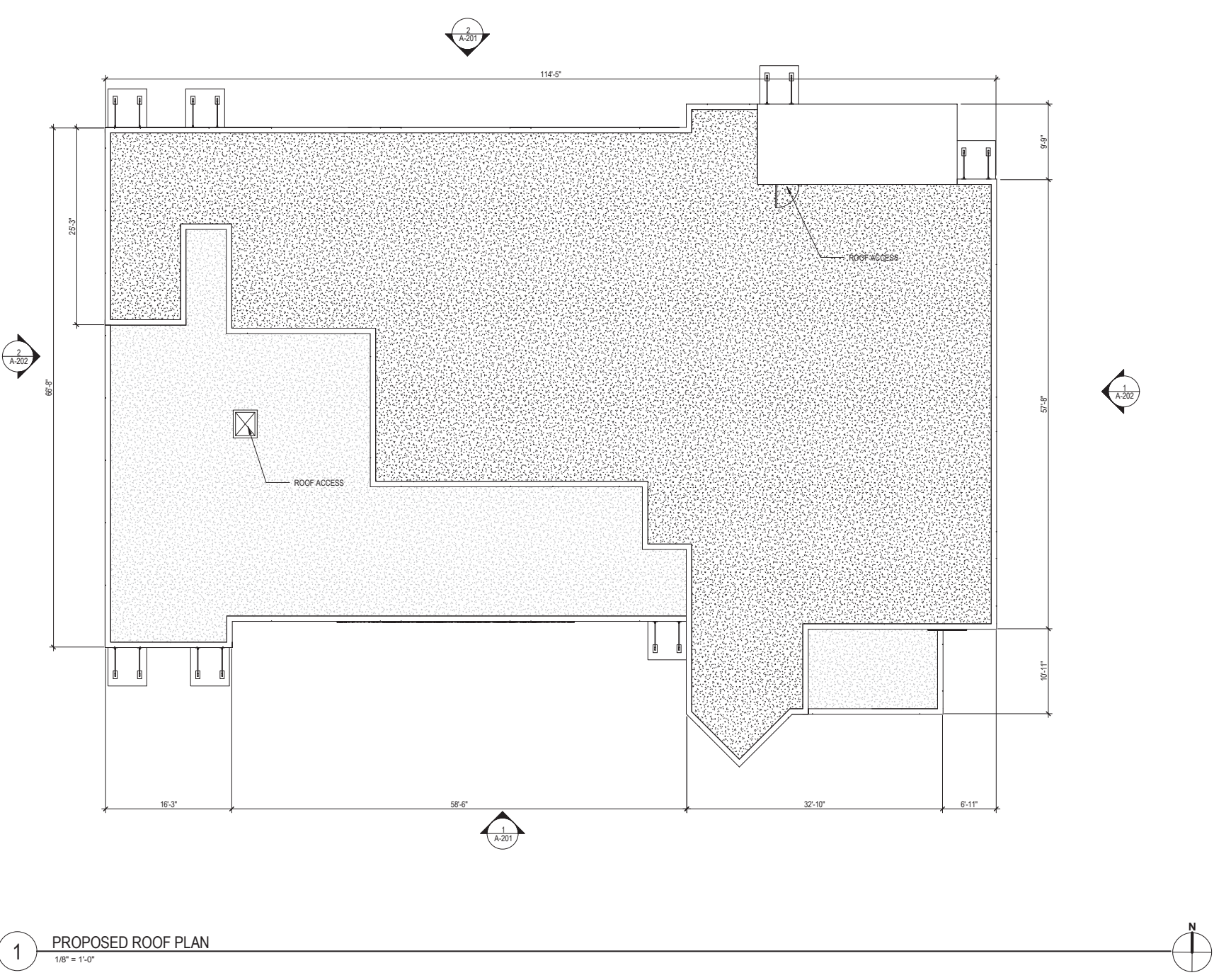
100 North Andrews Avenue, Fort Lauderdale, Florida 33304

NO.	DATE	BY	DESCRIPTION

**NOT FOR CONSTRUCTION OR BID - SCHEMATIC**

PROJECT # P10918  
 FIRE STATION #13  
 BUILDING REPLACEMENT  
 ROOF PLAN  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>A-103</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.	



**1** PROPOSED ROOF PLAN  
 1/8" = 1'-0"

EXHIBIT II - OPTION I

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 architecture-engineering  
 roofing consulting  
 construction management

AAC001323-EB0004379-CGC010769  
 2937 W. Cypress Creek Rd., Suite 200  
 Fort Lauderdale, Florida 33309  
 Tel: 954.484.4000 Fax: 954.484.5588  
 www.acaiarchitects.com

DATE:	7/5/2021
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
FIELD BOOK:	

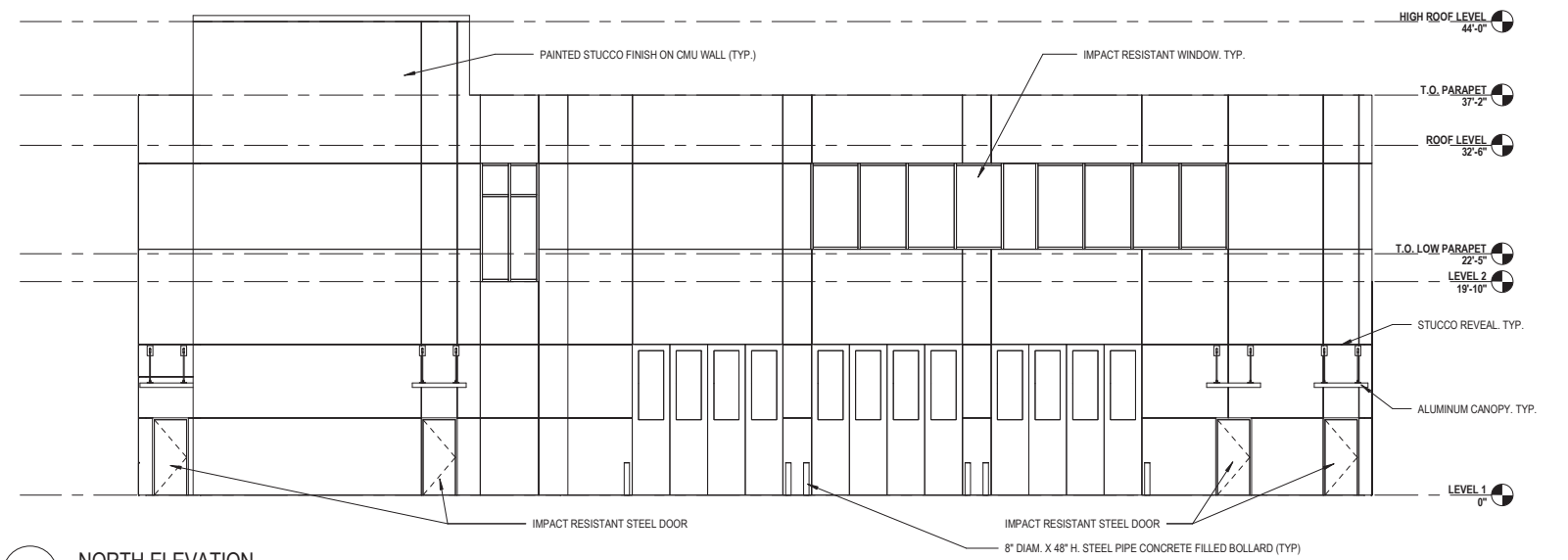
**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**  
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION

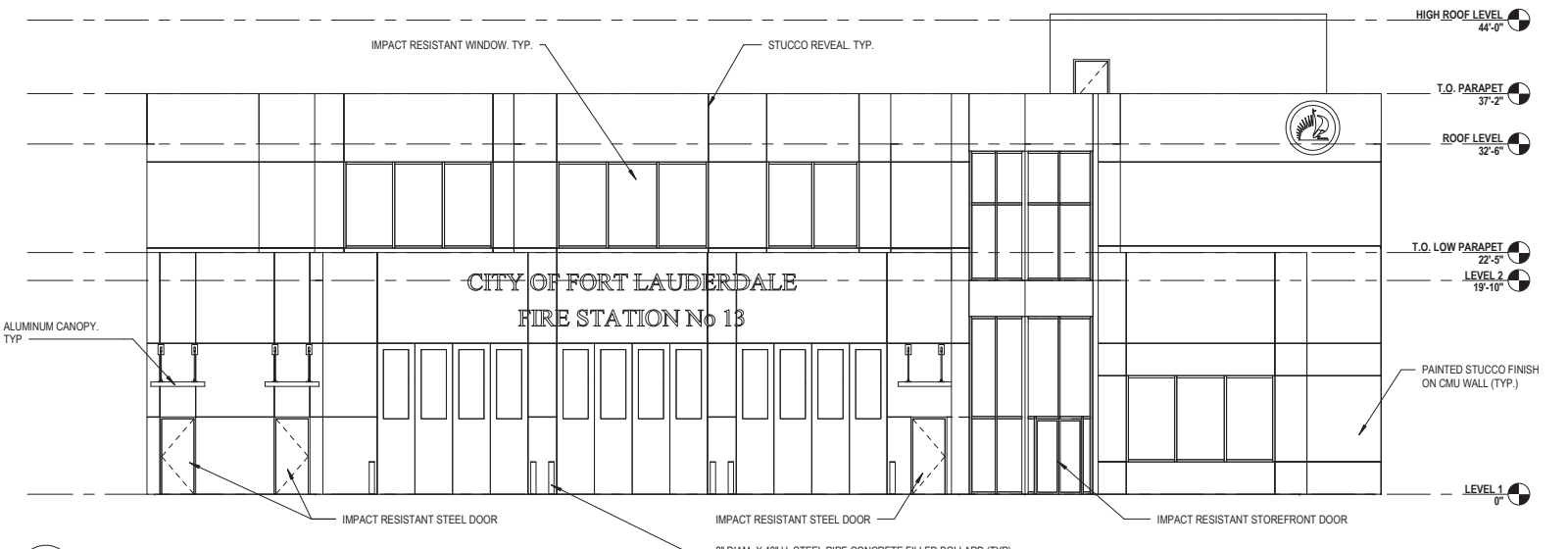
**NOT FOR CONSTRUCTION OR BID - SCHEMATIC**

PROJECT # P10918  
 FIRE STATION #13  
 BUILDING REPLACEMENT  
 EXTERIOR ELEVATIONS  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>A-201</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.	



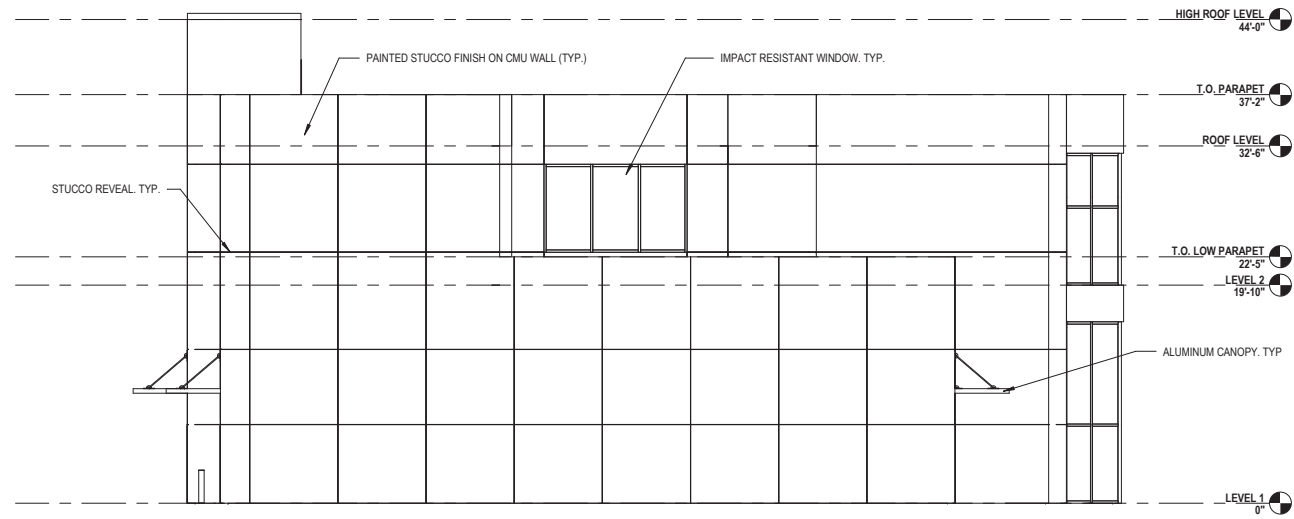
**2 NORTH ELEVATION**  
 1/8" = 1'-0"



