



BOARD OF ADJUSTMENT VIRTUAL MEETING NOTICE: BOARD OF ADJUSTMENT

August 28, 2020

A Public Hearing will be held before the Board of Adjustment on: Wednesday, September 9, 2020 at 6:30 P.M.

This meeting will be held virtually, to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA).

**CASE:** PLN-BOA-20030004  
**OWNER:** DIMATTINA, FRANK; DIMATTINA, MARIE-ELAINA  
**AGENT:** VINCENT J. KAUFER  
**ADDRESS:** 3201 NE 38 STREET, FORT LAUDERDALE, FL 33308  
**LEGAL DESCRIPTION:** BERMUDA-RIVIERA SUB OF GALT OCEAN MILE FIRST ADD 40-12 B LOT 13 BLK L  
**ZONING:** RS-8  
**COMMISSION DISTRICT:** 1  
**REQUESTING:** **Sec. 47-5.31 -Table of dimensional requirements for the RS-8 district**

Requesting a variance from the 25 feet minimum rear yard requirement of Section 47-5.31 Table of Dimensional Requirements to allow an existing structure to remain at a rear yard setback of 24.19 feet.

The virtual meeting will be accessible through the City's local government access channel FLTV at: [www.fortlauderdale.gov/FLTV](http://www.fortlauderdale.gov/FLTV).

Should you desire to speak on this item, please fill out the speaker form available at this link on the City's website: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA).

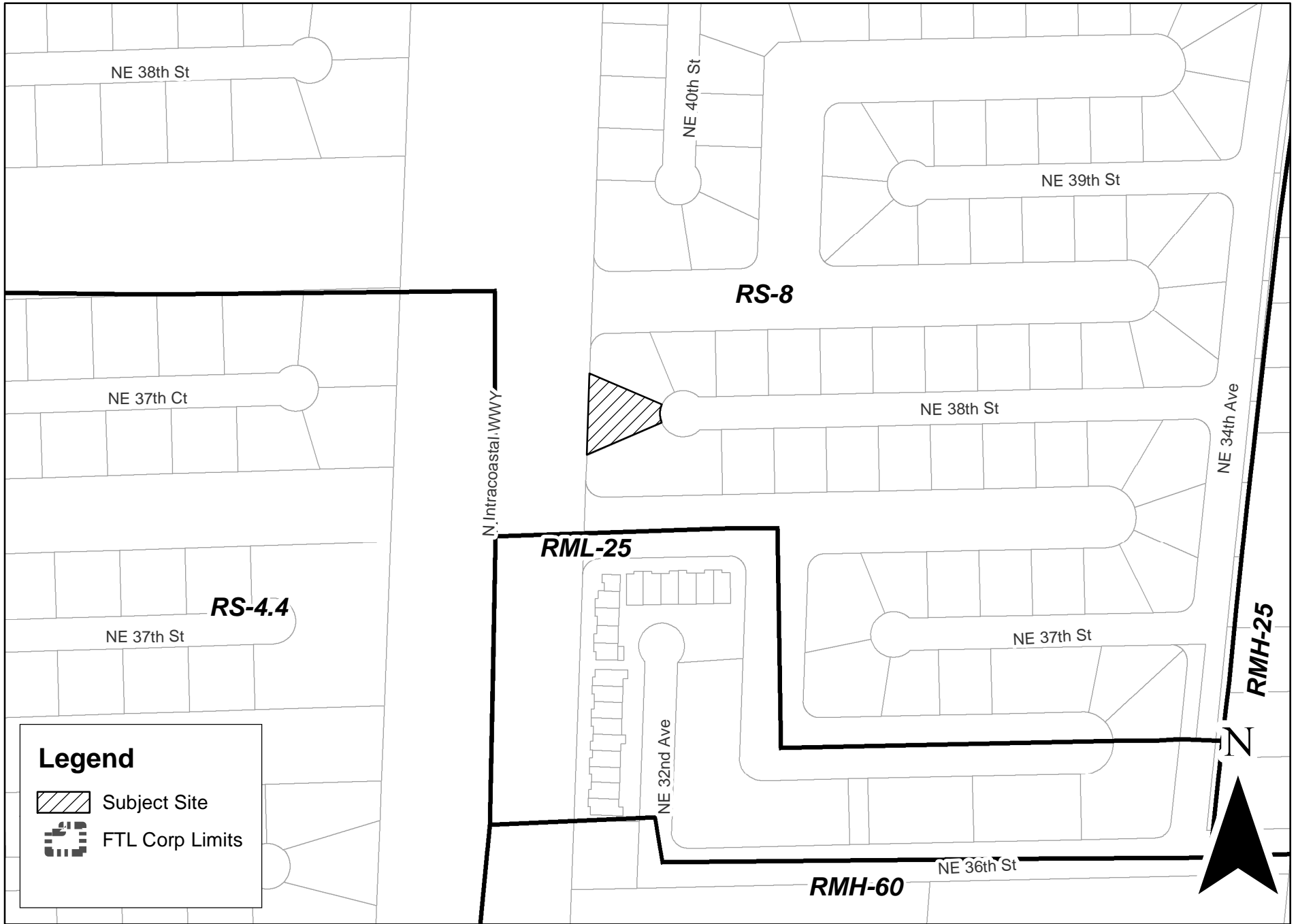
You may also email comments to: Chakila Crawford-Williams regarding Case: **PLN-BOA- 20030004**  
**Send email to: [chcrawfordl@fortlauderdale.gov](mailto:chcrawfordl@fortlauderdale.gov).**

