



BOARD OF ADJUSTMENT MEETING NOTICE:

December 21, 2020

A Public Hearing will be held before the Board of Adjustment on Wednesday, **January 13, 2021 at 6:30 P.M.**

This meeting will be held in-person and virtually to determine whether the following application should be granted. To view more information about this item, please visit: www.fortlauderdale.gov/government/BOA.

CASE:	PLN-BOA-20110002
OWNER:	VICTORIA PARK AT 12 LLC
AGENT:	COURTNEY CALLAHAN CRUSH
ADDRESS:	612 NE 12 AVE, FORT LAUDERDALE, FL 33304
LEGAL DESCRIPTION:	PROGRESSO 2-18 D LOTS 29,30,31,32,33,34,35,36,37 & 38 BLK 306, LESS UNITS 612-622, 626-636, 640-646 AKA: COMMON AREA VICTORIA PARK AT 12
ZONING:	RMM-25
COMMISSION DISTRICT:	2
REQUESTING:	<u>Sec. 47-19.2. Z.1 - Roof mounted structures</u>

- Requesting a variance to allow the existing parapet screening which is +/- three(3) feet, to serve as adequate mechanical equipment screening in lieu of the requirements of sections 47-19.2.Z.1 and 47-25.3.A.3.b.iii of the ULDR, which requires that the rooftop mechanical equipment screening be at least six(6) inches high above the top most surface of the roof mounted structure, for a total variance of a maximum of two(2) feet four(4) inches.

To Attend In-Person:

City of Fort Lauderdale, City Hall Commission Chambers, 100 N. Andrews Avenue, Fort Lauderdale, FL 33301

To Attend Virtually:

Visit: www.fortlauderdale.gov/FLTV to watch and listen to the meeting

Visit: <https://www.fortlauderdale.gov/government/BOA> to sign up to speak. Should you desire to speak on this item, please fill out the speaker form available at the link on the City's website.

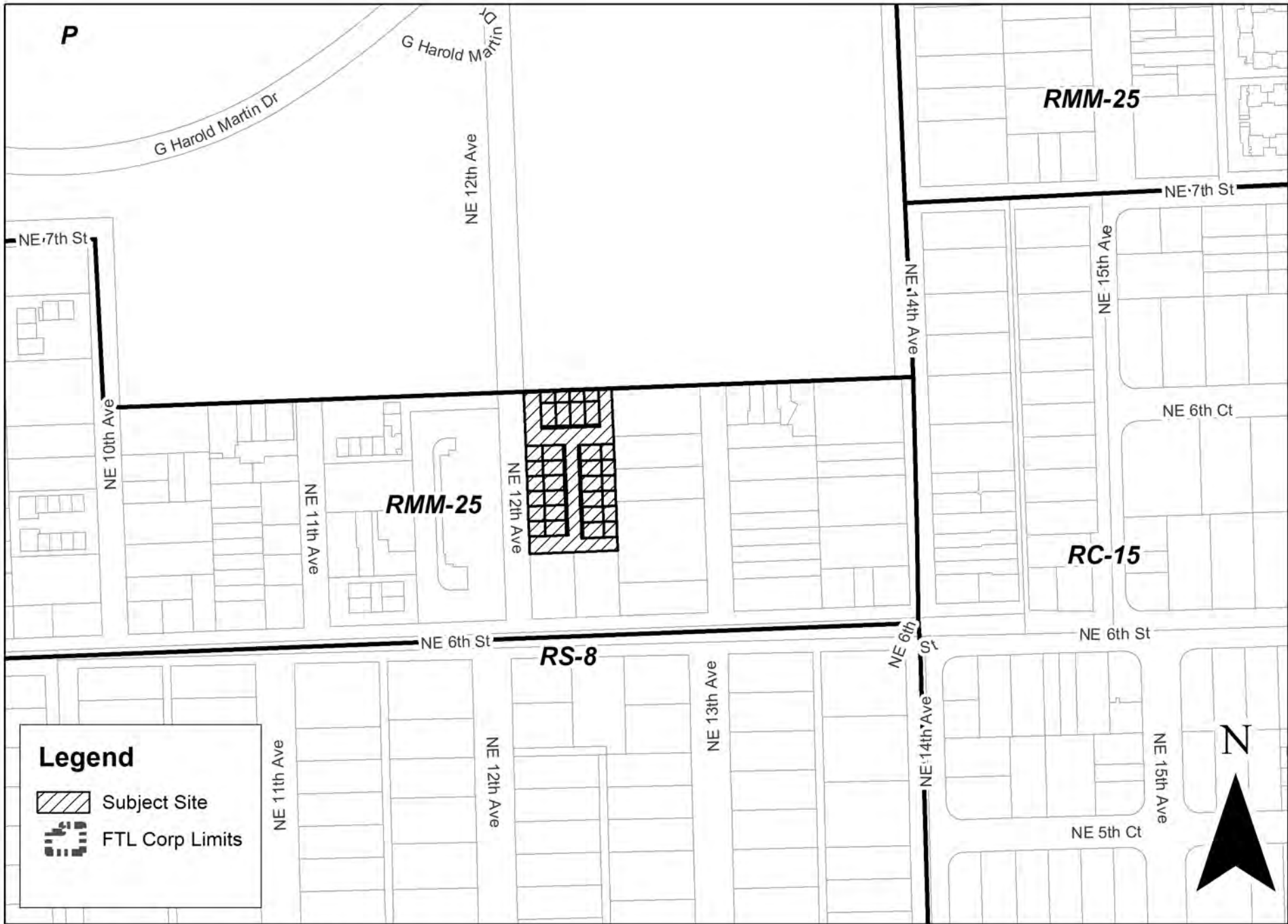
If you have any questions, please feel free to contact me directly at 954-828-6342.

**MOHAMMED MALIK
ZONING ADMINISTRATOR**

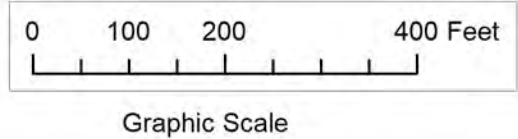
Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.





PLN-BOA-20110002





CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENTS MEETING

DATE: JANUARY 13, 2021

TIME: 6:30 PM

CASE: PLN-BOA-20110002

REQUESTING: Sec. 47-19.2. Z.1 - Roof mounted structures

Requesting a variance to allow the existing parapet screening which is +/- three (3) feet, to serve as adequate mechanical equipment screening in lieu of the requirements of sections 47-19.2.Z.1 and 47-25.3.A.3.b.iii of the ULDR, which requires that the rooftop mechanical equipment screening be at least six (6) inches high above the top most surface of the roof mounted structure, for a total variance of a maximum of two(2) feet four(4) inches.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 N ANDREWS AVENUE

CONTACT: 954-828-6506

You Can Still Attend The Meeting Virtually:

Visit www.fortlauderdale.gov/fltv to watch and listen to the meeting.

Visit <https://www.fortlauderdale.gov/government/BOA> to sign up to speak.

This Notice is the property of the City of Fort Lauderdale. In accordance with City Code Section 16-29, It shall be unlawful for any person to injure, cut, break or destroy in any manner any building or other thing belonging to or under the control of the City. Persons marring or removing the Notice may be subject to fine and/or imprisonment.

In accordance with City Code Section 47-27.2A. H The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearing by another body. The sign information shall be changed as provided in subsection A.3.a



Page 4: Sign Notification Requirements and Affidavit

SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec. 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. PLN-BOA-20110002

APPLICANT: Victoria Park at 12 LLC

PROPERTY: NE 12 Avenue - 4942 34 07 3650

PUBLIC HEARING DATE: January 13, 2021

BEFORE ME, the undersigned authority, personally appeared Jason S. Crush, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale Board or Commission Case.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the Board or Commission.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the Board or Commission. Should the application be continued, deferred or re-heard, the sign shall be amended to reflect the new dates.
5. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Development **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULD, I will forfeit my sign deposit. _____ (Initial here)

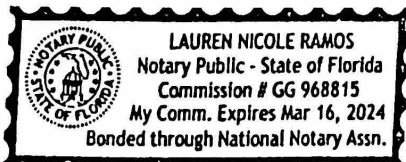
Affiant

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 4 day of January, 2021

(SEAL)

NOTARY PUBLIC

MY COMMISSION EXPIRES: March 16, 2024



CITY OF FORT LAUDERDALE
PUBLIC NOTICE

BOARD OF ADJUSTMENTS MEETING
DATE: JANUARY 13, 2021 TIME: 6:30 PM CASE: PLN-BOA-20110002

REQUESTING: Sec. 47-19.2.2.1 - Roof mounted structures

Requesting a variance to allow the existing parapet screening which is +/- three (3) feet, to serve as adequate mechanical equipment screening in lieu of the requirements of sections 47-19.2.2.1 and 47-25.3.A.3.b.ii) of the UDD, which requires that the rooftop mechanical equipment screening be at least six (6) inches high above the top most surface of the roof mounted structure, for a total variance of a maximum of two(2) feet four(4) inches.

LOCATION: CITY COMMISSION CHAMBERS
CITY HALL, 100 W. ANDREWS AVENUE
CONTACT: 784.838.4034

You Can Still Attend the Meeting Virtually!
Please visit www.fortlauderdale.gov to which you will be able to sign up to speak.

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Sec. 47-19.2.Z.1 - Accessory buildings, structures and equipment, general.

Roof mounted structures.

Roof mounted structures such as air conditioners and satellite dish antennae shall be required to be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structure. Vent pipes, skylights, cupolas, solar collectors and chimneys shall not be subject to this provision.