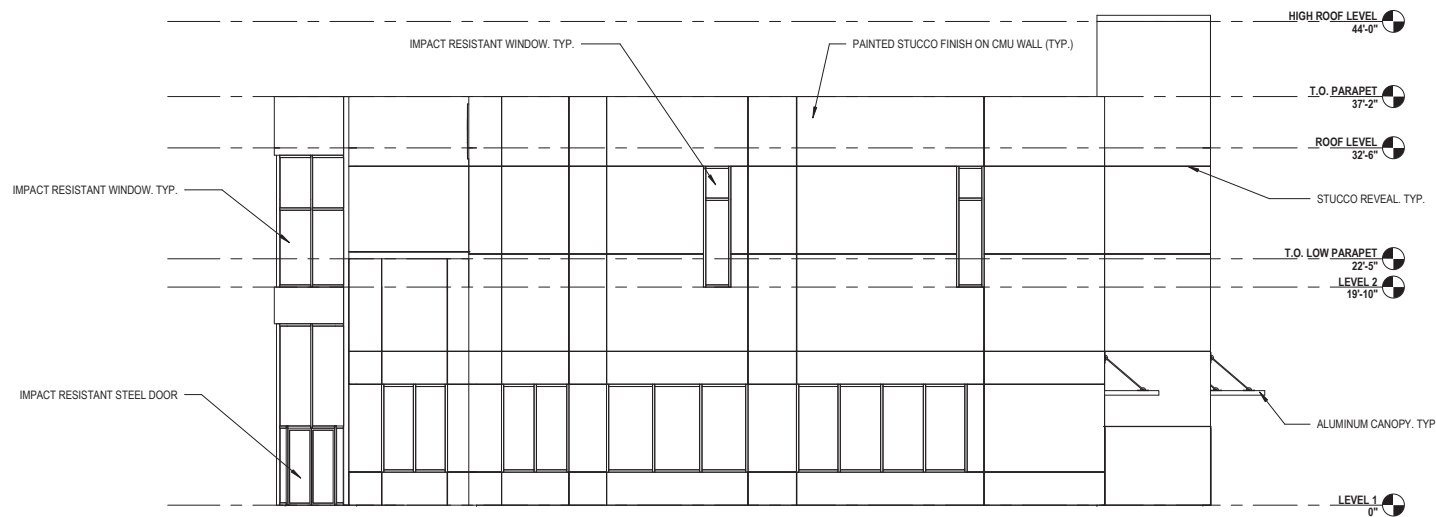
**1 SOUTH ELEVATION**  
 1/8" = 1'-0"

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 roofing consulting  
 construction management

AAC001323-EB0004379-CGC010769  
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 Fort Lauderdale, Florida 33309  
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2 WEST ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATIONS  
1/8" = 1'-0"

EXHIBIT II - OPTION I

NOT FOR CONSTRUCTION OR BID - SCHEMATIC

DATE:	7/5/2021
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
FIELD BOOK:	

**CITY OF FORT LAUDERDALE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	REVISIONS	DESCRIPTION

PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
EXTERIOR ELEVATIONS  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

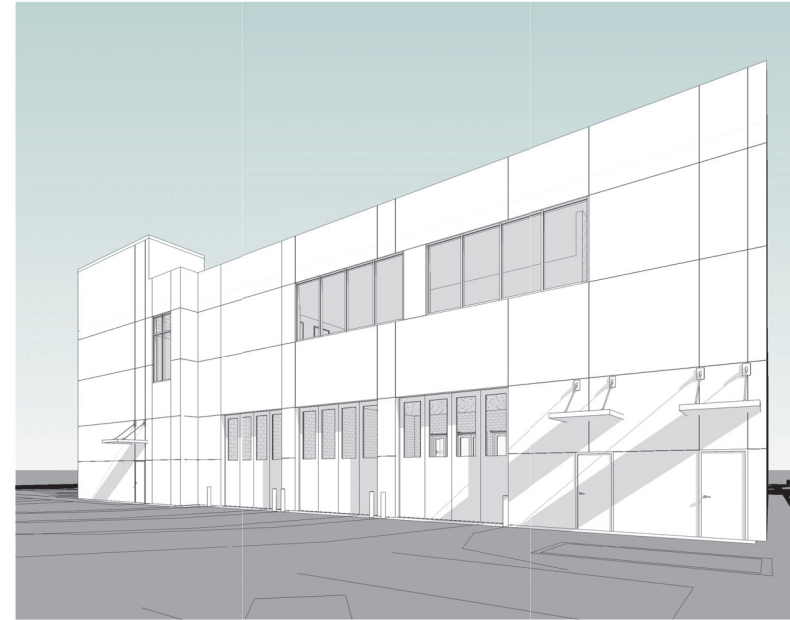
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architecture • engineering  
roofing • consulting  
construction management

AAC001323 - EB0004379 - CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, Florida 33309  
Tel: 954.484.4000 • Fax: 954.484.5588  
www.acaiarchitects.com

SHEET NO.	OF
<b>A-202</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.:	



2 SOUTH EAST 3D VIEW



4 NORTH EAST 3D VIEW



1 SOUTH WEST 3D VIEW



3 NORTH WEST 3D VIEW

1/19/2021 11:21:39 AM BM 390/729/004 001 Ft. Lauderdale FS 13/20/04 001 - FT LAUD FS 13 - ARCH R21.rvt

EXHIBIT II - OPTION I

DATE:	7/5/2021
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
FIELD BOOK:	

**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**  
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION

**NOT FOR CONSTRUCTION OR BID - SCHEMATIC**

PROJECT # P10918  
 FIRE STATION #13  
 BUILDING REPLACEMENT  
 CONCEPTUAL EXTERIOR VIEWS  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>R-001</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.	

**ACAIA**  
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 roofing consulting  
 construction management

AAC001323-EB0004379-CGC010769  
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 Fort Lauderdale, Florida 33309  
 Tel: 954.484.4000 Fax: 954.484.5588  
 www.acaiarchitects.com

01.15.2021	<b>BUDGET COST ESTIMATE</b>			ACAI Project Number 20-004 G01
	City of Ft. Lauderdale, Fire Station 13 - Project 10918			
	Based on schematic floor plans 01.15.202 SCHEMATIC SITE AND FLOOR PLANS ONLY			
<b>SITE Work</b>				
Demolition/Site Clearing	1	\$200,000.00	\$200,000.00	
Civil Infrastructure	1	\$1,061,250.00	\$1,061,250.00	
Landscape	1	\$88,350.00	\$88,350.00	
General	1	\$110,000.00	\$110,000.00	Mobilization/Erosion Control
Misc Site	1	\$244,000.00	\$244,000.00	Ligh Poles/Dumpsters/Electrical/Gas/Trash Cans/Flag Poles
Site Work Total				\$1,703,600.00
<b>BUIDLING</b>				
	SF	Cost /SF		
<b>Building -1st Floor</b>				
Apparatus Bay& Support	4,954	\$265.00	\$1,312,810.00	
Operation	2,862	\$350.00	\$1,001,700.00	
<b>Building -2nd Floor</b>				
			\$0.00	
Living	5575	\$350.00	\$1,951,250.00	
BUILDING Total				\$4,265,760.00 Permitting Fees excluded
Total SF	13,391			
<b>Total</b>				<b>\$5,969,360.00</b>
Cost / SF		\$471.15		
<b>EQUIPMENT</b>				
App Bay Support			\$155,000.00	
Kitchen			\$75,000.00	
Gym			\$20,000.00	
EQUIPMENT				\$250,000.00
FURNITURE			\$250,000.00	\$250,000.00
<b>TOTAL</b>				
				\$6,469,360.00
Contingency (10%)	0.1			\$646,936.00
Total Incl FF&E				\$7,116,296.00

# OPTION II - TWO STORY, FOUR BAY BACK-IN APPARATUS



## CITY OF FORT LAUDERDALE FIRE STATION #13

2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SCHEMATIC  
1/22/2021



CITY OF FORT LAUDERDALE


EXHIBIT II - OPTION II

GENERAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
GN-000	COVER SHEET	1/22/2021		
ARCHITECTURAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
AS-101	ARCHITECTURAL SITE PLAN	01/22/21		
A-101	FIRST FLOOR PLAN	01/22/21		
A-102	SECOND FLOOR PLAN	01/22/21		
A-103	ROOF PLAN	01/22/21		
A-201	EXTERIOR ELEVATIONS	01/22/21		
A-202	EXTERIOR ELEVATIONS	01/22/21		
R-001	CONCEPTUAL EXTERIOR VIEWS	01/22/21		

**PROJECT OWNER**

CLIENT: CITY OF FORT LAUDERDALE

2871 E. SUNRISE BLVD.  
FORT LAUDERDALE, FL, 33304



**PROJECT LOCATION MAP**

HUGH TAYLOR BIRCH STATE PARK

**PROJECT DESIGN TEAM**

PRIME CONSULTANT / ARCHITECT OF RECORD:

**ACAI**  
architecture • engineering  
www.acalarchitects.com

AAC001323 EB0004379 CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, FL 33309  
Tel: 954.484.4000 Fax: 954.484.5588

PROFESSIONAL IN CHARGE  
ADOLFO J. COTILLA, JR., AIA  
REGISTRATION NUMBER  
AR-0008011

LEAD CONSULTING:

**SPINNAKER GROUP**  
SPINNAKER GROUP  
1409 GEORGIA AVENUE  
WEST PALM BEACH, FL 33401  
P: 561-801-7576

CIVIL:

**CRAVEN THOMPSON & ASSOCIATES INC.**  
Engineers • Planners • Surveyors • Landscape Architects  
CRAVEN THOMPSON  
3563 NW 53RD STREET  
FORT LAUDERDALE, FL 33309  
P: 954-739-6409

LANDSCAPE:

**CRAVEN THOMPSON & ASSOCIATES INC.**  
Engineers • Planners • Surveyors • Landscape Architects  
CRAVEN THOMPSON  
3563 NW 53RD STREET  
FORT LAUDERDALE, FL 33309  
P: 954-739-6409

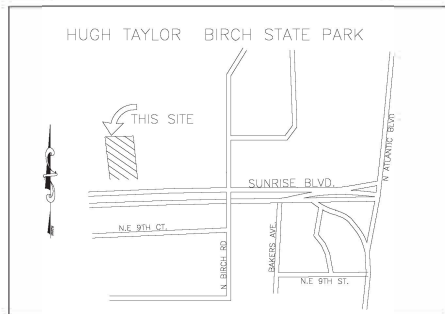
STRUCTURAL:

**S&F Engineers, Inc.**  
S&F ENGINEERS, INC  
2925 W. CYPRESS CREEK RD., SUITE 200  
FORT LAUDERDALE, FL 33309  
P: 954-938-0020

MECHANICAL, ELECTRICAL AND PLUMBING:

**DELTA G CONSULTING ENGINEERS, INC.**  
DELTA G CONSULTING ENGINEERS, INC.  
707 NE 3RD AVE, SUITE 200  
FORT LAUDERDALE, FL 33304  
P: 954-527-1112

ACAI PROJECT NUMBER: 20-004 G01



LOCATION MAP  
NOT TO SCALE

**LEGAL DESCRIPTION:**

A PARCEL OF LAND IN GOVERNMENT LOT 6, SECTION 36, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 6; THENCE WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 6, A DISTANCE OF 739.9 FEET TO A POINT; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; THENCE CONTINUING NORTH ALONG SAID LINE, THAT IS AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 200 FEET TO A POINT; THENCE WEST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE SOUTH AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING; LESS THE SOUTH 40 FEET THEREOF.

**CODE ANALYSIS**

**APPLICABLE CODES**

THE FOLLOWING IS A LIST OF APPLICABLE CODES FOR THE PROJECT. WHERE DIFFERENT REQUIREMENTS ARE SPECIFIED BY THE FLORIDA FIRE PREVENTION CODE AND THE FLORIDA BUILDING CODE, THE MOST STRINGENT AND RESTRICTIVE REQUIREMENTS ARE APPLICABLE AND ARE NOTED IN THIS OUTLINE.