**MOHAMMED MALIK**  
**ZONING ADMINISTRATOR**

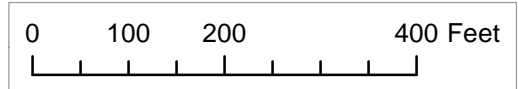
Florida Statutes, Sec. 286.0105

NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.





# PLN-BOA-20030004



Graphic Scale

John D. McCarthy, D.O.  
3000 Hylan Blvd  
Staten Island, N.Y. 10306  
Tel: (718) 668-9300  
Fax: (718) 668-1834

.....  
*RICHMOND TOTAL MEDICAL*

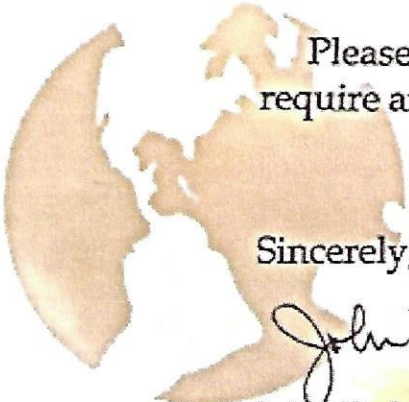
February 5, 2020

To Whom It May Concern,

I am writing on behalf of Barbara DiMattina who has been a patient of mine for almost 20 years. Barbara suffers from Chronic Obstructive Pulmonary Disease (COPD) and gets short of breath with minimal exertion. Due to her poor exercise tolerance she utilizes a wheelchair to get around.

Please feel free to contact me at the number above she you require any further elaboration.

Sincerely,



*John D. McCarthy*  
John D. McCarthy, D.O.  
Board Certified in Internal Medicine

*Expert Medical Care* .....

## Page 1: BOA - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

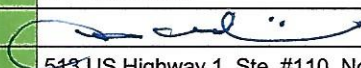
**NOTE:** To be filled out by Department

<b>Case Number</b>	
<b>Date of complete submittal</b>	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

<b>Property Owner's Name</b>	FRANK & MARIE-ELAINA DIMATTINA
<b>Property Owner's Signature</b>	If a signed agent letter is provided, no signature is required on the application by the owner.
<b>Address, City, State, Zip</b>	3201 NE 38TH STREET, FORT LAUDERDALE, FL 33308
<b>E-mail Address</b>	MDIMATTINA@YAHOO.COM
<b>Phone Number</b>	732/520-0749
<b>Proof of Ownership</b>	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

<b>Applicant / Agent's Name</b>	Vincent J. Kafer
<b>Applicant / Agent's Signature</b>	
<b>Address, City, State, Zip</b>	513 US Highway 1, Ste. #110, North Palm Beach, FL 33408
<b>E-mail Address</b>	Vincent_Kafer@HM2V.com
<b>Phone Number</b>	561/855-2097
<b>Letter of Consent Submitted</b>	Yes