Record #	Description	Application Name	Record Type	Balance	Planner	Street #	Dir	Street Name	Type	Opened Date	Status
PLN-BOA-20110002		Victoria Park at 12	Z- Board of Adjustment (BOA)	50		612	NE	12 AVE		11/6/2020	Open
ELE-30TEMP-20050031	30 DAYS TEMP POWER	Victoria Park at 12	Electrical 30 Day Temp For Test	0		612	NE	12 AVE		5/18/2020	Complete
PLB-RES-20020123	DOMESTIC WATER METER 1" NEW ROOF		Plumbing Residential Permit	0		612	NE	12 AVE		2/13/2020	Complete
	NEW TOWNHOUSE 3 BED 3.5 BATH 3 STORY 2 CAR GARAGE ~ ~7/24/18-OUT FOR COORECTIONS ~ ~8/3/2018 RECHECK-L,F,FLOOD,M ~ ~8/21/2018 RECHECK-FLOOD,L,M ~ ~3/5/19 REV2 B FLOOD #0	NEW TOWNHOUSE 3 BED 3.5 BATH 3 STORY 2 CAR GARAGE	Re-Roof Permit	0		612	NE	12 AVE		12/19/2019	Complete
BLD-ROOF-19120136	~03/26/19 B200 SHOP DRAWINGS L/S ELITE PROEPRTY RESEARCH -1- CASE FOUND, CE18042023										
CE19012101		VICTORIA PARK AT 12 LLC	Code Case	0		612	NE	12 AVE		1/29/2019	Closed
VIO-CE19012101_1		VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0		612	NE	12 AVE		1/29/2019	Closed
VIO-CE18121495_1		VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0		612	NE	12 AVE		12/19/2018	Closed
	NEIGHBOR REPORTS CONTRACTOR WORKING BEFORE 10 AM, ON SUNDAYS. STATES THEY ARE ALSO STARTING TOO, EARLY DURING THE WEEK AS WELL. HE HAS VIDEO THAT, IS TIME STAMPED AND DATED SHOWING THE WORK BEING, DONE BEFORE HOURS. STATES HIS NEIGHBORS HAVE, REPORTED IT MANY TIMES TOO BUT NOTHING HAS, CHANGED. IT IS THE TOWN-HOMES THAT ARE BEING BUILT, ON THE STREET THAT DEAD ENDS INTO HOLIDAY PARK.										
CE18121495	L/S ELITE PROPERTY RESEARCH -1- CASE FOUND, CE18042023	VICTORIA PARK AT 12 LLC	Code Case	0		612	NE	12 AVE		12/19/2018	Closed
CE18110361		VICTORIA PARK AT 12 LLC	Code Case	0		612	NE	12 AVE		11/7/2018	Closed
VIO-CE18110361_1		VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0		612	NE	12 AVE		11/7/2018	Closed
	GENERAL LANDSCAPING BP 17120438	17120438	Landscape Installation Permit	0		612	NE	12 AVE		8/23/2018	Complete
PM-18082262		FIRE SPRINKLER FOR BP 17120438	Sprinkler System Aboveground	0		612	NE	12 AVE		8/3/2018	Complete
PM-18080308	FIRE SPRINKLER FOR BP 17120438 INSTALLATION OF FENCE NOT ACCORDING TO CODE --, GOOD SIDE FACING PROPERTY, INSTALLATION OF FENCE NOT ACCORDING TO CODE --, GOOD SIDE FACING PROPERTY	VICTORIA PARK AT 12 LLC	Code Case	0	Paulette Pr	612	NE	12 AVE		4/27/2018	Closed
CE18042023	INSTALLATION OF FENCE NOT ACCORDING TO CODE --	VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0		612	NE	12 AVE		4/27/2018	Closed
VIO-CE18042023_1		VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0		612	NE	12 AVE		4/11/2018	Closed
VIO-CE18040908_1		VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0		612	NE	12 AVE		4/11/2018	Closed
CE18040908	L/S ELITE PROPERTY -1- CASE FOUND., CE18030469	VICTORIA PARK AT 12 LLC	Code Case	0		612	NE	12 AVE		4/11/2018	Closed

	NEIGHBOR COMPLAINT REGARDING THE NOISE ON THE, WEEKENDS AND AS EARLY AS 6:15AM. SHE HAS BEEN, RECEIVING TEXTS MESSAGES FROM FELLOW RESIDENCES., SHE HAS CHOOSE TO REMAIN ANNOYMOUS. THIS HAS BEEN, OCCURRING FOR A COUPLE OF WEEKS NOW. THE NORMAL FOR, THEM IS TO START AT 7:00AM OR A FEW MINUTES, BEFORE.	VICTORIA PARK AT 12 LLC	Building Code Case	0	612 NE	12 AVE	3/6/2018 Closed
CE18030469 VIO-CE18030469_1		VICTORIA PARK AT 12 LLC	Violation-BLD Hearing	0	612 NE	12 AVE	3/6/2018 Closed
	NEW TOWNHOUSE 3 BED 3.5 BATH 3 STORY 2 CAR GARAGE ~ ~7/24/18-OUT FOR COORECTIONS ~ ~8/3/2018 RECHECK-L,F,FLOOD,M ~ ~8/21/2018 RECHECK-FLOOD,L,M ~						
PM-17120438	~3/5/19 REV2 B FLOOD #0	NEW TOWNHOUSE 3 BED 3.5 BATH 3 STORY 2 CAR GARAGE	Residential New Construction Permit	0	612 NE	12 AVE	12/6/2017 Issued
PM-17120511	~03/26/19 B200 SHOP DRAWINGS	ELECTRICAL BP 17120438	Electrical Commercial Permit	0	612 NE	12 AVE	12/6/2017 Complete
PM-17120513	PLUMBING BP 17120438	PLUMBING BP 17120438	Plumbing Commercial Permit	0	612 NE	12 AVE	12/6/2017 Complete
			Mechanical HVAC New Install				
PM-17120516	MECHANICAL BP 17120438	MECHANICAL BP 17120438	Permit	0	612 NE	12 AVE	12/6/2017 Complete
VIO-CE17040503_1 CE17040503	L/S ELITE PROPERTY	VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0	612 NE	12 AVE	4/6/2017 Closed
		VICTORIA PARK AT 12 LLC	Code Case	0	612 NE	12 AVE	4/6/2017 Closed
			Site Prep and Erosion Control				
PM-16101601	GMIT BP 16021730	GMIT BP 16021730	Permit	0	612 NE	12 AVE	10/24/2016 Complete
PM-16082215	SEWER CAP	SEWER CAP	Plumbing Sewer Cap Permit	0	612 NE	12 AVE	8/24/2016 Complete
VIO-CE16070031_1	AT THE TIME OF MY INSPECTION I OBSERVED A SWIMMING	VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0	612 NE	12 AVE	6/28/2016 Closed
	AT THE TIME OF MY INSPECTION I OBSERVED A SWIMMING, POOL IN THE REAR OF THIS VACANT PROPERTY WITH, GREEN STAGNANT WATER IN IT., , I POSTED A PUBLIC NUISANCE NOTICE ON THE FRONT, DOOR OF THE PROPERTY., , WILL TURN IN A PRINT FOR REQUEST TO THE ADMIN, STAFF FOR A SWIMMING POOL VIOLATION NOTICE TO BE, MAILED TO THE PROPERTY OWNER LISTED ON BCPA., , 10 DAYS GIVEN TO COMPLY., , PICTURES ATTACHED., , AT THE TIME OF MY INSPECTION I OBSERVED A SWIMMING, POOL IN THE REAR OF THIS VACANT PROPERTY WITH, GREEN STAGNANT WATER IN IT., I POSTED A PUBLIC NUISANCE NOTICE ON THE FRONT, DOOR OF THE PROPERTY., , WILL TURN IN A PRINT FOR REQUEST TO THE ADMIN, STAFF FOR A SWIMMING POOL VIOLATION NOTICE TO BE, MAILED TO THE PROPERTY OWNER LISTED ON BCPA., , 10 DAYS GIVEN TO COMPLY., , PICTURES ATTACHED.						
CE16070031		VICTORIA PARK AT 12 LLC	Code Case	0	612 NE	12 AVE	6/28/2016 Closed

CE16070032	AT THE TIME OF MY DISCOVERY/INSPECTION I OBSERVED, OVERGROWTH, TRASH AND DEBRIS AT THIS VACANT, PROPERTY., , I ALSO OBSERVED A FENCE IN DISREPAIR., , A INSPECTION REPORT WAS POSTED ON THE PROPERTY., , 10 DAYS GIVEN FOR THE OTD., , 30 DAYS GIVEN FOR THE FENCE., , PICTURES ATTACHED., , NOTE: ORIGINALLY WENT OUT TO THE PROPERTY FOR A, COMPLAINT REGARDING A SWIMMING POOL VIOLATION, (CE16070031).	VICTORIA PARK AT 12 LLC	Code Case	0	612 NE	12 AVE	6/1/2016 Closed
VIO-CE16070032_1	AT THE TIME OF MY DISCOVERY/INSPECTION I OBSERVED	VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0	612 NE	12 AVE	6/1/2016 Closed
VIO-CE16070032_2	AT THE TIME OF MY DISCOVERY/INSPECTION I OBSERVED DEMO SFR/1416 SF FOR BP14082416 ~ ~	VICTORIA PARK AT 12 LLC	Violation-CODE Hearing	0	612 NE	12 AVE	6/1/2016 Closed
PM-16021730	~R- OUT FOR CORR 3/28/16 ~R-RECHECK 9/2/16 B,G,M,P ~R-RECHECK 9/30/16 B,M,G REALTOR SIGN - 4 X 4 PN SWALE AND BLOCKING SIGHT, VIEW, REALTOR SIGN - 4 X 4 PN SWALE	DEMO SFR/1416 SF FOR BP14082416	Residential Demolition Permit	0	612 NE	12 AVE	2/19/2016 Complete
CE15110675	AND BLOCKING SIGHT, VIEW	612 NE 12TH AVENUE LLC	Code Case	0	612 NE	12 AVE	11/10/2015 Closed
VIO-CE15110675_1	REALTOR SIGN - 4 X 4 PN SWALE AND BLOCKING SIGHT	612 NE 12TH AVENUE LLC	Violation-CODE Hearing	0	612 NE	12 AVE	11/10/2015 Closed
PL-76R13	R1 -	VICTORIA PARK AT 12 TOWNHOUSES - 16 TOWNHOUSE UNITS	DRC- Site Plan (Level II, III, IV)/Planned Development District Resident/Business Alarm	0	612 NE	12 AVE	10/24/2013 Closed
AB-0079263		GAIOTTO ADECIO JR	Registration	695	612 NE	12 AVE	3/28/2013 Possible Duplicate
PM-04091483	REPAIR METER & RISER	REPAIR METER & RISER	Electrical Residential Permit	0	612 NE	12 AVE	9/23/2004 Complete



SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING BOARD OF ADJUSTMENT (BOA) APPLICATION

Rev: 2 | Revision Date: 10/2/2020 | Print Date: 10/2/2020
I.D. Number: Z&L-BOA

BOARD OF ADJUSTMENT (BOA) Application

Cover:	Deadline, Notes, and Fees
Page 1:	Applicant Information Sheet
Page 2:	Variance Request Criteria
Page 3:	Required Documentation & Mail Notice Requirements
Page 4:	Sign Notice Requirements & Affidavit
Page 5:	Technical Specifications

DEADLINE: Submittals must be received prior to 4:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if plans do not meet the submittal requirements and if changes are required.