- FLORIDA BUILDING CODE (FBC), 2020 EDITION (WITH SUPPLEMENTS)
- FLORIDA BUILDING CODE (FBC), 2020 ACCESSIBILITY CODE
- FLORIDA FIRE PREVENTION CODE (FFPC), 6th EDITION AS SPECIFIED WITHIN THE 6th EDITION FFPC, CHAPTER 2 REFERENCED PUBLICATIONS.
- 2.1 GENERAL:
  - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101), LIFE SAFETY CODE 2015 EDITION
  - NFPA 1, FIRE CODE, 2015
  - CODE OF ORDINANCES - OF THE CITY OF FORT LAUDERDALE (COCFL), CURRENT EDITION (APRIL 17, 2020)

BUILDING/ZONING: CITY OF FORT LAUDERDALE, FLORIDA  
FIRE JURISDICTION: CITY OF FORT LAUDERDALE, FLORIDA

**SITE DATA INFORMATION**

EXISTING ZONING DISTRICT: P - PARKS, RECREATION AND OPEN SPACE

EXISTING SITE AREA: 31,991.59 SF (0.734 ACRES)

**SECTION 47-8.30 - TABLE OF DIMENSIONAL REQUIREMENTS**

MAX. HEIGHT REQUIRED: 60'-0"  
MAX. FAR: NONE  
MAX. FLOOR AREA: NONE

SET BACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'-0" Min.	70'-1"
SIDE (EAST)	25'-0" Min.	66'-11"
REAR (NORTH)	25'-0" Min.	5'-0"
SIDE (WEST)	25'-0" Min.	1'-10"

**SECTION 47-20.2 - PARKING REQUIREMENTS**

PARKING SPACE REQUIREMENT: 2/ (12)BEDS= 24  
PARKING SPACE PROVIDED: 24  
ACCESSIBLE PARKING SPACE REQUIRED (PER FBC ACCESSIBILITY - TABLE 208.2): 1  
ACCESSIBLE PARKING SPACE PROVIDED: 1

**SECTION 47-21.12 - LANDSCAPE REQUIREMENTS FOR VEHICULAR USE AREAS (VUA)**

1. LANDSCAPING SHALL BE PROVIDED IN SQUARE FOOTAGE AREA EQUAL TO A MIN. OF 20% OF THE GROSS VUA. THIS SQUARE FOOTAGE SHALL ABUT AND EXTEND NO FURTHER THAN 10 FEET AWAY FROM A VUA. THE LANDSCAPE AREA REQUIRED FROM A VUA SHALL CONSIST OF PERIMETER, PENINSULAR AND INTERIOR LANDSCAPE AREAS
2. PERIMETER LANDSCAPE AREA: 20 FT. FRONT AT INTERDISTRICT CORRIDOR (PER 47-21.13) AND MIN. 2 1/2 FT. OTHER 3 SIDES.
3. INTERIOR LANDSCAPE AREA: 30 SF MIN./PARKING SPACE.

VUA PROVIDED: XX SF

LANDSCAPING REQUIRED FOR VUA: 20% OF XX SF= XX SF

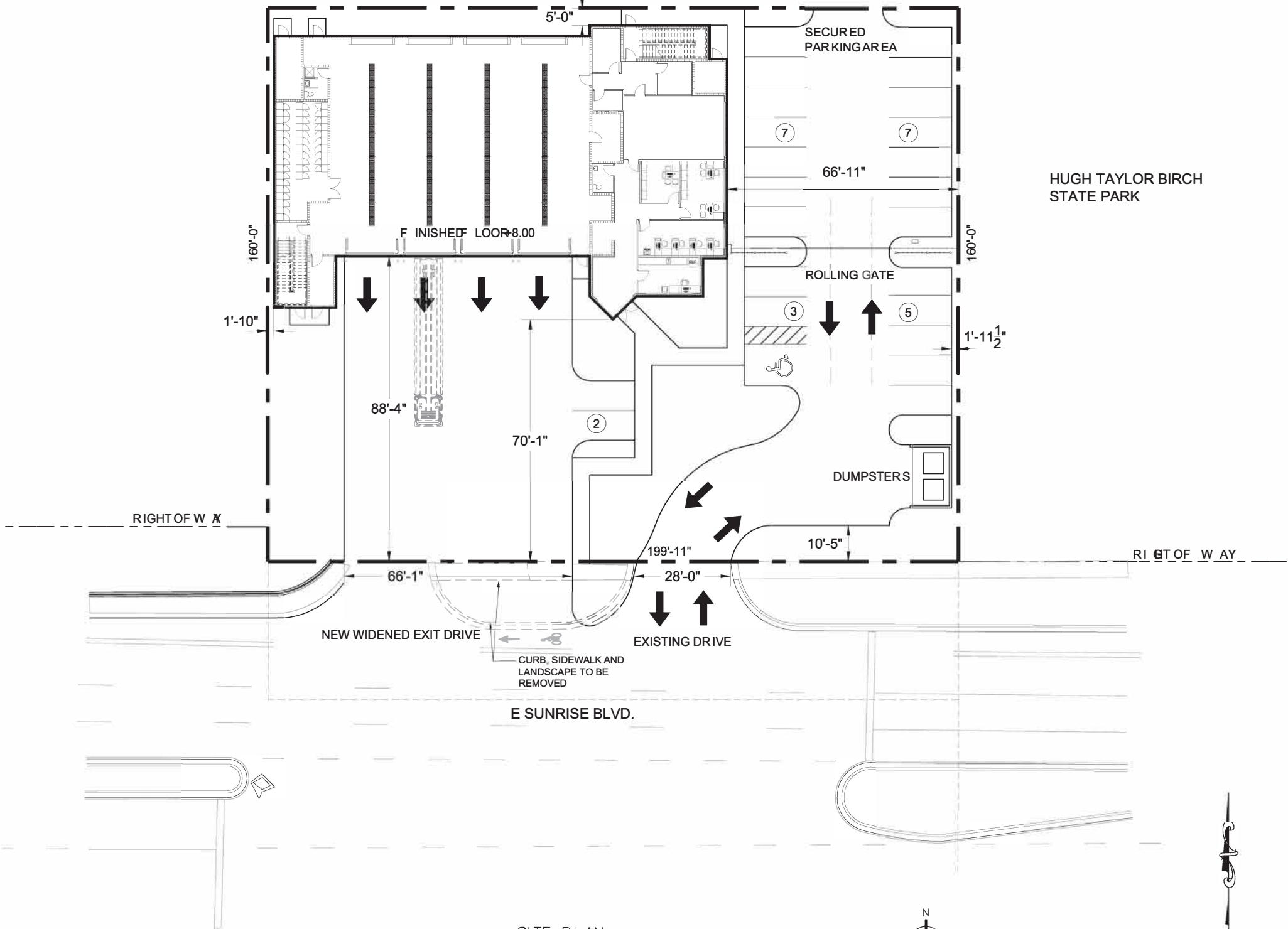
LANDSCAPING PROVIDED FOR VUA: XX SF APPROX. (INCLUDING PERIMETER, PENINSULAR AND INTERIOR)

INT. LANDSCAPE AREA REQUIRED: 24 PARKING SPACES X 30 SF= 720 SF REQUIRED

INT. LANDSCAPE AREA PROVIDED: XX SF APPROX.

TOTAL LANDSCAPE AREA PROVIDED: XX SF APPROX.

PROPOSED BUILDING FOOTPRINT: 9,115 SF



SITE PLAN  
SCALE 1/116" = 1'-0"



EXHIBIT II - OPTION II

ARCHITECT:  
ADOLFO J. COTTILA, AIA  
REG. No. AR-0008011  
DATE:  
DRAWN BY:  
DESIGNED BY:  
CHECKED BY:  
FIELD BOOK:

DATE: 01/22/2021  
SCALE:  
FIELD BOOK:

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION

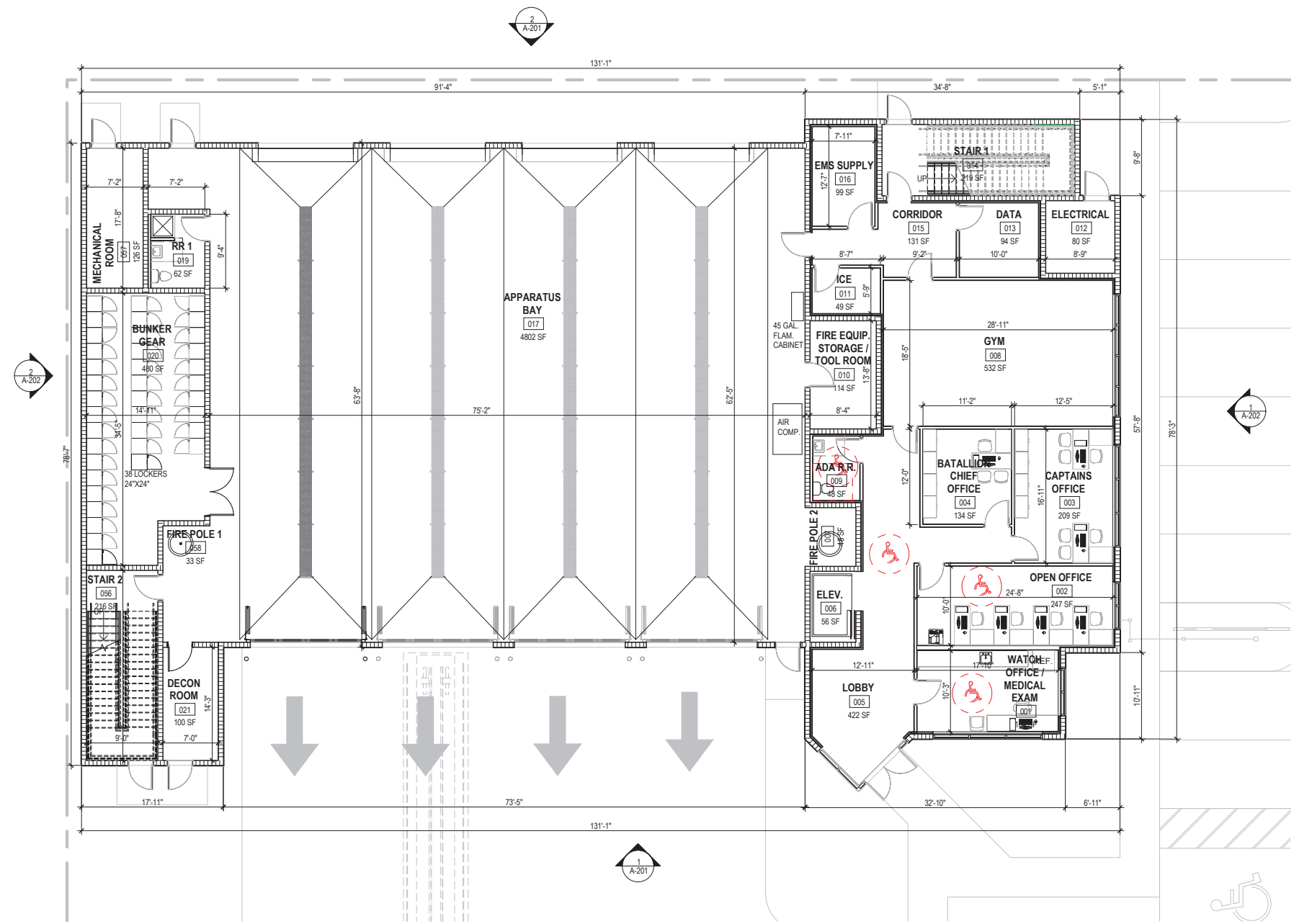
PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
SITE  
2871 E. SUNRISE BLVD., FORT LAUDERDALE

SHEET NO. AS-101 OF  
TOTAL:  
CAD FILE:  
DRAWING FILE NO.

**ACA I**  
associates, inc.  
architecture • engineering  
roofing • consulting  
construction management  
AAC001323 • EB0004379 • CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, Florida 33309  
Tel: 954.484.4000 • Fax: 954.484.5588  
www.acaiarchitects.com

NOT FOR CONSTRUCTION OR BID - SCHEMATIC

S:\PROJECTS\20-004 G01 FT LAUDERDALE FS 13\06 DRAWINGS\6.02 SCHEMATIC\109018-A01-SITE\_01.13.2021.DWG



1 FIRST FLOOR PROPOSED FLOOR PLAN  
1/8" = 1'-0"

EXHIBIT II - OPTION II

**ACAIA**  
associates, inc.  
architecture-engineering  
roofing consulting  
construction management

AAC001323-EB0004379-CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, Florida 33309  
Tel: 954.484.4000 Fax: 954.484.5588  
www.acaiarchitects.com