<b>Development / Project Name</b>	Dimatina's Residence - Proposed Rear Balcony	
<b>Existing / New</b>	Existing: <input checked="" type="checkbox"/>	New: <input checked="" type="checkbox"/>
<b>Project Address</b>	Address: 3201 NE 38TH STREET, FORT LAUDERDALE, FL 33308	
<b>Legal Description</b>	BERMUDA-RIVIERA SUB OF GALT OCEAN MILE FIRST ADD 40-12 B LOT 13 BLK L	
<b>Tax ID Folio Numbers</b> (For all parcels in development)	4943 19 04 0640	
<b>Request / Description of Project</b>	- NEW 2ND-FLOOR REAR BALCONY; - NON-CONFORMING REAR SET BACK.	
<b>Applicable ULDR Sections</b>	47-19.2.B; 47-5.31	

<b>Current Land Use Designation</b>	RESIDENTIAL
<b>Current Zoning Designation</b>	RS-8
<b>Current Use of Property</b>	SINGLE-FAMILY RESIDENCE
<b>Site Adjacent to Waterway</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [ E ]	E-25 FT	EXISTING 26.58-FT
Side [ N ]	N-5-FT	EXISTING 6.56-FT
Side [ S ]	S-5-FT	EXISTING 5.60-FT
Rear [ W ]	W-25-FT (WATER)	EXISTING 24.19-FT

## Page 2: Board of Adjustment (BOA) Criteria for Variance Request

This page must be filled in. An attached narrative may be included if additional space is required.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

**VARIANCE #1- ACCESSORY BUILDINGS, STRUCTURES AND EQUIPMENT, GENERAL, ARCHITECTURAL FEATURES IN RESIDENTIAL DISTRICTS (47-19.2.B);**

**VARIANCE #2 - TABLE OF DIMENSIONAL REQUIREMENTS FOR THE RS-8 DISTRICT (47-5.31).**

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12.A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such  
The final Survey made after the original construction, dated on 4/27/1973, indicates the rear set back at 24.5-foot, and the front setback at 26.35-foot (attached). The front and rear set backs required at the time of construction was 25-foot. The 4/27/1973 Survey reflects what is belived to be a construction layout mistake, as there was enoght room at front of the house to meet the required setbacks.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:  
Lots having seawalls at property lines.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property; provided the provisions of the ULDR still allow a reasonable use of the property; and

- The ULDR sets 25-foot for building and 22-foot for balcony rear setbacks. As the property rear setback does not meet the minimum 25-foot setback requirements, the proposed balcony depth can only be 30.35-inch, which will prevent owner from having a wheelchair on it, a 36-inch minimum is required for such as at many homes in the neighborhood;

- With the non-conforming rear setback, the house cannot be financed by banks.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

The lack of tools that could provide dimensioning accuracy at original construcion time would prevent the mistake.

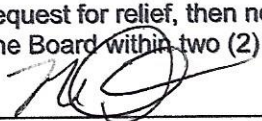
e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare.

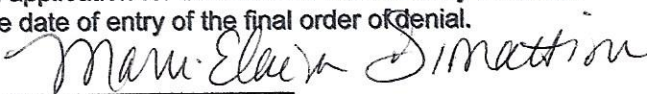
- The requested 5.65-inch variance for the proposed balcony will not create a singular condition at the neighborhood, but help the owner to use the proposed balcony on a wheechair;

- The requested approval of the non-conforming rear setback will fix a realstate problem of the property.

**AFFIDAVIT:** I, FRANK AND MARIE-ELAINA DIMATTINA the Owner/Agent of said property ATTEST that I am aware of the following:

1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order or the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

  
(Signature)



SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 4 day of MARCH, 2020

(SEAL)