NOTES: Prior to formal submittal of applications, applicants are encouraged to schedule an appointment with Urban Design & Planning Division staff to obtain feedback regarding proposals. The meetings provide an opportunity for applicants to obtain feedback and general direction, prior to expending significant effort on preparation of submittal documents.

FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

- Variance/Special Exception/Interpretation: Before \$2,200
- Variance/Special Exception/Interpretation: After \$2800
- Parking Variance (per space) \$2600
- Variance/Special Exception/Interpretation Before- Residential Homesteaded Only- Accessory Structures & Existing Non-Conforming Structures \$650
- Variance/Special Exception/Interpretation After- Residential Homesteaded Only- Accessory Structures & Existing Non-Conforming Structures \$850
- Request for Continuance \$900
- Rehearing before the Board \$1150
- Request for Rehearing \$300

Page 1: BOA - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Victoria Park at 12 LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner
Address, City, State, Zip	2645 NE 207 St, Aventura, FL 33180
E-mail Address	CCrush@CrushLaw.com
Phone Number	9545222010
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Crush Law, P.A. - Courtney Callahan Crush
Applicant / Agent's Signature	<i>Courtney Callahan Crush</i>
Address, City, State, Zip	400 SE 12th Street, Building C, Fort Lauderdale, FL 33316
E-mail Address	CCrush@Crushlaw.com
Phone Number	9545222010
Letter of Consent Submitted	YES

Development / Project Name	Victoria Park at 12
Existing / New	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
Project Address	Address: Not Provided by BCPA
Legal Description	PROGRESSO 2-18 D LOTS 29,30,31,32,33,34,35,36,37 & 38 BLK 306, LESS UNITS 612-622, 626-636, 640-646 AKA.COMMON AREA VICTORIA PARK AT 12
Tax ID Folio Numbers (For all parcels in development)	4942 34 07 3650
Request / Description of Project	Variance request for relief from ULDR Section 47-19.2.Z.1
Applicable ULDR Sections	Section 47-19.2.Z.1

Current Land Use Designation	Medium-High Residential
Current Zoning Designation	RMM-25
Current Use of Property	Construction Site
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front <input type="checkbox"/>	N/A Existing	N/A Existing
Side <input type="checkbox"/>	N/A Existing	N/A Existing
Side <input type="checkbox"/>	N/A Existing	N/A Existing
Rear <input type="checkbox"/>	N/A Existing	N/A Existing

Page 2: Board of Adjustment (BOA) Criteria for Variance Request

This page must be filled in. An attached narrative may be included if additional space is required.

SPECIFIC REQUEST: State the specific request according to the ULDR or other provisions of the Code.
Variance request for relief from ULDR Section 47-19.2.2.1.

CRITERIA: Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12.A.4,

- a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and
See attached narrative.
- b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and
See attached narrative.
- c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and
See attached narrative.
- d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and
See attached narrative.
- e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.
See attached narrative.

AFFIDAVIT: I, Courtney Callahan Crush the Owner/Agent of said property ATTEST that I am aware of the following:

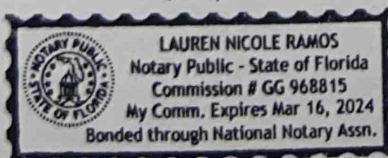
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

Courtney Callahan Crush

(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 6 day of November, 2020

(SEAL)



NOTARY PUBLIC
MY COMMISSION EXPIRES:



Site Address	NE 12 AVENUE, FORT LAUDERDALE FL 33304	ID #	4942 34 07 3650
Property Owner	VICTORIA PARK AT 12 LLC	Millage	0312
Mailing Address	2645 NE 207 ST AVENTURA FL 33180	Use	00
Abbr Legal Description	PROGRESSO 2-18 D LOTS 29,30,31,32,33,34,35,36,37 & 38 BLK 306, LESS UNITS 612-622 , 626-636, 640-646 AKA:COMMON AREA VICTORIA PARK AT 12		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

* 2021 values are considered "working values" and are subject to change.

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021	\$847,280		\$847,280	\$317,540	
2020	\$847,280		\$847,280	\$288,680	\$9,603.01
2019	\$1,370,690		\$1,370,690	\$459,280	\$14,677.85

2021 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$847,280	\$847,280	\$847,280	\$847,280
Portability	0	0	0	0
Assessed/SOH	\$317,540	\$847,280	\$317,540	\$317,540
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$317,540	\$847,280	\$317,540	\$317,540

Sales History			
Date	Type	Price	Book/Page or CIN
8/22/2013	WD-Q	\$395,000	111791245
8/10/2012	WD-Q	\$310,000	49001 / 136
7/27/2007	QCD-T	\$100	44473 / 1477
12/26/2002	WD*	\$100	34314 / 898
4/21/1997	WD	\$145,000	26358 / 15

Land Calculations		
Price	Factor	Type
\$68.75	12,324	SF
Adj. Bldg. S.F.		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F2		
L								
1						12324		



**NARRATIVE
Variance Request
612-624 NE 12th Avenue
Fort Lauderdale, FL**

Background:

Victoria Park at 12 is a constructed sixteen townhome community located at located at 612-624 NE 12th Avenue. The property owner seeks a variance to Section 47-19.2.Z.1 of the ULDR to allow the constructed and City of Fort Lauderdale (“City”) approved rooftop mechanical equipment to remain screened only as may be visible from grade-level views.

Victoria Park at 12 is comprised of three-story townhomes with rooftop parapet walls around the perimeter of the building. The townhomes were approved by the City’s Development Review Committee (“DRC”) and construction plans permitted by the City Building Department. The Project has been constructed to include the location of the rooftop mechanical equipment and the parapets in conformance with the approval issued by the City and reviewed by the City first at its DRC meeting on November 12, 2013.

Code Provision:

Specifically, Section 47-19.2.Z.1 provides:

1. *Roof mounted structures such as air conditioners and satellite dish antennae shall be required to be screened with material that matches the material used for the principal structure and shall be at least six (6) inches high above the top most surface of the roof mounted structure. Vent pipes, skylights, cupolas, solar collectors and chimneys shall not be subject to this provision.*

Variance Criteria:

4. Criteria—Variance. A variance from the terms of the ULDR shall be granted only upon demonstrating a unique hardship attributable to the land by proving by a preponderance of the evidence all of the following criteria:

- a. *That special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and*

Response: The purpose of Sections 47-19.2.Z.1 in the ULDR is to mitigate the visibility of rooftop mechanical equipment. Here, visual impact of the rooftop mechanical equipment was evaluated at DRC and strategically placed in the center of the roof along and intentionally screened by the perimeter parapet wall. The DRC, Final DRC, numerous permit inspections, and construction of the entire project with the approved rooftop mechanical equipment and 37’-1” parapet.

- b. *That the circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they*



clearly constitute marked exceptions to other properties in the same zoning district; and

Response: Victoria Park at 12 as a townhome project evaluated for appropriate screening in a multifamily zoning community, is within a small subset of properties subject to the provisions of the citywide screening requirements. Further, the construction of the parapet dimensions and placement of all rooftop equipment are based of the DRC approval. The reliance on evaluation method of the screening is peculiar to this property because the rooftop mechanical equipment and parapets were reviewed as approved until final zoning inspections were needed for Certificate of Occupancy after the Project was substantially completed.

- c. That the literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district.*

Response: In this instance, literal application of the ULDR provision would increase the mass of the townhomes. Surrounding property owners have rooftop mounted equipment in some cases partially screened and the property owner in this case is not able to enjoy the same screening application.

- d. That the unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and*

Response: This unique hardship is not self-created by the applicant, nor is it the result of mere disregard for the ULDR. Rather, the property owner diligently submitted a site plan and City staff reviewed and approved the application which expressly called out the location and proposed screening method. This is not a case where the city accidentally issued a building permit, rather, this Project was fully vetted and approved as compliant prior to construction.

- e. That the variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.*

Response: The variance is the minimum variance that will make possible a reasonable use of the property. The variance will be in harmony with the general purpose and intent of the ULDR, as the purpose of the code sections are to shield mechanical equipment from pedestrian view and in this case, the parapets shield the mechanical equipment and the top of the equipment can only be seen at discrete locations from the property.