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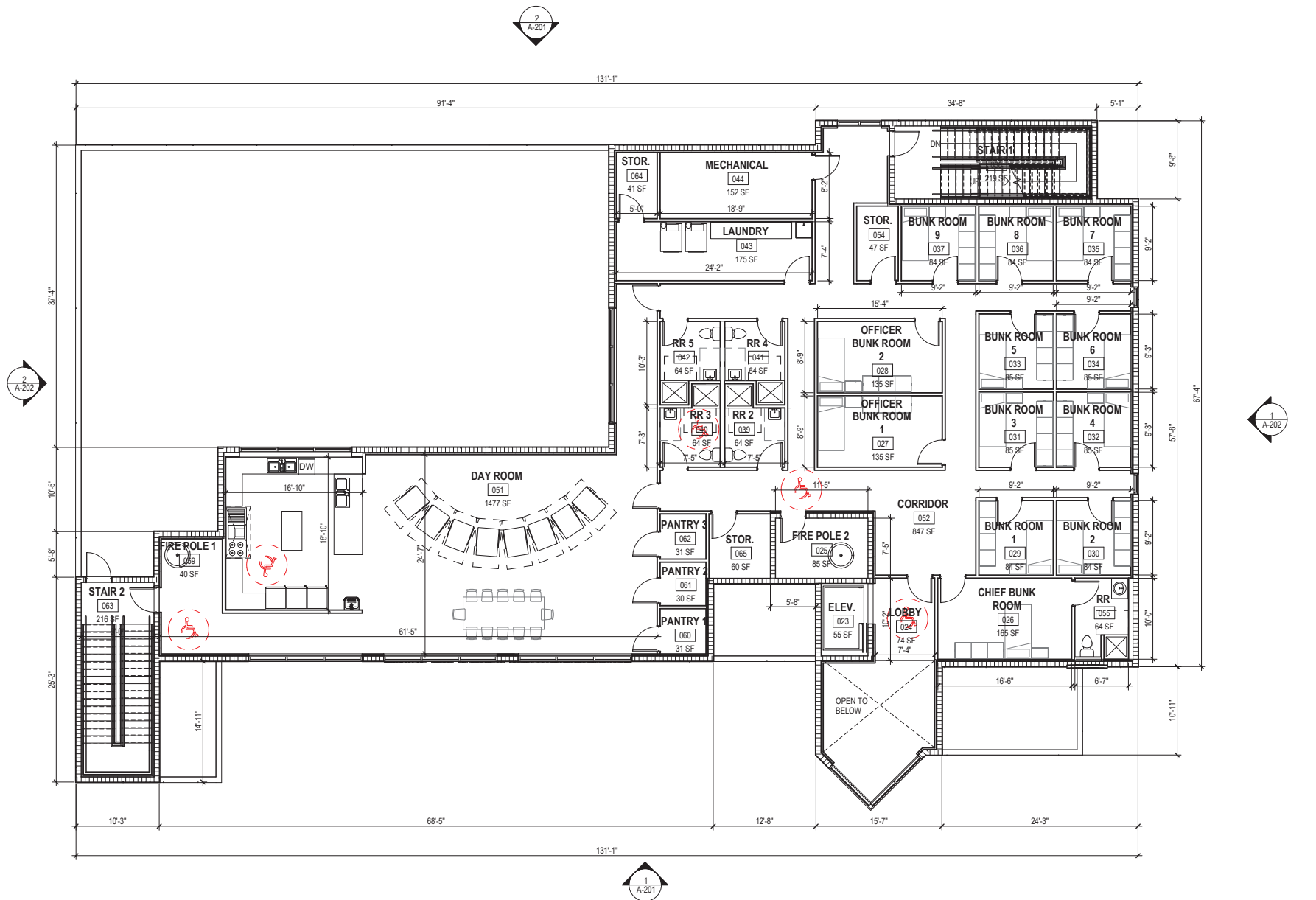
PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
FIRST FLOOR PLAN  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO. OF  
**A-101**

NO.	DATE	BY	DESCRIPTION

**CITY OF FORT LAUDERDALE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33300

DRAWN BY:	DATE:
DESIGNED BY:	1/22/2021
CHECKED BY:	
FIELD BOOK:	



1 SECOND FLOOR PROPOSED PLAN  
1/8" = 1'-0"

EXHIBIT II - OPTION II

**ACAIA**  
 associates, inc.  
 architecture-engineering  
 roofing consulting  
 construction management

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 2937 W. Cypress Creek Rd., Suite 200  
 Fort Lauderdale, Florida 33309  
 Tel: 954.484.4000 Fax: 954.484.5588  
 www.acaiarchitects.com

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PROJECT # P10918  
 FIRE STATION #13  
 BUILDING REPLACEMENT  
 SECOND FLOOR PLAN  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO. 1 OF 1  
**A-102**

TOTAL:  
 CAD FILE:  
 DRAWING FILE NO.:

NO.	DATE	BY	DESCRIPTION

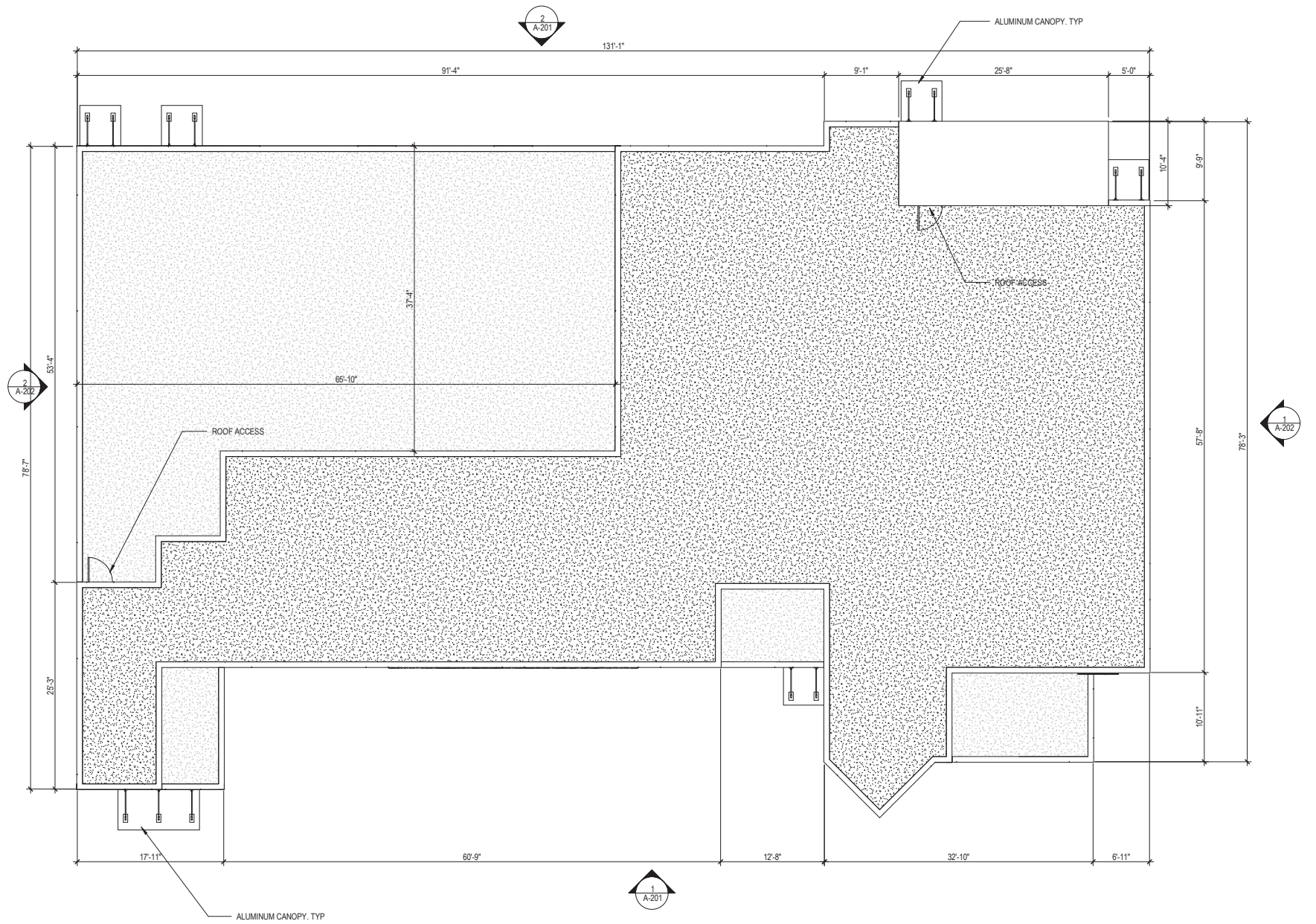
**CITY OF FORT LAUDERDALE**  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33309

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DESIGNED BY:	1/22/2021
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1 PROPOSED ROOF PLAN  
1/8" = 1'-0"

### ROOF GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS AND OPENINGS WITH MEP AND STRUCTURAL DWGS.
2. ALL WOOD IN CONTACT WITH MASONRY, STEEL OR CONCRETE SHALL BE PRESSURE TREATED. DIFFERENT MATERIALS SHALL BE SUITABLY ISOLATED WHEN IN CONTACT.
3. ALL METAL ACCESSORIES SHALL CONFORM TO SMACNA STANDARDS AND SHALL COMPLY WITH FBC.
4. ROOFING SHALL COMPLY WITH FBC HIGH VELOCITY HURRICANE ZONE REQUIREMENTS AND SHALL BE INSTALLED PER RAS 115 AND MANUFACTURER'S INSTRUCTIONS.

DATE:	1/22/2021
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**CITY OF FORT LAUDERDALE**  
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100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION

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PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
ROOF PLAN  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

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construction management

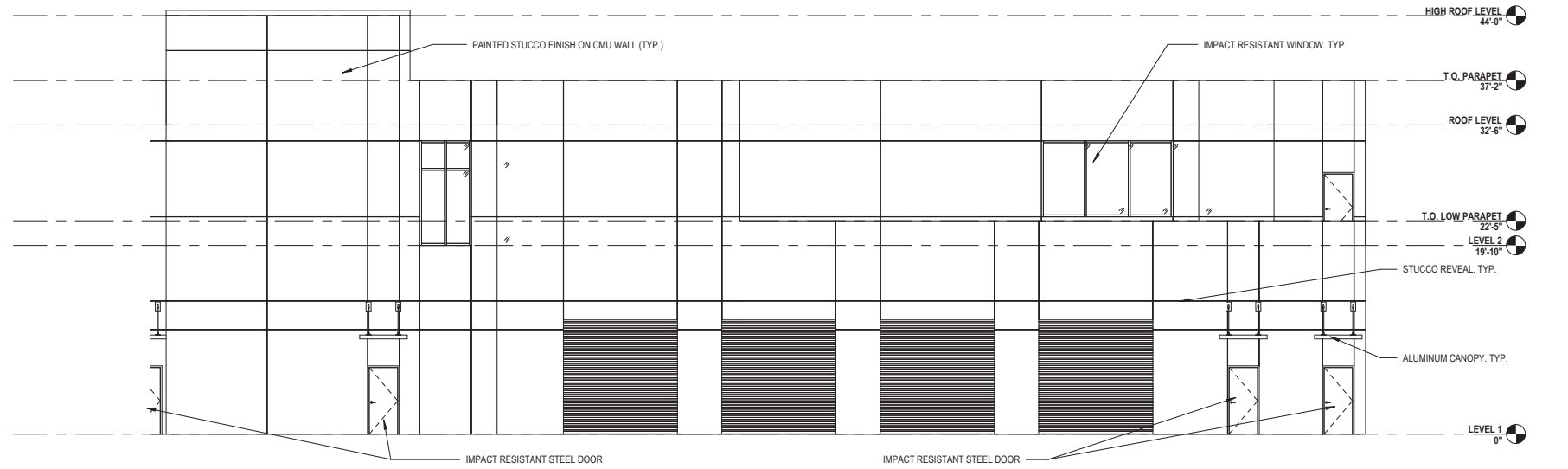
AAC001323-EB0004379-CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, Florida 33309  
Tel: 954.484.4000 • Fax: 954.484.5588  
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SHEET NO.	OF
<b>A-103</b>	
TOTAL:	
CAD FILE:	
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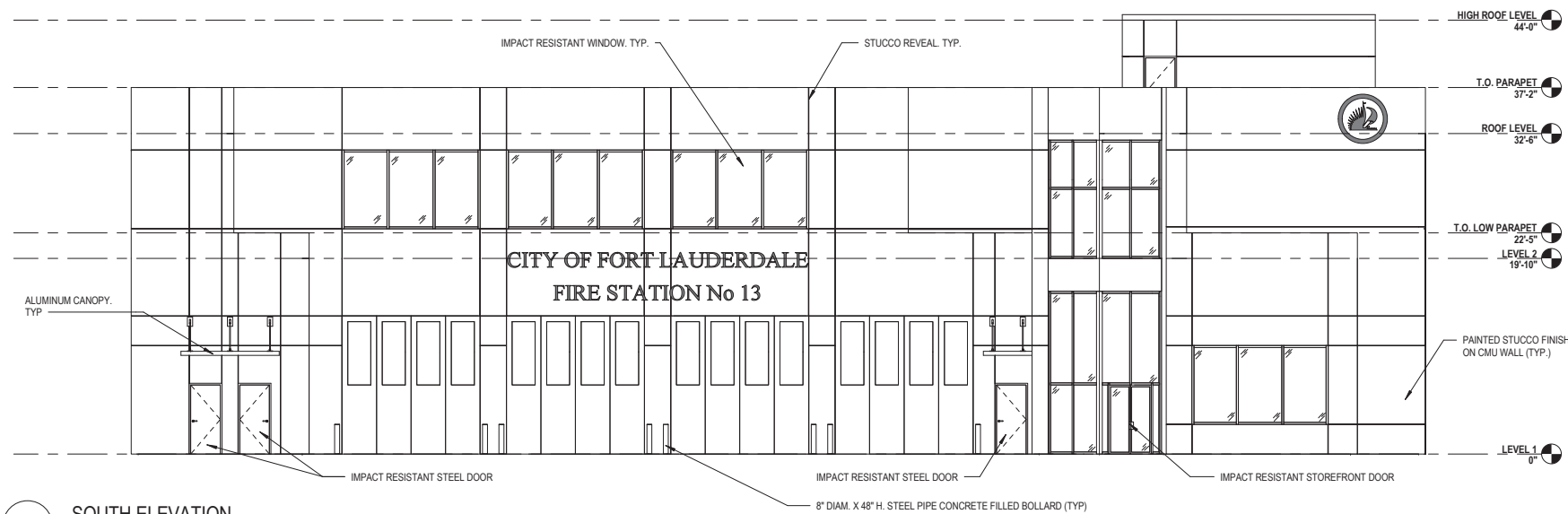
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2 NORTH ELEVATION  
1/8" = 1'-0"



1 SOUTH ELEVATION  
1/8" = 1'-0"

EXHIBIT II - OPTION II

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PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

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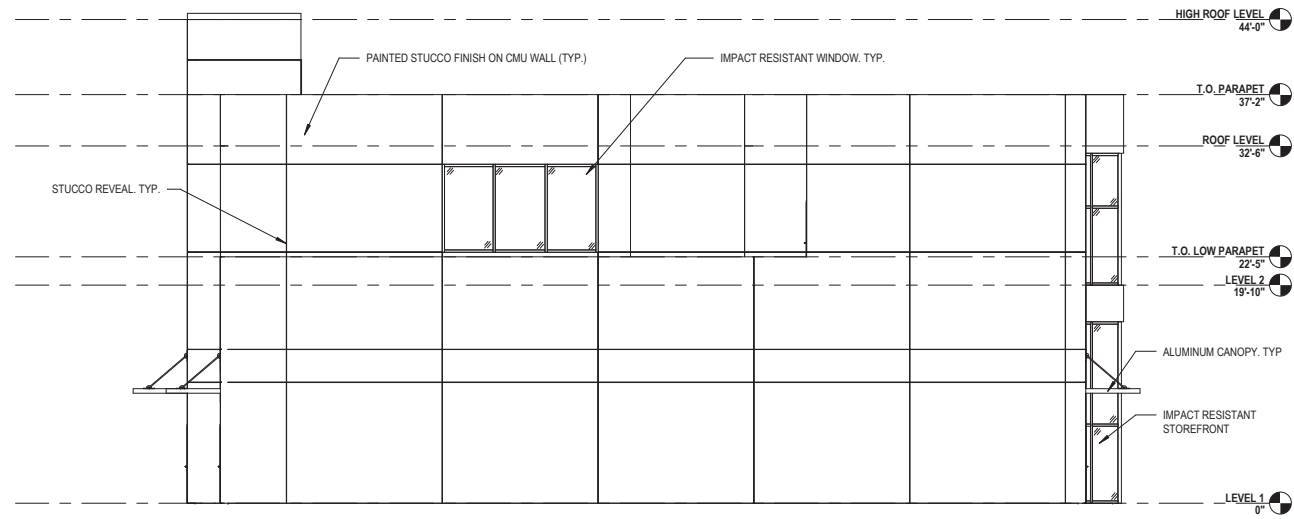
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PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
EXTERIOR ELEVATIONS  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

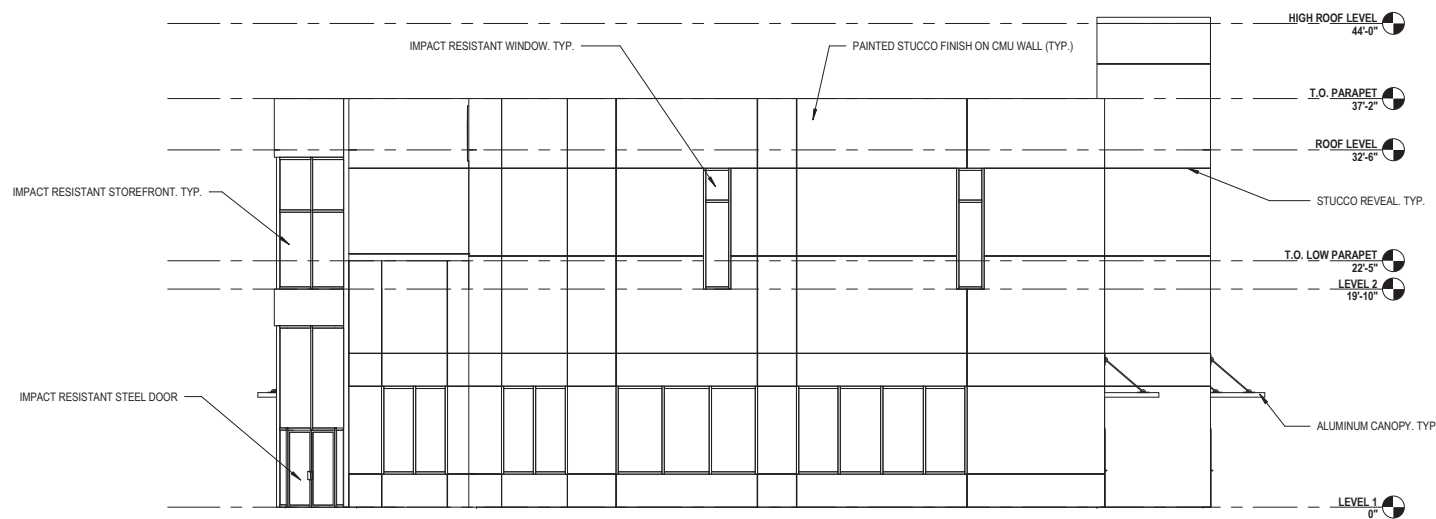
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architecture-engineering  
roofing consulting  
construction management

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SHEET NO.	OF
<b>A-201</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.:	



**2 WEST ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATIONS**  
1/8" = 1'-0"

EXHIBIT II - OPTION II

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**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**  
100 North Andrews Avenue, Fort Lauderdale, Florida 33309

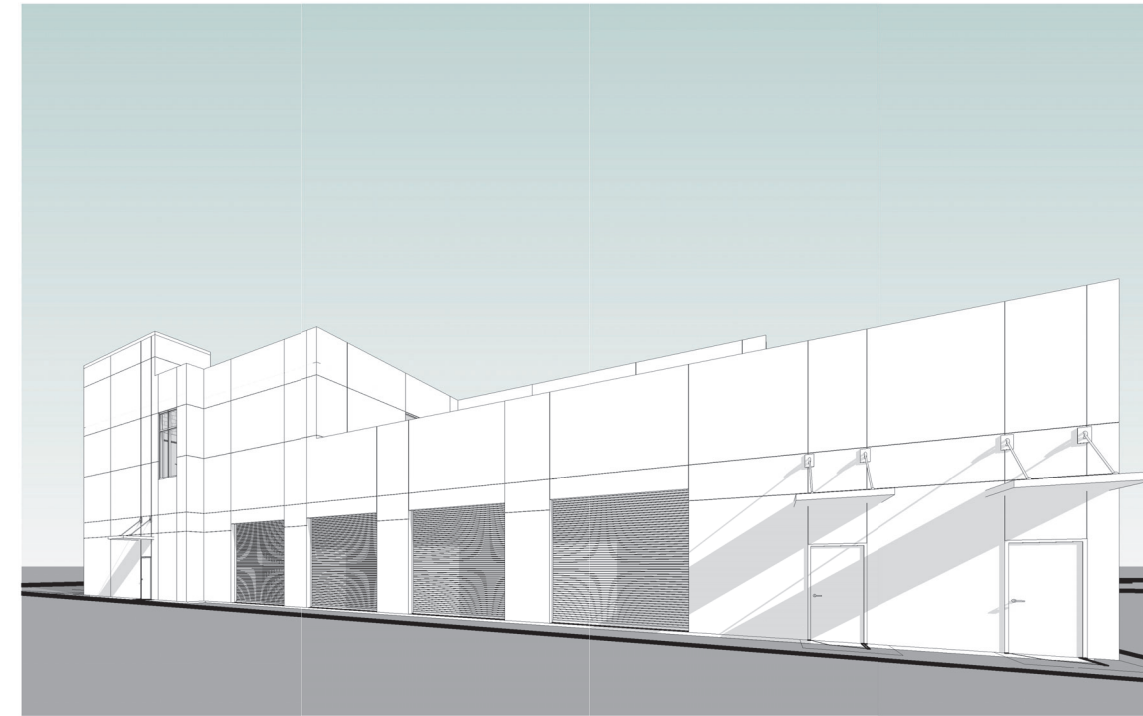
NO.	DATE	BY	DESCRIPTION

PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
EXTERIOR ELEVATIONS  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>A-202</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.:	



2 SOUTH EAST 3D VIEW



4 NORTH EAST 3D VIEW



1 SOUTH WEST 3D VIEW



3 NORTH WEST 3D VIEW

EXHIBIT II - OPTION II

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**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**  
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION

NOT FOR CONSTRUCTION OR BID - SCHEMATIC

PROJECT # P10918  
 FIRE STATION #13  
 BUILDING REPLACEMENT  
 CONCEPTUAL EXTERIOR VIEWS  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

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SHEET NO.	OF
<b>R-001</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.:	

01.22.2021	<b>BUDGET COST ESTIMATE</b>			ACAI Project Number 20-004 G01
	City of Ft. Lauderdale, Fire Station 13 - Project 10918			
	Based on schematic floor plans 01.22.202 SCHEMATIC SITE AND FLOOR PLANS ONLY _ Back In Station			
<b>SITE Work</b>				
Demolition/Site Clearing	1	\$200,000.00	\$200,000.00	
Civil Infrastructure	1	\$1,061,250.00	\$1,061,250.00	
Landscape	1	\$88,350.00	\$88,350.00	
General	1	\$110,000.00	\$110,000.00	Mobilization/Erosion Control
Misc Site	1	\$244,000.00	\$244,000.00	Ligh Poles/Dumpsters/Electrical/Gas/Trash Cans/Flag Poles
Site Work Total				\$1,703,600.00
<b>BUIDLING</b>				
	SF	Cost /SF		
<b>Building -1st Floor</b>				
Apparatus Bay& Support	6,253	\$265.00	\$1,657,045.00	
Operation	2,862	\$350.00	\$1,001,700.00	
<b>Building -2nd Floor</b>				
			\$0.00	
Living	6000	\$350.00	\$2,100,000.00	
BUILDING Total				\$4,758,745.00 Permitting Fees excluded
Total SF	15,115			
<b>Total</b>				<b>\$6,462,345.00</b>
Cost / SF		\$471.15		
<b>EQUIPMENT</b>				
App Bay Support			\$155,000.00	
Kitchen			\$75,000.00	
Gym			\$20,000.00	
EQUIPMENT				\$250,000.00
FURNITURE			\$250,000.00	\$250,000.00
<b>TOTAL</b>				
				\$6,962,345.00
Contingency (10%)	0.1			\$696,234.50
<b>Total Incl FF&amp;E</b>				
				<b>\$7,658,579.50</b>

# OPTION III - THREE STORY, THREE BAY DRIVE-THROUGH APPARATUS



## CITY OF FORT LAUDERDALE FIRE STATION #13

2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SCHEMATIC  
1/22/2021



CITY OF FORT LAUDERDALE


EXHIBIT II - OPTION III

GENERAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
GN-000	COVER SHEET			
ARCHITECTURAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
AS-101	ARCHITECTURAL SITE PLAN	01/22/21		
A-101	FIRST FLOOR PLAN	01/22/21		
A-102	SECOND FLOOR PLAN	01/22/21		
A-103	ROOF PLAN	01/22/21		
A-201	EXTERIOR ELEVATIONS	01/22/21		
A-202	EXTERIOR ELEVATIONS	01/22/21		
R-001	CONCEPTUAL EXTERIOR VIEWS	01/22/21		

**PROJECT OWNER**

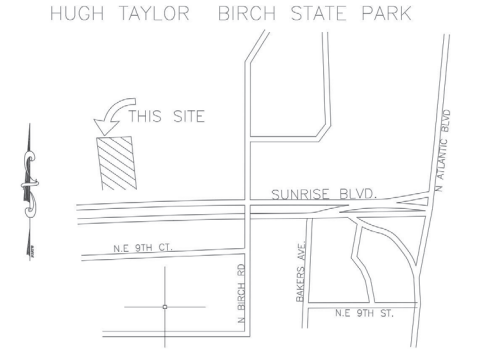
CLIENT: CITY OF FORT LAUDERDALE

2871 E. SUNRISE BLVD.  
FORT LAUDERDALE, FL, 33304



**PROJECT LOCATION MAP**

HUGH TAYLOR BIRCH STATE PARK



**PROJECT DESIGN TEAM**

PRIME CONSULTANT / ARCHITECT OF RECORD:

**ACA I**  
architecture • engineering  
www.acalarchitects.com

AAC001323 EB0004379 CGC010769  
2937 W. Cypress Creek Rd., Suite 200  
Fort Lauderdale, FL 33309  
Tel: 954.484.4000 Fax: 954.484.5588

PROFESSIONAL IN CHARGE  
ADOLFO J. COTILLA, JR., AIA  
REGISTRATION NUMBER  
AR-0008011

LEAD CONSULTING:

**SPINNAKER GROUP**

SPINNAKER GROUP  
1409 GEORGIA AVENUE  
WEST PALM BEACH, FL 33401  
P: 561-801-7576

CIVIL:

**CRAVEN THOMPSON & ASSOCIATES INC.**  
Engineers • Planners • Surveyors • Landscape Architects

CRAVEN THOMPSON  
3563 NW 53RD STREET  
FORT LAUDERDALE, FL 33309  
P: 954-739-6409

LANDSCAPE:

**CRAVEN THOMPSON & ASSOCIATES INC.**  
Engineers • Planners • Surveyors • Landscape Architects

CRAVEN THOMPSON  
3563 NW 53RD STREET  
FORT LAUDERDALE, FL 33309  
P: 954-739-6409

STRUCTURAL:

**S&F Engineers, Inc.**

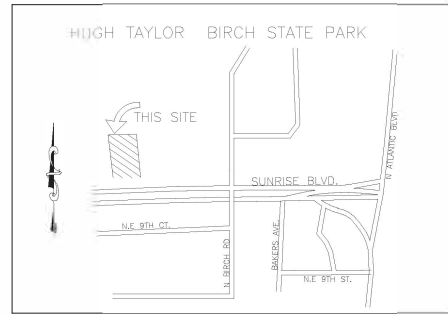
S&F ENGINEERS, INC  
2925 W. CYPRESS CREEK RD., SUITE 200  
FORT LAUDERDALE, FL 33309  
P: 954-938-0020

MECHANICAL, ELECTRICAL AND PLUMBING:

**DELTA G CONSULTING ENGINEERS, INC.**

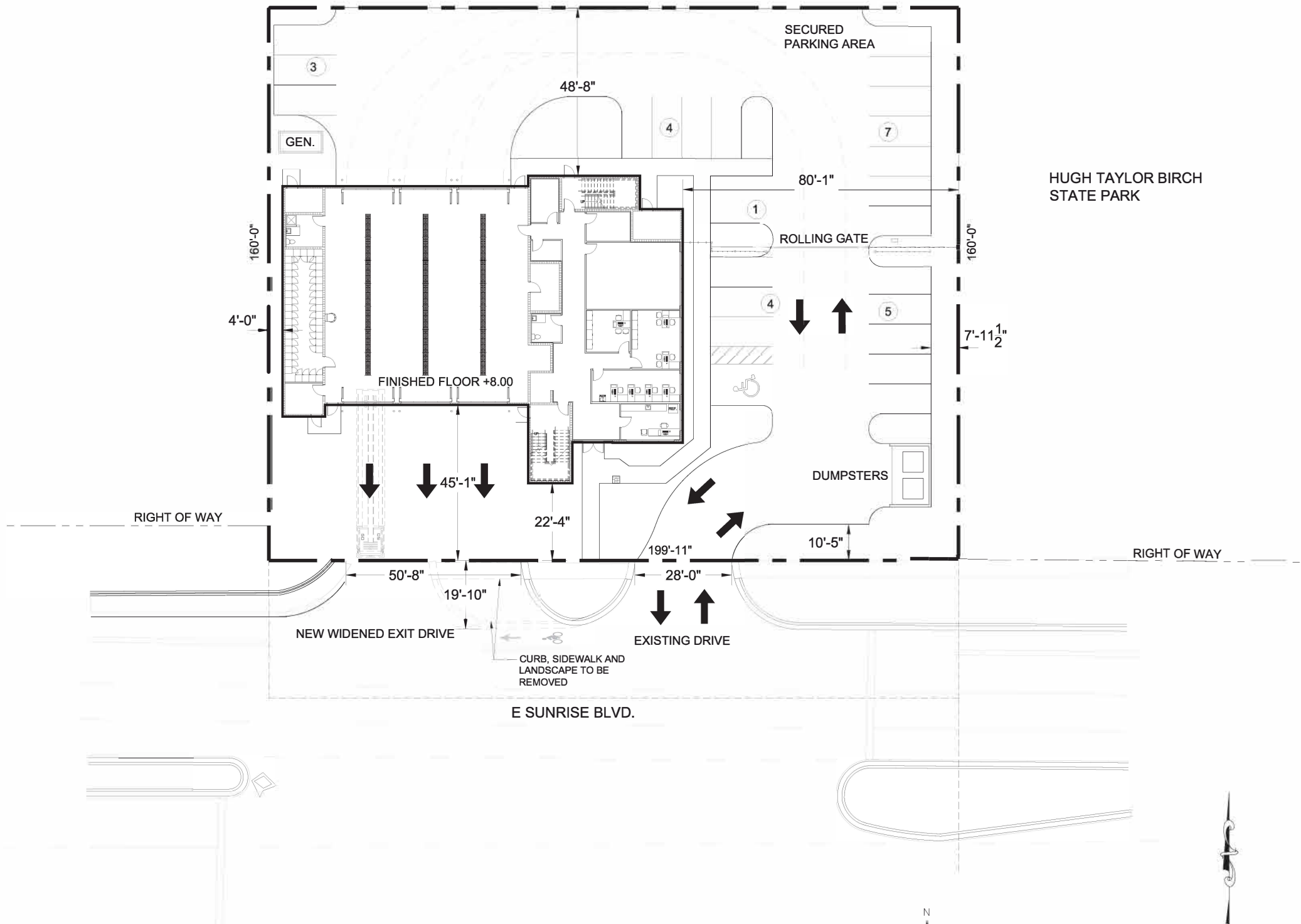
DELTA G CONSULTING ENGINEERS, INC.  
707 NE 3RD AVE, SUITE 200  
FORT LAUDERDALE, FL 33304  
P: 954-527-1112

ACA I PROJECT NUMBER: 20-004 G01



LOCATION MAP  
NOT TO SCALE

**LEGAL DESCRIPTION:**  
A PARCEL OF LAND IN GOVERNMENT LOT 6, SECTION 36, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SOUTHEAST CORNER OF SAID GOVERNMENT LOT 6; THENCE WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 6, A DISTANCE OF 739.9 FEET TO A POINT; THENCE NORTH AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 50 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; THENCE CONTINUING NORTH ALONG SAID LINE, THAT IS AT RIGHT ANGLES TO SAID SOUTH LINE OF GOVERNMENT LOT 6, A DISTANCE OF 200 FEET TO A POINT; THENCE WEST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE SOUTH AT RIGHT ANGLES A DISTANCE OF 200 FEET TO A POINT; THENCE EAST AT RIGHT ANGLES A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING; LESS THE SOUTH 40 FEET THEREOF.



SITE PLAN  
SCALE 1/16" = 1' - 0"

EXHIBIT II - OPTION III

**CODE ANALYSIS**

APPLICABLE CODES

THE FOLLOWING IS A LIST OF APPLICABLE CODES FOR THE PROJECT. WHERE DIFFERENT REQUIREMENTS ARE SPECIFIED BY THE FLORIDA FIRE PREVENTION CODE AND THE FLORIDA BUILDING CODE, THE MOST STRINGENT AND RESTRICTIVE REQUIREMENTS ARE APPLICABLE AND ARE NOTED IN THIS OUTLINE.

- FLORIDA BUILDING CODE (FBC), 2020 EDITION (WITH SUPPLEMENTS)
- FLORIDA BUILDING CODE (FBC), 2020 ACCESSIBILITY CODE
- FLORIDA FIRE PREVENTION CODE (FFPC), 6th EDITION AS SPECIFIED WITHIN THE 6th EDITION FFPC, CHAPTER 2 REFERENCED PUBLICATIONS.
- 2.1 GENERAL:
  - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101), LIFE SAFETY CODE 2015 EDITION
  - NFPA 1, FIRE CODE, 2015
- CODE OF ORDINANCES - OF THE CITY OF FORT LAUDERDALE (COCFL), CURRENT EDITION (APRIL 17, 2020)

BUILDING/ZONING: CITY OF FORT LAUDERDALE, FLORIDA  
FIRE JURISDICTION: CITY OF FORT LAUDERDALE, FLORIDA

**SITE DATA INFORMATION**

EXISTING ZONING DISTRICT: P - PARKS, RECREATION AND OPEN SPACE

EXISTING SITE AREA: 31,991.59 SF (0.734 ACRES)

SECTION 47-8.30 - TABLE OF DIMENSIONAL REQUIREMENTS

MAX. HEIGHT REQUIRED:	60'-0"
MAX. FAR:	NONE
MAX. FLOOR AREA:	NONE

SET BACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'-0" Min.	22'-4"
SIDE (EAST)	25'-0" Min.	80'-1"
REAR (NORTH)	25'-0" Min.	48'-8"
SIDE (WEST)	25'-0" Min.	4'-0"

SECTION 47-20.2 - PARKING REQUIREMENTS

PARKING SPACE REQUIREMENT: 2/ (12)BEDS= 24  
PARKING SPACE PROVIDED: 24  
ACCESSIBLE PARKING SPACE REQUIRED (PER FBC ACCESSIBILITY - TABLE 208.2): 1  
ACCESSIBLE PARKING SPACE PROVIDED: 1

SECTION 47-21.12 - LANDSCAPE REQUIREMENTS FOR VEHICULAR USE AREAS (VUA)

- LANDSCAPING SHALL BE PROVIDED IN SQUARE FOOTAGE AREA EQUAL TO A MIN. OF 20% OF THE GROSS VUA. THIS SQUARE FOOTAGE SHALL ABUT AND EXTEND NO FURTHER THAN 10 FEET AWAY FROM A VUA. THE LANDSCAPE AREA REQUIRED FROM A VUA SHALL CONSIST OF PERIMETER, PENINSULAR AND INTERIOR LANDSCAPE AREAS
- PERIMETER LANDSCAPE AREA: 20 FT. FRONT AT INTERDISTRICT CORRIDOR (PER 47-21.13) AND MIN. 2 1/2 FT. OTHER 3 SIDES.
- INTERIOR LANDSCAPE AREA: 30 SF MIN./PARKING SPACE.

VUA PROVIDED: XX SF  
LANDSCAPING REQUIRED FOR VUA: 20% OF XX SF = XX SF  
LANDSCAPING PROVIDED FOR VUA: XX SF APPROX. (INCLUDING PERIMETER, PENINSULAR AND INTERIOR)  
INT. LANDSCAPE AREA REQUIRED: 24 PARKING SPACES X 30 SF = 720 SF REQUIRED  
INT. LANDSCAPE AREA PROVIDED: XX SF APPROX.  
TOTAL LANDSCAPE AREA PROVIDED: XX SF APPROX.  
PROPOSED BUILDING FOOTPRINT: 8,256 SF

ARCHITECT: ADOLFO J. CORTILLA, AIA  
REG. NO. AR-0008011  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

DESIGNED BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
FIELD BOOK: \_\_\_\_\_