PROPERTY DETAILS

Folio	494234073650
Parcel ID	9234073650
Address	612 NE 12 AVE, FORT LAUDERDALE, FL 33304
Owner(s)	VICTORIA PARK AT 12 LLC
Property Description	PROGRESSO 2-18 D LOTS 29,30,31,32,33,34,35,36,37 & 38 BLK 306, LESS UNITS 612-622 , 626-636, 640-646 AKA:COMMON AREA VICTORIA PARK AT 12
BCPA GIS SQFT	12324
City GIS SQFT	21567
Millage Code	0312
Detailed Use	00 - Residential - Vacant Residential
Year Built of Property	
Number of Buildings	0
Bed Count	3
Bath Count	2
Number of Units	0
Building Adjusted SQFT	0
Building Total SQFT	0

PLANNING AND COMMUNITY DEVELOPMENT

Zoning Designation	RMM-25
Zoning Description	RMM-25 - Residential Multifamily Mid Rise/ Medium High Density
Designating Agency	Municipal
Future Land-Use Designation	MEDIUM-HIGH
Flex Zone	n/a
FAA Height Restriction FT.	200
FAA Facility	ft laud-airport
FEMA Flood Zone	0.2 PCT Annual Chance Flood Hazard;AH
Base Flood Elevation	7;N/A
FEMA Panel	12011C0369H

SERVICE DELIVERY

Assigned Fire Station	2
Trash Pick-Up Provider	Republic Services
Trash Pick-Up District	n/a
Trash Pick-Up Schedule	Weekly
Trash Pick-Up Day	Wednesday & Saturday
Recycling Provider	Coastal Waste & Recycling
Recycling Schedule	Weekly
Recycling Day	Wednesday

Bulk Trash Provider	City of Fort Lauderdale
Bulk Trash Schedule	Monthly
Bulk Trash Day	2nd Thursday
Yard waste Pick-Up Provider	Republic Services
Yard waste Pick-Up District	n/a
Yard waste Pick-Up Schedule	Weekly
Yard waste Pick-Up Day	Wednesday
Area Crew	61-56
Sewer Crew	82-56

ADMINISTRATIVE/REGULATORY

Neighborhood	Victoria Park Civic Association
Code Compliance Area	72
Code Compliance Area Name	Victoria Park Civic Association
Code Compliance Officer	Paulette DelGrosso #295
Vacation Rental Area Code Officer	Patrice Jolly #140
Code Compliance Senior Officer	Linda Holloway #286
City Commission District	2
City Commissioner	Steven Glassman
County Commission District	7
County Commissioner	Timothy M. Ryan
School Board District	3
School Board Rep	Heather Brinkworth
Assigned Elem. School	North Side/Harbordale Elementary
School Website	
Assigned Middle School	Sunrise Middle
School Website	https://sunrise.browardschools.com/
Assigned High School	Fort Lauderdale High
School Website	https://fortlauderdale.browardschools.com/
Police District	1
Evacuation Zone	B
Evacuation Zone Description	Typically a Category 3 or Higher Hurricane

ASSESSMENTS

Just Land Value	847280
Just Building Value	0
Just Other Value	0
Current Assessed Value	847280
Last Year's Assessed Value	847280
Assessed Value Year Over Year Change	0
Assessed Value % Change	0.00%
Save Our Home Value	317540
Last Years Save Our Home	288680

Current Taxable Value	317540
Last Years Taxable Value	288680
Taxable Value Year Over Year Change	28860
Taxable Value % Change	9.09%
City Taxable Value	317540
County Taxable Value	317540
School Taxable Value	847280
1st Homestead Amount	0
Widows Veterans Disability	0
Indendent Mixed Exemption	0

SALES HISTORY

1st Sale Date	08/22/2013
1st Sale Amount	395000
1st Deed Type	WD
2nd Sale Date	08/10/2012
2nd Sale Amount	310000
2nd Deed Type	WD
3rd Sale Date	07/27/2007
3rd Sale Amount	100
3rd Deed Type	QCD
4th Sale Date	12/26/2002
4th Sale Amount	100
4th Deed Type	WD*
5th Sale Date	04/21/1997
5th Sale Amount	145000
5th Deed Type	WD



West Elevation - 1 - 11/3/3030



West Elevation - 2 - 11/3/2020



Southwest Elevation 11/3/2020




West Elevation - 3 - 11/3/2020



South Elevation 11/3/2020

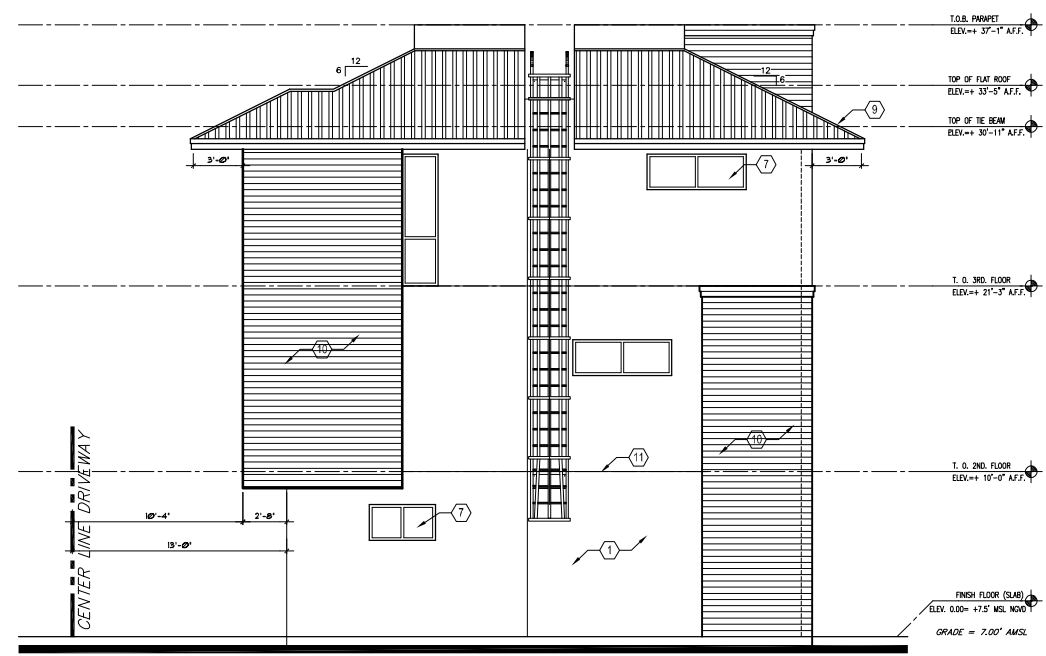
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Gustavo J. Carbonell, P.A.
Architecture and Planning
1457 NE 4th Avenue
Fort Lauderdale
Florida 33304
GUS CARBONELL, AIA
gcarbonell@gjc.com
www.guscarbonell.com
T: 954.462.6565
F: 954.527.0857



1 WEST ELEVATION BLDG. A
SCALE: 3/16" = 1'-0"



- LEGEND:**
- (1) SAND FINISH STUCCO OVER 8" C.M.U. WALL.
 - (2) STONE CLADDING
 - (3) N/A
 - (4) METAL GATES
 - (5) GARAGE DOORS
 - (6) METAL RAILING - 42" MIN. AFF
 - (7) ALUMINUM WINDOW OR DOOR
 - (8) 6" WIDE STUCCO BANDING
 - (9) STANDING SEAM METAL ROOF
 - (10) METAL SIDING CLADDING
 - (11) 2" WIDE SCORE LINE

2 NORTH ELEVATION BLDG. A
SCALE: 3/16" = 1'-0"

16 Proposed Three Story Townhouses for:
VICTORIA PARK AT 12 LLC
612 - 622 NE 12TH AVENUE BLDG. A
FT. LAUDERDALE - FL. 33304
ELEVATIONS

GUSTAVO J. CARBONELL
ARCHITECT, P.A.

FLORIDA REGISTRATION
NO. 0007957


ISSUED FOR PERMIT

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Fort Lauderdale
Florida 33304
GUS CARBONELL, AIA
gcarbonell@gjc.com
www.guscarbonell.com
T: 954.462.6565
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16 Proposed Three Story Townhouses for:
VICTORIA PARK AT 12 LLC
612 - 622 NE 12TH AVENUE BLDG. A
FT. LAUDERDALE - FL. 33304
ELEVATIONS

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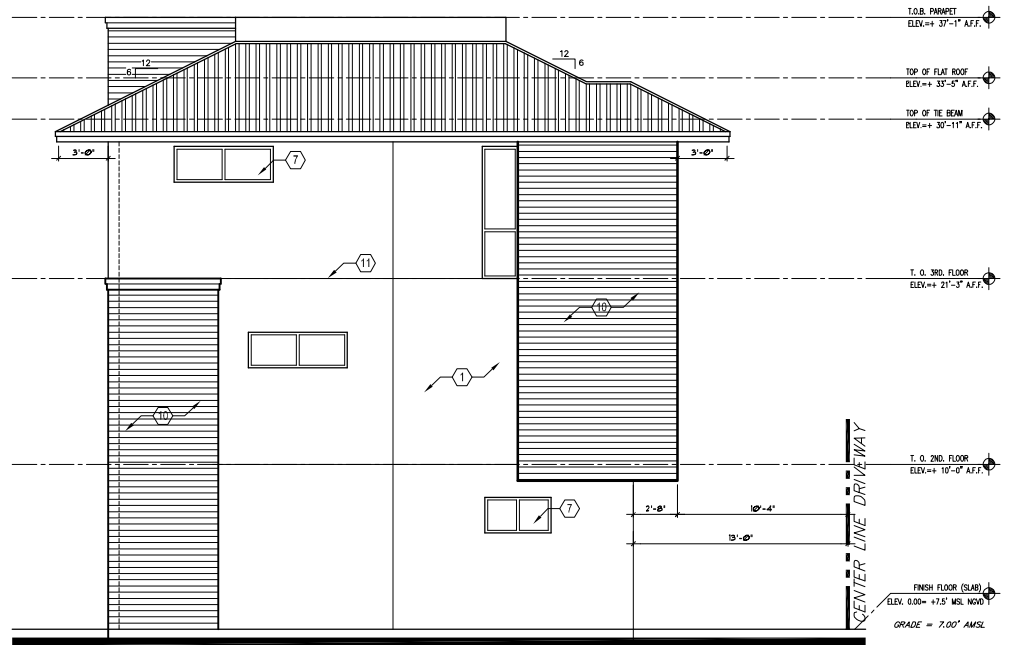
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A-6

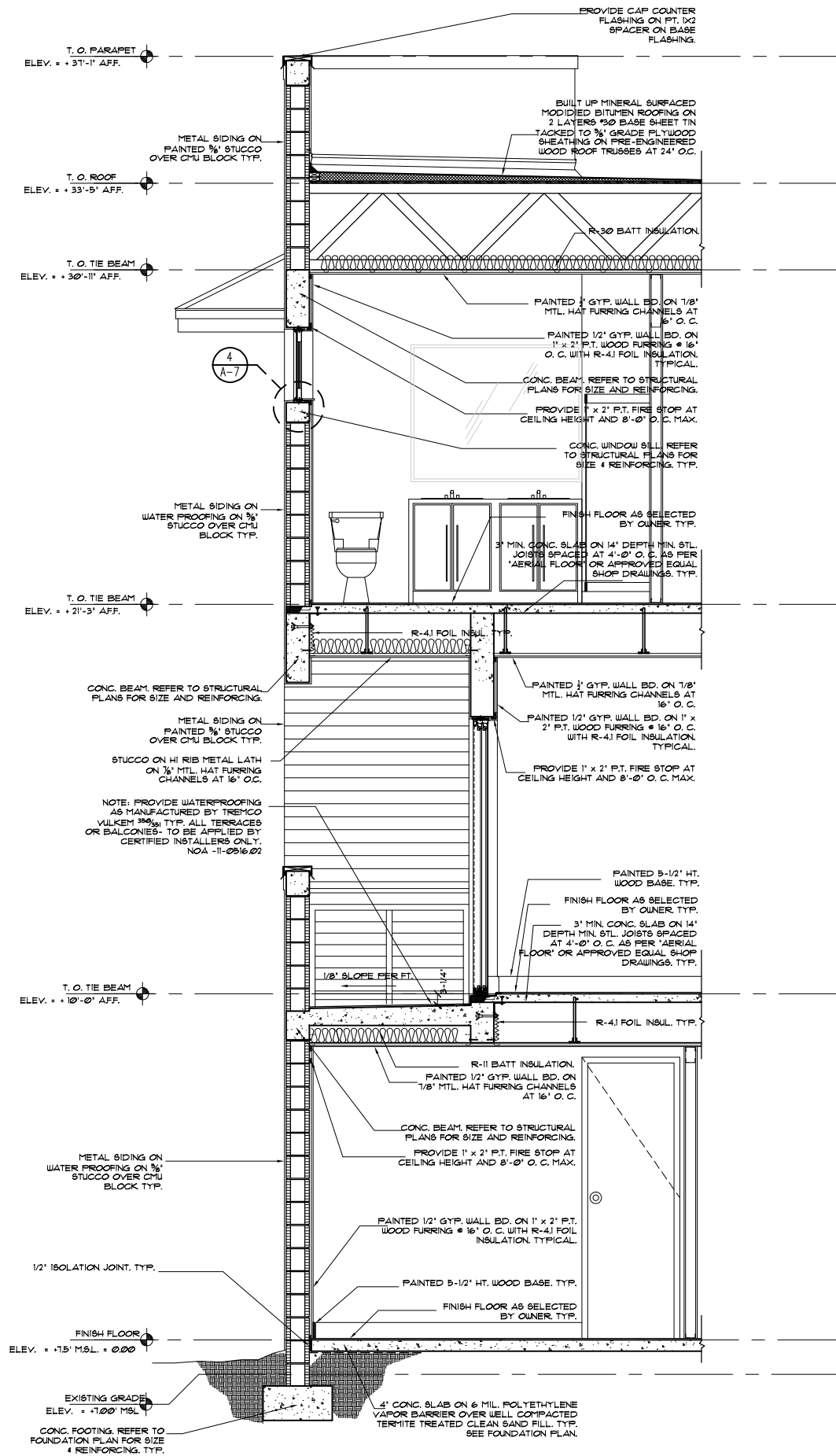


1 EAST ELEVATION BLDG. A
SCALE: 3/16" = 1'-0"



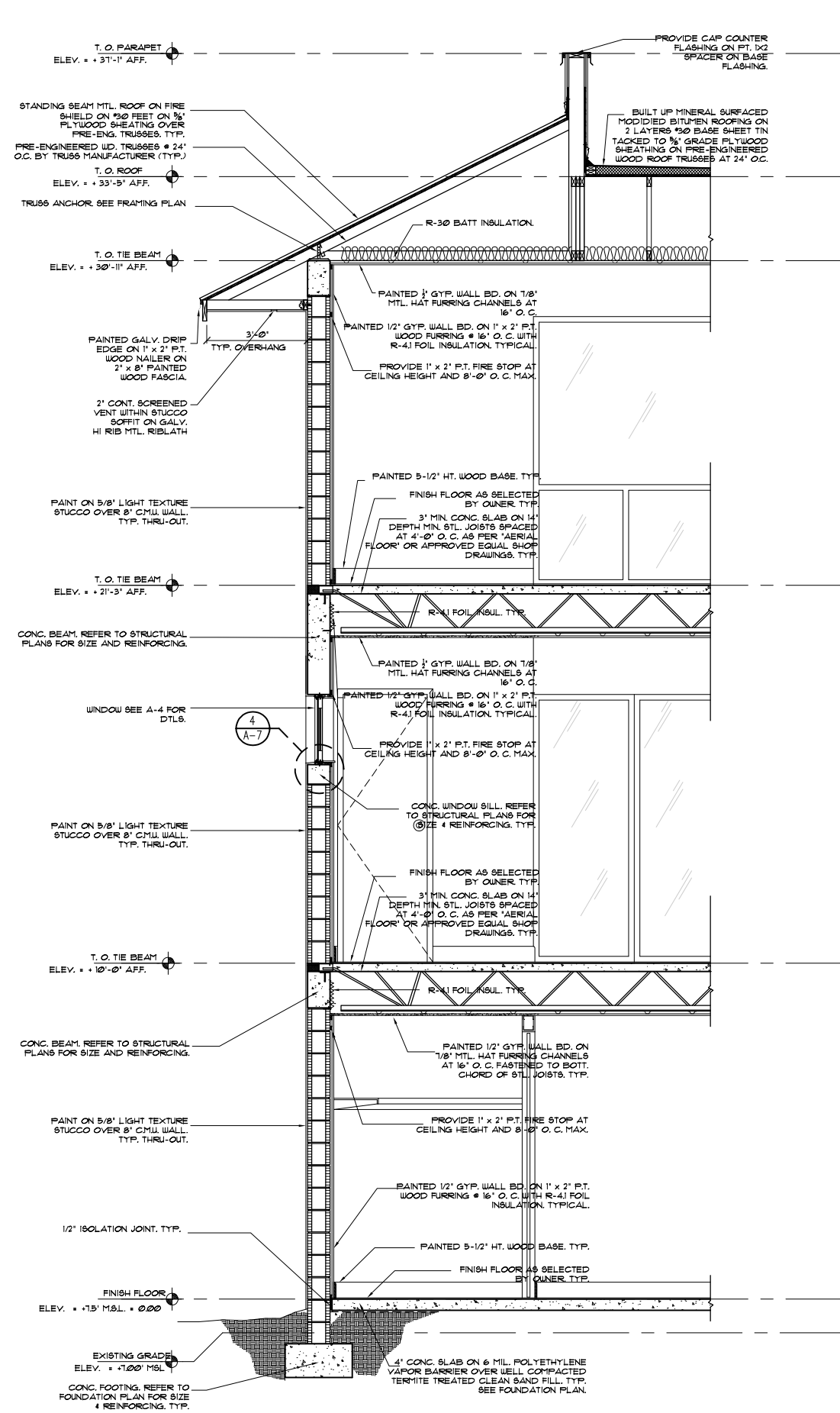
- LEGEND:**
- ① SAND FINISH STUCCO OVER 8" C.M.U. WALL.
 - ② STONE CLADDING
 - ③ N/A
 - ④ METAL GATES
 - ⑤ GARAGE DOORS
 - ⑥ METAL RAILING - 42" MIN. AFF
 - ⑦ ALUMINUM WINDOW OR DOOR
 - ⑧ 6" WIDE STUCCO BANDING
 - ⑨ STANDING SEAM METAL ROOF
 - ⑩ METAL SIDING CLADDING
 - ⑪ 2" WIDE SCORE LINE

2 SOUTH ELEVATION BLDG. A
SCALE: 3/16" = 1'-0"



1 WALL SECTION (FRONT)

SCALE: 1/2" = 1'-0"



2 WALL SECTION (FRONT)

SCALE: 1/2" = 1'-0"

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Architecture and Planning
1457 NE 4th Avenue
Fort Lauderdale
Florida 33304
GUS CARBONELL, AIA
gcarbonell@gjc.com
www.guscarbonell.com
T: 954.462.6565
F: 954.527.0857

16 Proposed Three Story Townhouses for:
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612 - 622 NE 12TH AVENUE BLDG. A
FT. LAUDERDALE - FL. 33304
WALL SECTIONS

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Architecture and Planning
1457 NE 4th Avenue
Fort Lauderdale
Florida 33304

GUS CARBONELL, AIA
gcarbonell @ gjc.com
www.guscarbonell.com
T: 954.462.6565
F: 954.527.0857

16 Proposed Three Story Townhouses for:
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612 - 624 NE 12TH AVENUE BLDG. A
FT. LAUDERDALE - FL 33304