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

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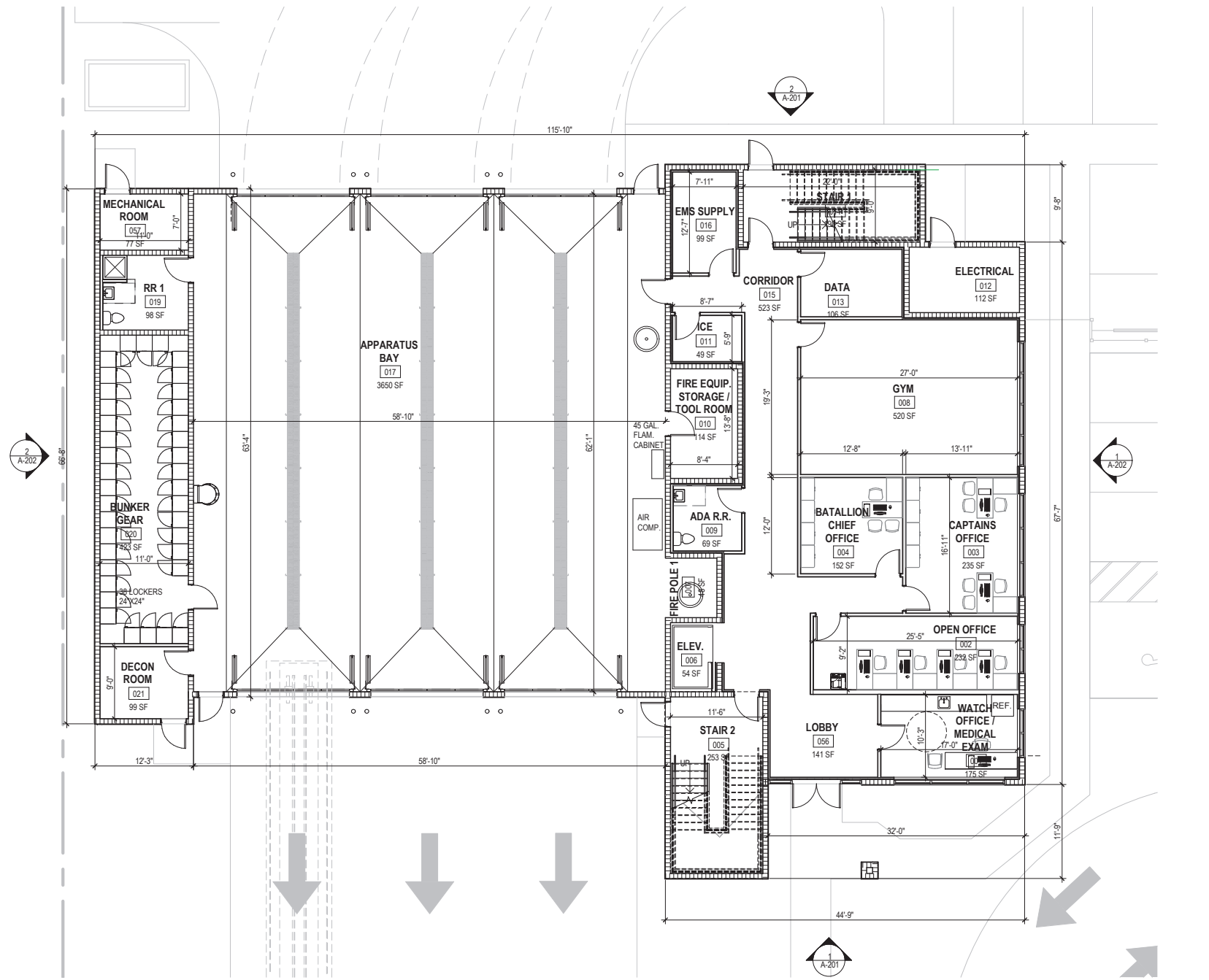
PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
SITE  
2871 E. SUNRISE BLVD., FORT LAUDERDALE

SHEET NO. AS-101 OF \_\_\_\_\_  
TOTAL: \_\_\_\_\_  
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**1** FIRST FLOOR PROPOSED FLOOR PLAN  
1/8" = 1'-0"

EXHIBIT II - OPTION III

**ACAIA**  
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architecture-engineering  
roofing consulting  
construction management

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PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
FIRST FLOOR PLAN  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO. **A-101** OF **10**  
TOTAL:  
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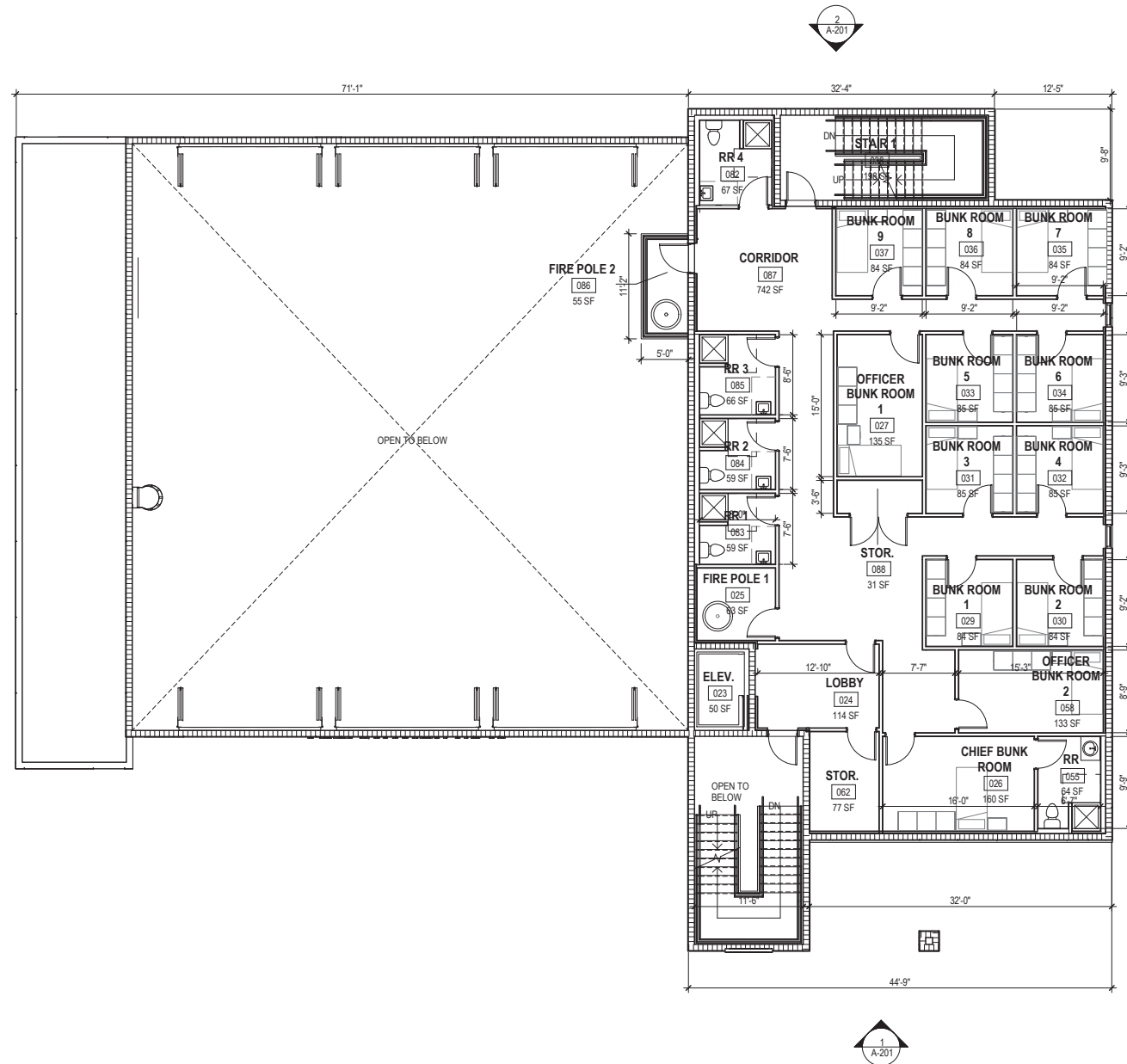
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100 North Andrews Avenue, Fort Lauderdale, Florida 33309

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1 SECOND FLOOR PROPOSED PLAN  
1/8" = 1'-0"



2 LEVEL 3  
1/8" = 1'-0"

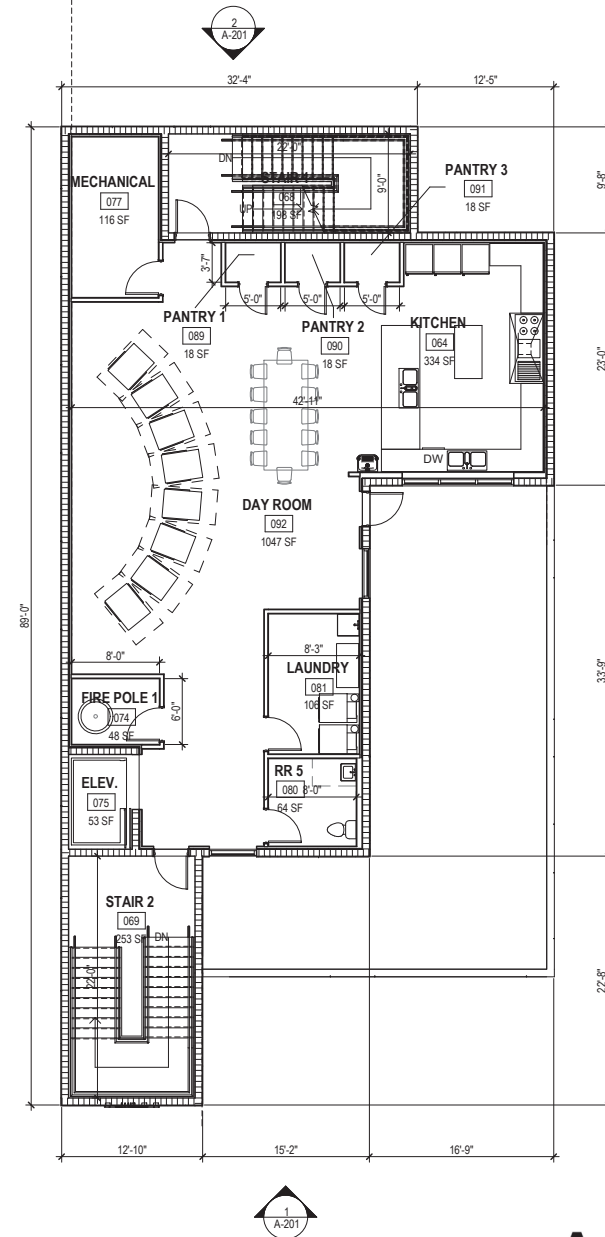


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 SECOND FLOOR PLAN  
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SHEET NO. **A-102** OF  
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 ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33309

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### ROOF GENERAL NOTES

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**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**



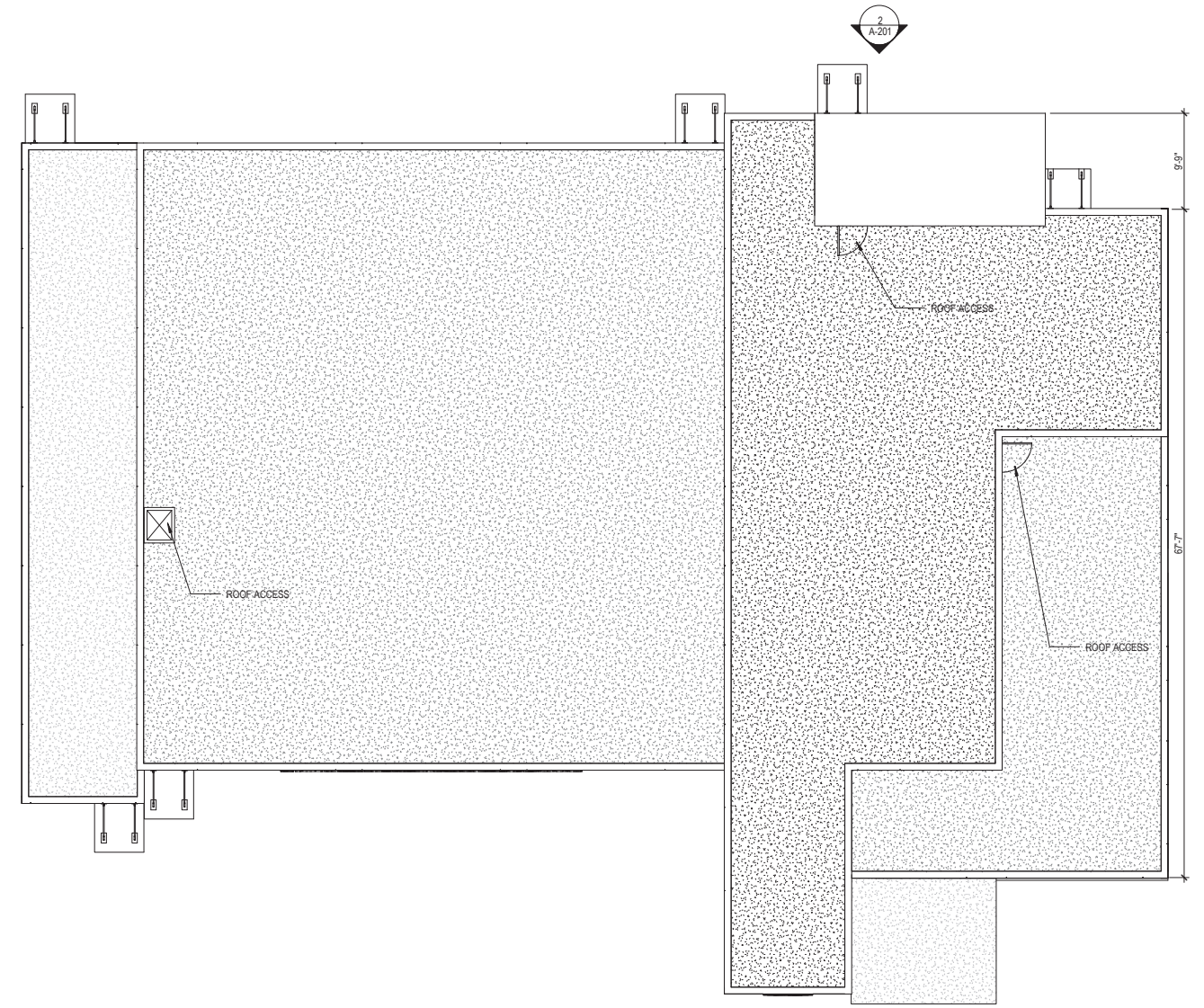
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PROJECT # P10918  
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 BUILDING REPLACEMENT  
 ROOF PLAN  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>A-103</b>	
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CAD FILE:	
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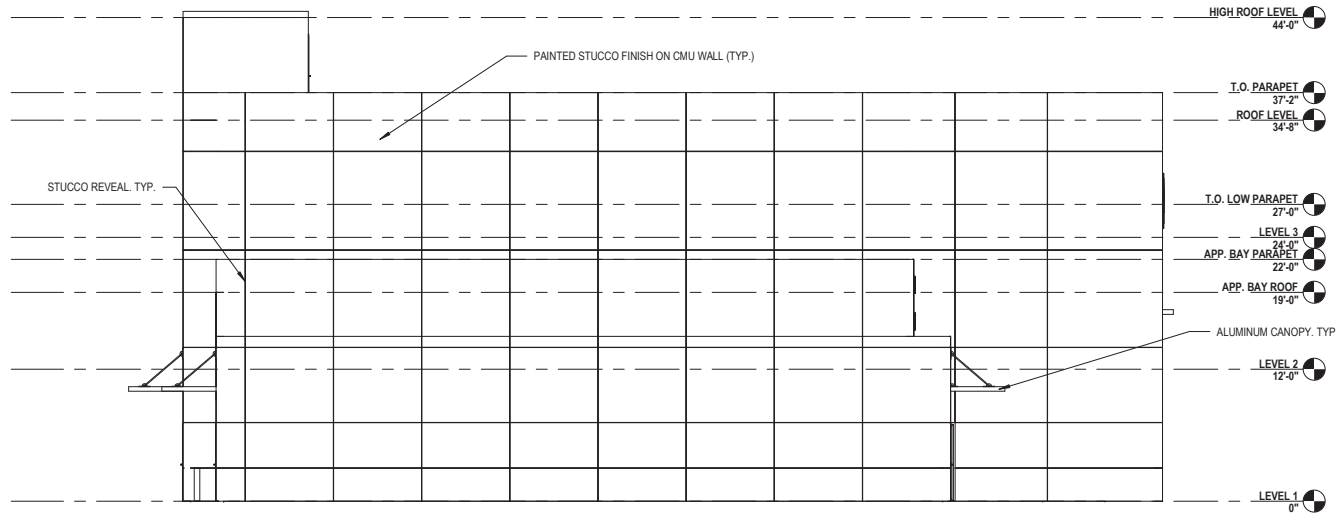