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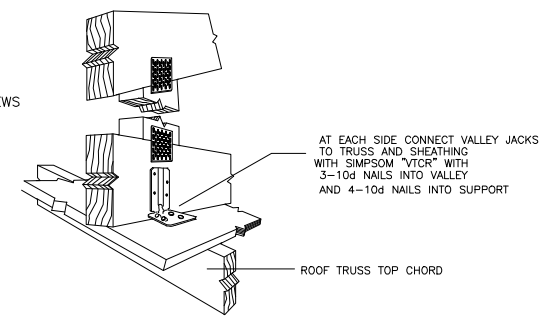
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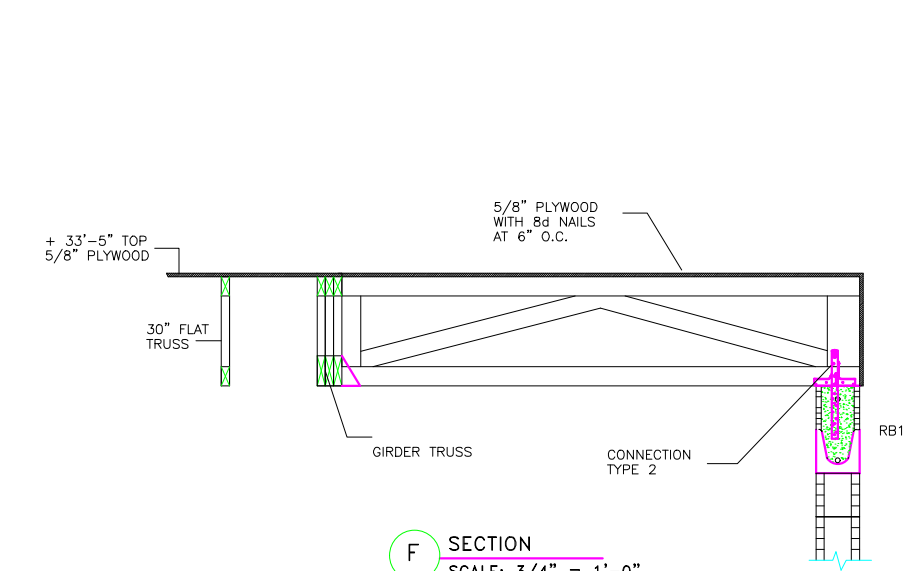
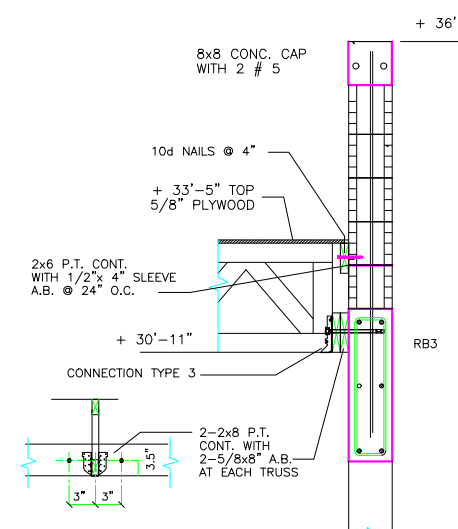
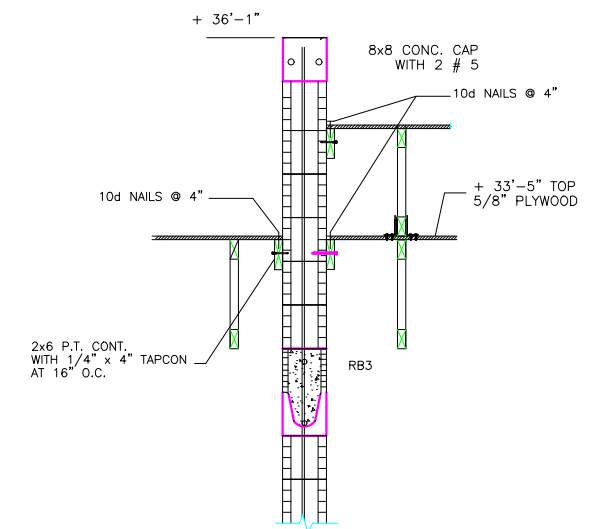
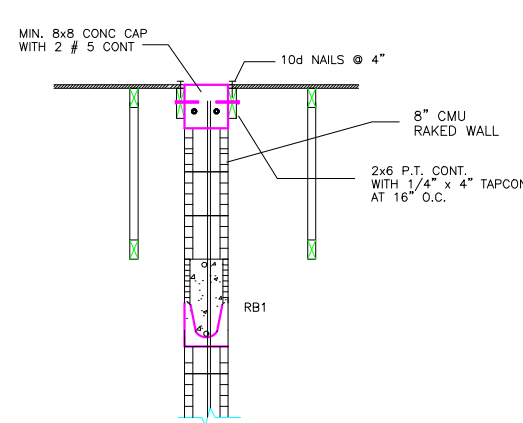
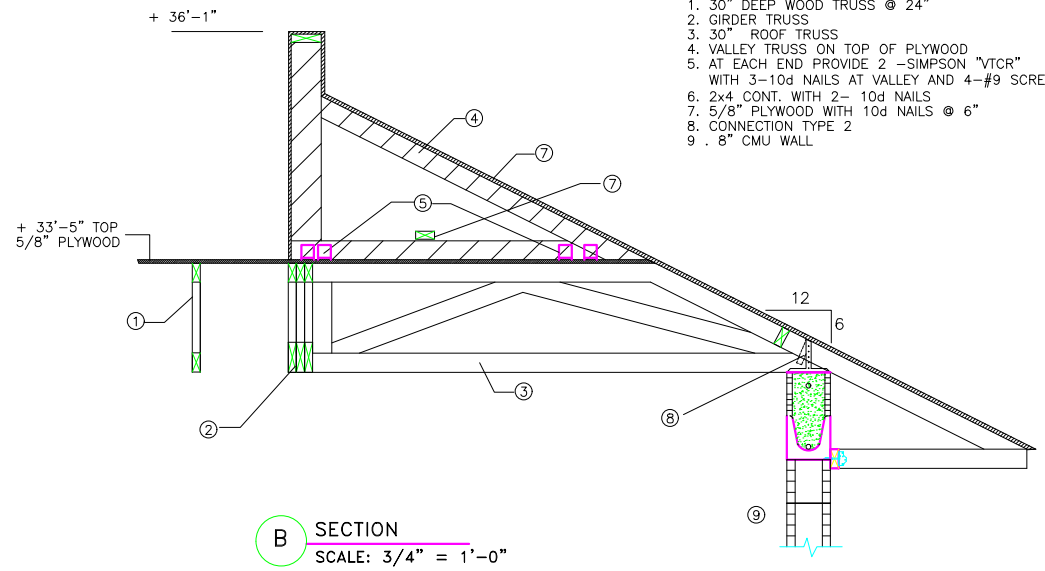
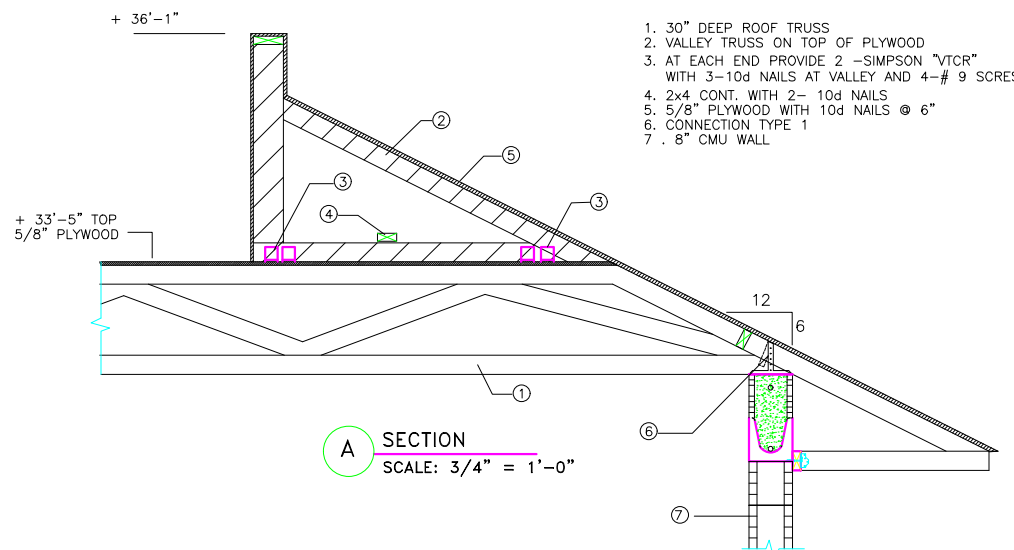
DRAWN/CK'D:
DATE ISSUED: **09.12.17**
GJC PROJECT: **13-036**

S6

1. 30" DEEP WOOD TRUSS @ 24"
2. GIRDER TRUSS
3. 30" ROOF TRUSS
4. VALLEY TRUSS ON TOP OF PLYWOOD
5. AT EACH END PROVIDE 2 - SIMPSON "VTOR" WITH 3-10d NAILS AT VALLEY AND 4-#9 SCREWS
6. 2x4 CONT. WITH 2- 10d NAILS
7. 5/8" PLYWOOD WITH 10d NAILS @ 6"
8. CONNECTION TYPE 2
9. 8" CMU WALL



CONNECTION: VALLEY TO SUPPORT



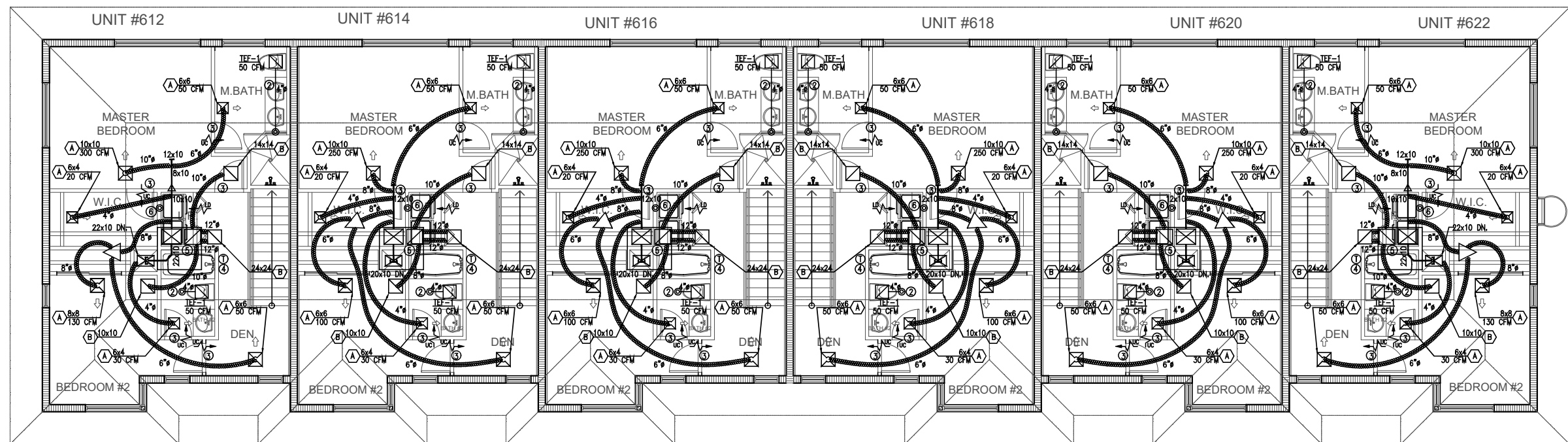
COMBINED ENGINEERING SCIENCES
CARLOS ENENAT, PE 32566
CERTIFICATE OF AUTHORIZATION No. 9108
1214 SW 12 CT.
MIAMI, FL. 33135
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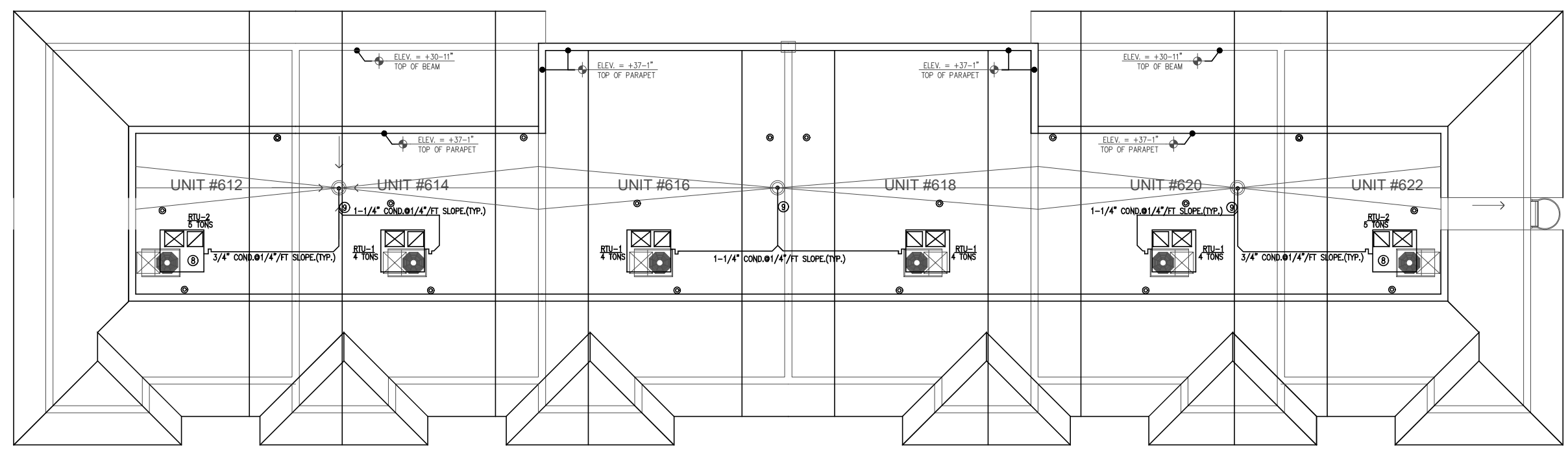
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Gustavo J. Carbonell, P.A.
Architecture and Planning
1457 NE 4th Avenue
Fort Lauderdale
Florida 33304

GUS CARBONELL, AIA
gcarbonell@gjcarc.com
www.guscarbonell.com
T: 954.452.6565
F: 954.527.0857



1 THIRD FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 ROOF PLAN
SCALE: 3/16" = 1'-0"



16 Proposed Three Story Townhouses for:
VICTORIA PARK AT 12 LLC
612 - 622 NE 12TH AVENUE BLDG. A
FT. LAUDERDALE - FL. 33304
FLOOR PLANS

GUSTAVO J. CARBONELL
ARCHITECT, P.A.
AA 26001132

FLORIDA REGISTRATION
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DATE ISSUED: **02.12.14**

GJC PROJECT: **13-036**

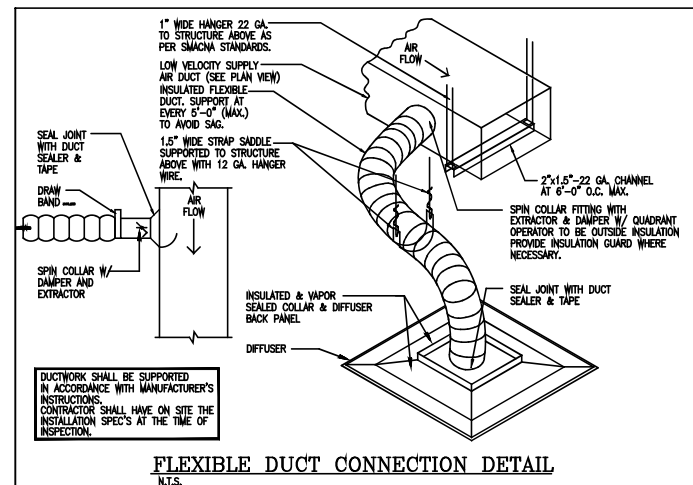
AC-2

AIR DISTRIBUTION SCHEDULE				
SYMBOL	USE	TYPE	ACCESSORIES	MFG. & MODEL NO.
(A)	SUPPLY AIR	CEILING DIFFUSER	O.B.D.	TITUS 250-AA
(B)	RETURN AIR	CEILING GRILLE	O.B.D.	TITUS 3F

NOTE: ALL AIR DISTRIBUTION SHALL BE FINISHED WHITE BAKED ENAMEL.

ROOFTOP UNITS SCHEDULE

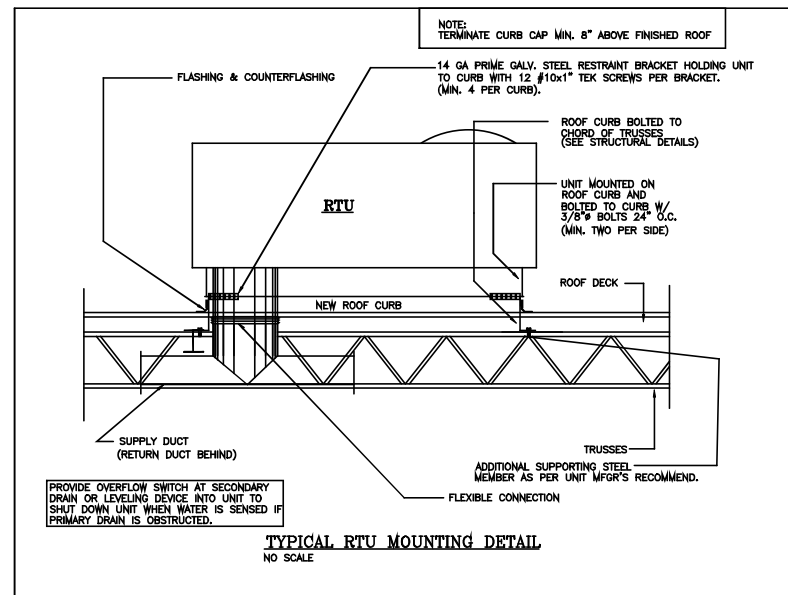
UNIT DESIGNATION	RTU-1	RTU-2	
AREA SERVED	SEE PLANS	SEE PLANS	
NOMINAL TONS	4	5	
UNIT SEER	15.0	15.0	
ELECTRICAL SERVICE AVAILABLE	230/1PH	230/1PH	
FAN SECTION	TOTAL AIR, CFM	1,600	1,800
	MOTOR HP	0.75	1.0
EVAPORATOR	ENTERING AIR TEMP. °F DB/WB	80/67	80/67
	TOTAL CAPACITY MBH	47,300	57,500
	SENSIBLE CAPACITY MBH	34,300	40,460
HEATER	TYPE	ELECTRIC	ELECTRIC
	HEATING CAPACITY BTUH	32,700	32,700
	NO. OF STAGES / KW	1 / 9.6	1 / 9.6
	TOTAL UNIT MCA/MOCP(WITH HEATER)	58 / 60	60 / 60
	OPERATING WEIGHT, LBS.	492	515
	DESIGN MANUFACTURER	RHEEM	RHEEM
	MODEL NO.	RACA15048AJ	RACA15060AJ



FLEXIBLE DUCT CONNECTION DETAIL
N.T.S.