**1** PROPOSED ROOF PLAN  
 1/8" = 1'-0"

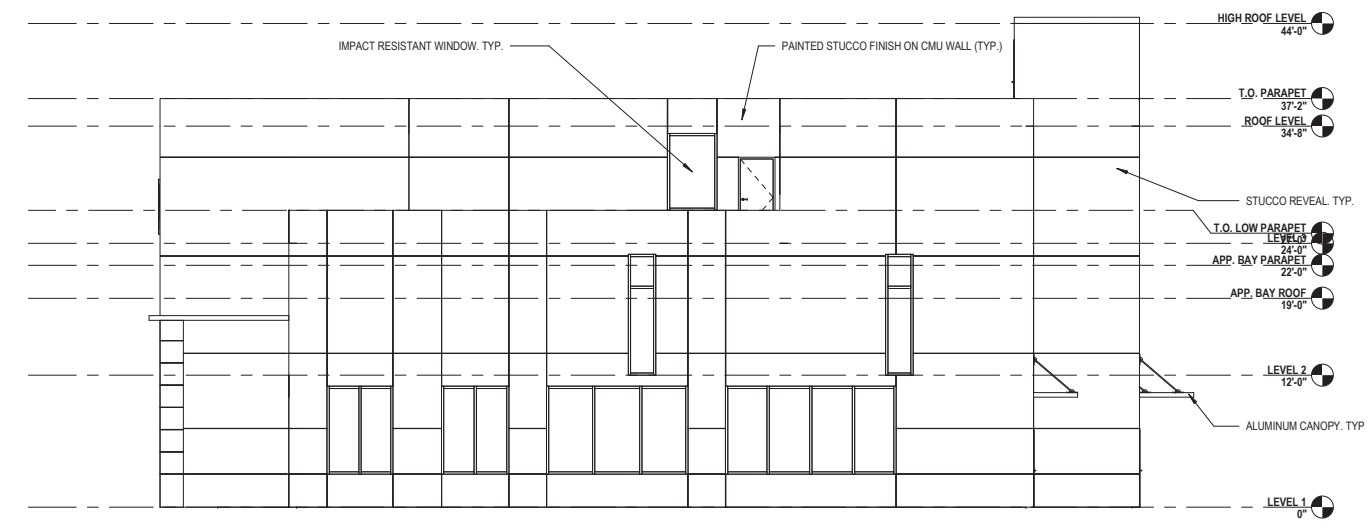
**ACAIA**  
 associates, inc.  
 architecture-engineering  
 roofing consulting  
 construction management

AAC001323-EB0004379-CGC010769  
 2937 W. Cypress Creek Rd., Suite 200  
 Fort Lauderdale, Florida 33309  
 Tel: 954.484.4000 · Fax: 954.484.5588  
 www.acaiarchitects.com





2 WEST ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATIONS  
1/8" = 1'-0"

EXHIBIT II - OPTION III

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NOT FOR CONSTRUCTION OR BID - SCHEMATIC

DATE:	1/22/2021
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
FIELD BOOK:	

**CITY OF FORT LAUDERDALE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

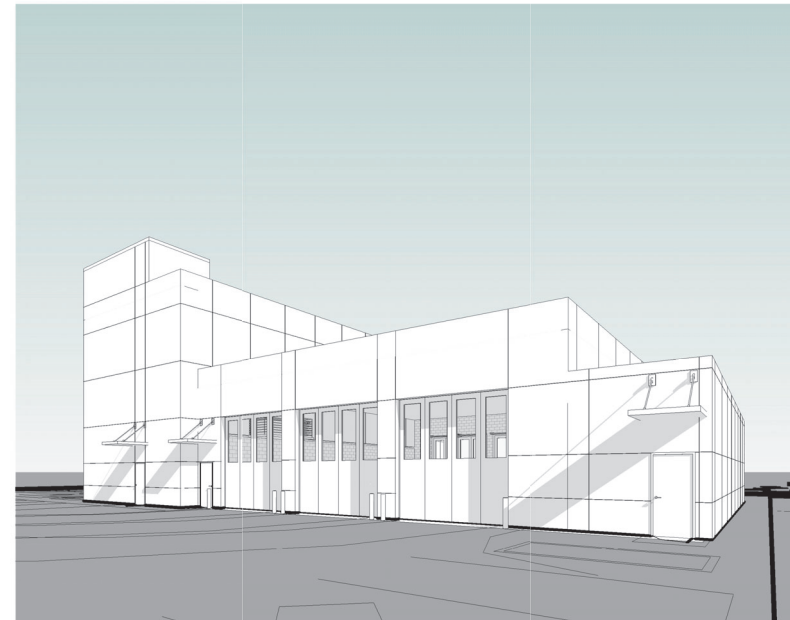
NO.	DATE	BY	DESCRIPTION

PROJECT # P10918  
FIRE STATION #13  
BUILDING REPLACEMENT  
EXTERIOR ELEVATIONS  
2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

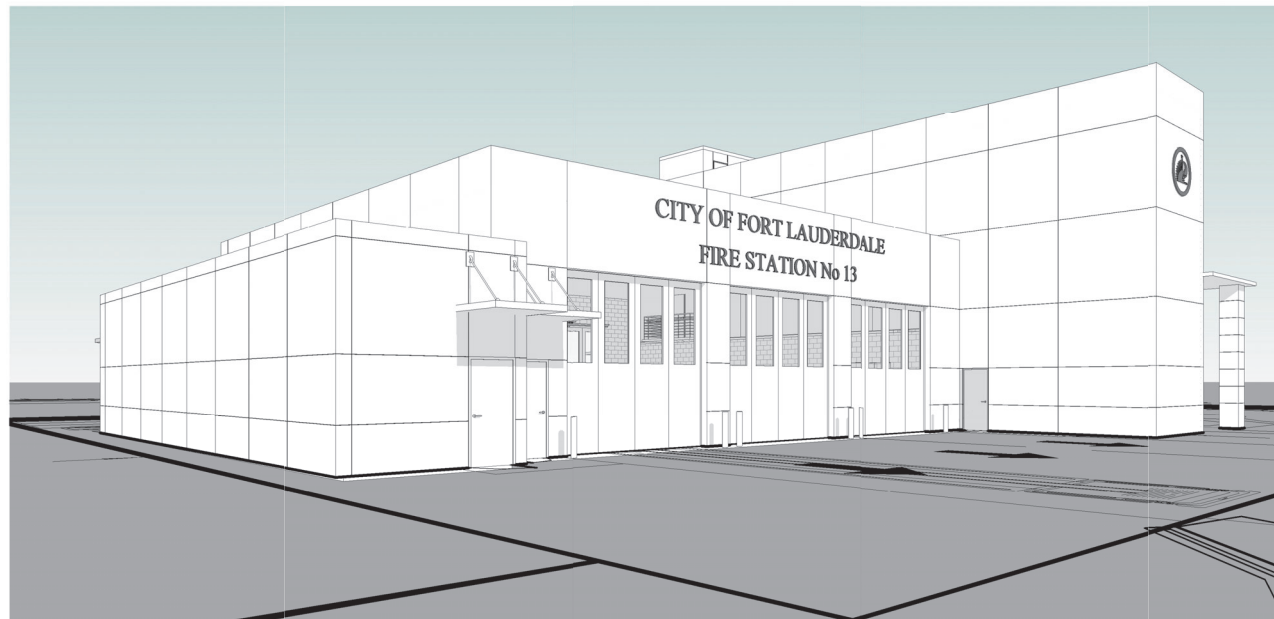
SHEET NO.	OF
<b>A-202</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.:	



2 SOUTH EAST 3D VIEW



4 NORTH EAST 3D VIEW



1 SOUTH WEST 3D VIEW



3 NORTH WEST 3D VIEW

D:\UseDoc\harrington\Revit\20-004-001 - FT LAUD FS 13 BAY 2 - ARCH R21.sungpff\03.rvt

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DATE:	1/22/2021
DRAWN BY:	
DESIGNED BY:	
CHECKED BY:	
FIELD BOOK:	

**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING & ARCHITECTURE**

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION

**NOT FOR CONSTRUCTION OR BID - SCHEMATIC**

PROJECT # P10918  
 FIRE STATION #13  
 BUILDING REPLACEMENT  
 CONCEPTUAL EXTERIOR VIEWS  
 2871 E. SUNRISE BLVD., FORT LAUDERDALE, FL

SHEET NO.	OF
<b>R-001</b>	
TOTAL:	
CAD FILE:	
DRAWING FILE NO.	

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01.22.2021	<b>BUDGET COST ESTIMATE</b>			ACAI Project Number 20-004 G01
	City of Ft. Lauderdale, Fire Station 13 - Project 10918			
	Based on schematic floor plans 01.22.202 SCHEMATIC SITE AND FLOOR PLANS ONLY _ 3 BAY / 3 STORY			
<b>SITE Work</b>				
Demolition/Site Clearing	1	\$200,000.00	\$200,000.00	
Civil Infrastructure	1	\$1,061,250.00	\$1,061,250.00	
Landscape	1	\$88,350.00	\$88,350.00	
General	1	\$110,000.00	\$110,000.00	Mobilization/Erosion Control
Misc Site	1	\$244,000.00	\$244,000.00	Ligh Poles/Dumpsters/Electrical/Gas/Trash Cans/Flag Poles
Site Work Total			\$1,703,600.00	
<b>BUILDING</b>				
	SF	Cost /SF		
<b>Building -1st Floor</b>				
Apparatus Bay& Support	4,713	\$265.00	\$1,248,945.00	
Operation	3,543	\$350.00	\$1,240,050.00	
<b>Building -2nd Floor</b>				
			\$0.00	
Living	6116	\$350.00	\$2,140,600.00	
BUILDING Total			\$4,629,595.00	Permitting Fees excluded
Total SF	14,372			
<b>Total</b>			\$6,333,195.00	
Cost / SF		\$471.15		
<b>EQUIPMENT</b>				
App Bay Support			\$155,000.00	
Kitchen			\$75,000.00	
Gym			\$20,000.00	
EQUIPMENT			\$250,000.00	
FURNITURE			\$250,000.00	
<b>TOTAL</b>			\$6,833,195.00	
Contingency (10%)	0.1		\$683,319.50	
<b>Total Incl FF&amp;E</b>			\$7,516,514.50	