HVAC KEY NOTES

- 4" TOILET EXHAUST DUCT TO WALL CAP WITH B.D.D. AND W.M.S.
- 4" TOILET EXHAUST DUCT UP TO ROOF JACK WITH B.D.D. AND W.M.S.
- 1" UNDERCUT DOOR.
- PROGRAMMABLE THERMOSTAT
- FULL SIZE SUPPLY AND RETURN AIR DUCT UP TO RTU ON ROOF OFFSET TO CLEAR TRUSSES
- 4" DRYER EXHAUST DUCT UP TO ROOF JACK WITH B.D.D. DO NOT SCREEN. DRYER SHALL NOT EXCEED 200 CFM EXHAUST RATE.
- 6" SHT. MTL. KITCHEN EXHAUST HOOD (MIN. 28GA) TO WALL CAP WITH W.M.S. EXHAUST HOOD BLOWER SHALL NOT EXCEED 400 CFM EXHAUST RATE.
- RTU ON ROOF CURB, PROVIDE MANUFACTURER CLEARANCE FOR ALL SIDES



TYPICAL RTU MOUNTING DETAIL
NO SCALE

DUCTWORK SYMBOLS

- VD ——— MANUAL VOLUME DAMPER
- CFM ——— CUBIC FEET PER MINUTE
- UC ——— UNDERCUT DOOR
- DG ——— DOOR GRILLE
- DL ——— DOOR LOUVER (WITH VOLUME DAMPER AT AC CL.)
- ——— SUPPLY OR OUTSIDE AIR DUCT
- ——— RETURN OR EXHAUST AIR DUCT
- A— FLEXIBLE DUCT
- 8" Ø SA / 200 CFM ——— LETTER [A] DENOTES AIR DISTRIBUTION DEVICE TYPE NUMBER [8] DENOTES TERMINAL NECK SIZE NUMBER [200] DENOTES SUPPLY AIR QUANTITY
- R— RETURN AND EXHAUST AIR
- S— SUPPLY AIR
- Ⓣ THERMOSTAT

DURA-BLOK™ Rooftop Supports

DBM - Series



Base with one (1) 3/8"-16 Electro Zinc All Threaded Rod and Hinged Pipe Clamp
 Dimensions - Height to Pipe Center x 6" (152mm) Wide x 4.8" (122mm) Long (overall length)
 Material - 100% recycled rubber, UV resistant
 Pipe Clamp Material - Malleable Iron - Pipe Sizes - Electro Plated Copper Tubing Sizes - Dura Copper™
 Threaded Rod/Hardware - Electro Plated Steel
 Ultimate Load Capacity - 50 lbs. (0.22kN) (uniform load) *

DURA-BLOK DBM-Series pipe/hubing support is designed for support of single piping systems where elevation adjustment is needed. The DURA-BLOK is UV resistant and suitable for installation on any type of roofing material or other flat surfaces.

Part No.	Clamp Part No.†	Weight Each
DBM-1/2CT	B3198HCT-1/2	2.75 (1.25kg)
DBM-3/4CT	B3198HCT-3/4	2.76 (1.25kg)
DBM-1CT	B3198HCT-1	2.84 (1.29kg)
DBM-11/4CT	B3198HCT-11/4	2.95 (1.34kg)
DBM-11/2CT	B3198HCT-11/2	2.98 (1.34kg)
DBM-2CT	B3198HCT-2	3.03 (1.37kg)
DBM-1/2	B3198H-1/2	2.78 (1.25kg)
DBM-3/4	B3198H-3/4	2.84 (1.29kg)
DBM-1	B3198H-1	2.86 (1.30kg)
DBM-11/4	B3198H-11/4	2.93 (1.33kg)
DBM-11/2	B3198H-11/2	2.99 (1.36kg)
DBM-2	B3198H-2	3.10 (1.41kg)

Part No.	Height (Minimum) **	Height (Maximum) **	Width	Length
DBM-1/2CT	9.69" (246mm)	11.19" (284mm)	6" (152mm)	4.80" (122mm)
DBM-3/4CT	9.84" (250mm)	11.34" (288mm)	6" (152mm)	4.80" (122mm)
DBM-1CT	9.95" (253mm)	11.45" (291mm)	6" (152mm)	4.80" (122mm)
DBM-11/4CT	10.13" (257mm)	11.63" (295mm)	6" (152mm)	4.80" (122mm)
DBM-11/2CT	10.29" (261mm)	11.78" (299mm)	6" (152mm)	4.80" (122mm)
DBM-2CT	10.53" (267mm)	12.03" (305mm)	6" (152mm)	4.80" (122mm)
DBM-1/2	9.86" (250mm)	11.36" (288mm)	6" (152mm)	4.80" (122mm)
DBM-3/4	10.06" (255mm)	11.56" (293mm)	6" (152mm)	4.80" (122mm)
DBM-1	10.14" (257mm)	11.54" (296mm)	6" (152mm)	4.80" (122mm)
DBM-11/4	10.25" (260mm)	11.75" (298mm)	6" (152mm)	4.80" (122mm)
DBM-11/2	10.42" (265mm)	11.92" (303mm)	6" (152mm)	4.80" (122mm)
DBM-2	10.66" (271mm)	12.16" (309mm)	6" (152mm)	4.80" (122mm)

† See Pipe Hanger Catalog for dimensions and specifications. ** From bottom of rubber block to center of pipe/hubing.

* For Roof Loading, Consult Roofing Manufacturer or Engineer. As with most commercial roofs, the weakest point may be the insulation board beneath the rubber membrane.

All dimensions in charts and on drawings are in inches. Dimensions shown in parentheses are in millimeters unless otherwise specified.
 Pipe Hangers & Supports 278

B-Line
by F.T.N

UNIT APPLICABILITY TABLE

JPL, JNL, J36, 042, 048, 060, 072, KPL, KKL, 072, 180, 240
KL, 036, 042, 048, 060, LKL, 072, 180, 240, LPL
LN, 036, 042, 048, 060
QNL, QPL, Q36
RNA, RNL, RPL, R36
SKA, SNA, SNL, SPL

NOTE:
 1) THIS ILLUSTRATION IS PROVIDED AS A GENERAL VIEW OF (1) TYPICAL INSTALLATION OF HVAC EQUIPMENT INSTALLED ON AN EXISTING ROOFTOP WITH AN ADAPTER TO FIT A UNIT LARGER THAN THE REPLACED EQUIPMENT.
 2) THIS IS ONLY MEANT TO BE A REPRESENTATION OF (1) OF THE MANY POSSIBLE COMBINATIONS THAT COULD BE FOUND IN THE FIELD.
 3) PLEASE USE THIS IN COMBINATION WITH YOUR PARTICULAR SITUATION TO PROVIDE THE BEST POSSIBLE SECURING OF THE HVAC EQUIPMENT TO THE ROOF CURB AS REQUIRED BY YOUR LOCAL BUILDING CODE.
 4) ALL TIE-DOWNS SHOULD BE LOCATED ALONG THE LONGEST AXIS OF THE UNIT TO PROVIDE THE MOST EFFECTIVE SECURING.

RESEARCH & DEVELOPMENT DEPARTMENT

RHEEM MANUFACTURING CO.

UNIT TIE DOWN INSTRUCTIONS

HVAC GENERAL NOTES

- GENERAL
 - ALL WORK SHALL BE DONE in accordance with the Florida Building Code and with all applicable regulations.
 - DRAWINGS: Refer to all drawings for coordination of the HVAC work.
 - ARRANGE AND PAY for all permits licenses, inspections and tests. Obtain the required certificates and present to owner.
 - GUARANTEE: The completed installation shall be fully guaranteed against defective materials and/or improper workmanship for a minimum of one year for material and labor. All compressors shall be guaranteed for 5 years minimum.
- SHOP DRAWINGS: Contractors shall submit for approval, within 30 days after signing contract, a minimum of five copies of fully descriptive literature, including but not limited to: fans, air conditioning units, air outlets. No work shall proceed without approval of these submittals.
- DESIGN PARAMETERS:
 - Indoor design temperature (Summer): 78° F DB
 - Indoor design temperature (Winter): 70° F DB
- ALL THERMOSTATS SHALL have heating mode maximum setting of 75 F, and cooling mode minimum setting of 70 F. The thermostat shall be arranged to prevent the simultaneous operation of heating and cooling.
- ELECTRICAL CONTROLS AND POWER WIRING: Under electrical contract.
- EQUIPMENT SPECIFIED BY manufacturer's number shall include all accessories, controls, etc., listed in the catalog as standard with the equipment. Optional or additional accessories shall be furnished as specified.
- MATERIALS:
 - REFRIGERANT PIPING: Shall be type L soft drawn, copper tubing, dehydrated for refrigerant use. Sized as shown on drawings or as per air conditioning equipment manufacturer's recommendations.
 - INSULATION: Refrigerant suction piping shall be insulated with 3/4" thick foamed plastic insulation, fire retardant type. Insulation shall be installed in piping before assembly. No split insulation will be acceptable. Seal joints with manufacturer's approved adhesive and grey tape.
 - DUCTWORK:
 - All supply air ductwork shall be 1 1/2" thick fiberglass ductboard, fabricated and installed as per latest edition of SMACNA "Fibrous Glass Duct Manual". R-6.0 MIN.
 - All toilet and kitchen exhaust ductwork shall be galvanized sheet metal duct not lighter than 24 gage.
 - All duct dimensions are clear inside dimensions.
 - Flexible insulated ductwork with 1 1/2" thick fiberglass insulation with FRK vapor barrier. R-6.0 MIN.
- CONTROLS: Air conditioning units shall be started and stopped thru individual thermostat. Individual programmable thermostats shall start/stop supply fans and activate cooling/heating systems as selected.
- TEF-1 50 CFM at 1" TSP 1.5 zones max. Broan 670, provide BDD and service switch. .8 amps at 120V-1-60.
- TEST AND BALANCE: Contractor shall test and balance all ventilation and air conditioning systems. Submit four copies of Test and Balance Report, to owner for approval.
- CLOTHES DRYER EXHAUST DUCTWORK: Min. 26 gage sheet metal w/ smooth interior surfaces and joints running in direction of airflow. Do not use screws or other intrusive fasteners. Make smooth joints. Ductwork shall comply with dryer manufacturer's recommendations. Dryer Booster Fan, Fantec, model: FR110 at 0.4" TSP, 78 watts at 120-1-60. Install as per manufacturer recommendations.

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 Gustavo J. Carbonell, P.A. ©

DATE AND DESCRIPTION OF REVISION

Gustavo J. Carbonell, P.A.
 Architecture and Planning
 1457 NE 4th Avenue
 Fort Lauderdale
 Florida 33304
 GUS CARBONELL, AIA
 gcarbonell@gjcarcch.com
 www.guscarbonell.com
 T: 954.452.6565
 F: 954.527.0857

16 Proposed Three Story Townhouses for:
VICTORIA PARK AT 12 LLC
 612 - 622 NE 12TH AVENUE BLDG. A
 FT. LAUDERDALE - FL. 33304
ROOF PLAN

GUSTAVO J. CARBONELL
 ARCHITECT, P.A.
 AA 26001132
 FLORIDA REGISTRATION
 NO. 0007957

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