  
NOTARY PUBLIC

MY COMMISSION EXPIRES: 6-8-2023

## Page 3: Required Documentation & Mail Notice Requirements

**One (1) original set, signed and sealed, with plans at 24" x 36"**

**One (1) electronic version (CD or USB) of complete application and plans in PDF format**

**Fourteen (14) copy sets of each item below and plans at half-size scale 11" x 17"**

- Completed application** (all pages must be filled out where applicable)
- Mail notification documents** (mail notification instructions at bottom of page)
- Proof of ownership** (warranty deed or tax record), including corporation documents if applicable
- Property owners notarized signature** and/or notarized agent letter signed by the property owner (if applicable).
- Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
- Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
- Cover sheet** on plan set to state project name and table of contents.
- Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. If the survey is not signed and sealed, a zoning affidavit is required and shall only be used for the structures listed in the affidavit.
- Aerial photo** indicating all properties within 700 ft. of the subject property. Must be clear and current with site highlighted.
- Site Plan (a survey may be substituted if the requested variance is clearly indicated)**
  - Landscape Plan (if applicable)**
  - Elevations (if applicable)**
  - Additional plan details as needed**

**Note:** All copy sets must be clear and legible.

**Note:** Plans must be folded to 8 ½" x 11". All non-plan documents should be 8 ½" x 11".



**MAIL NOTIFICATION:** Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
  - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
  - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owners notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
  - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale  
Urban Design & Development  
700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, FL 33311.

- **DISTRIBUTION:** The City of Fort Lauderdale, Urban Design & Development will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

# Page 4: Sign Notification Requirements and Affidavit

## SIGN NOTICE

Applicant must **POST SIGNS** (for Board of Adjustment) according to Sec.47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- Sign Notice shall be given by the applicant by posting a sign provided by the City stating the time, date and place of the Public Hearing on such matter on the property which is the subject of an application for a development permit. If more than one (1) public hearing is held on a matter, the date, time and place shall be stated on the sign or changed as applicable.
- The sign shall be posted at least fifteen (15) days prior to the date of the public hearing.
- The sign shall be visible from adjacent rights-of-way, including waterways, but excepting alleys.
- If the subject property is on more than one (1) right-of-way, as described above, a sign shall be posted facing each right-of-way.
- If the applicant is not the owner of the property that is subject of the application, the applicant shall post the sign on or as near to the subject property as possible subject to the permission of the owner of the property where the sign is located or, in a location in the right-of-way if approved by the City.
- If the sign is destroyed or removed from the property, the applicant is responsible for obtaining another sign from the City and posting the sign on the property.
- The sign shall remain on the property until final disposition of the application. This shall include any deferral, rehearing, appeal, request for review or hearings by another body. The sign information shall be changed as above to reflect any new dates.
- The applicant shall, five (5) days prior to the public hearing, execute and submit to the department an affidavit of proof of posting of the public notice sign according to this section. If the applicant fails to submit the affidavit the public hearing will be postponed until the next hearing after the affidavit has been supplied.

## AFFIDAVIT OF POSTING SIGNS

STATE OF FLORIDA

BROWARD COUNTY

BOA CASE NO. \_\_\_\_\_

APPLICANT: FRANK AND MARIE-ELAINA DIMATTINA

PROPERTY: 3201 NE 38TH STREET, FORT LAUDERDALE, FL 33308

PUBLIC HEARING DATE: \_\_\_\_\_

BEFORE ME, the undersigned authority, personally appeared \_\_\_\_\_, who upon being duly sworn and cautioned, under oath deposes and says:

1. Affiant is the Applicant in the above cited City of Fort Lauderdale **Board or Commission Case**.
2. The Affiant/Applicant has posted or has caused to be posted on the Property the signage provided by the City of Fort Lauderdale, which such signage notifies the public of the time, date and place of the Public Hearing on the application for relief before the **Board or Commission**.
3. That the sign(s) referenced in Paragraph two (2) above was posted on the Property in such manner as to be visible from adjacent streets and waterways and was posted at least **fifteen (15)** days prior to the date of the Public Hearing cited above and has remained continuously posted until the date of execution and filing of this Affidavit. Said sign(s) shall be visible from and within twenty (20) feet of streets and waterways, and shall be securely fastened to a stake, fence, or building.
4. Affiant acknowledges that the sign must remain posted on the property until the final disposition of the case before the **Board or Commission**. **Should the application be continued, deferred or re-heard, the sign shall be amended to reflect the new dates.**
5. Affiant acknowledges that this Affidavit must be executed and filed with the City's Urban Design & Development **five (5)** calendar days prior to the date of Public Hearing and if the Affidavit is not submitted, the Public Hearing on this case shall be cancelled.
6. Affiant is familiar with the nature of an oath or affirmation and is familiar with the laws of perjury in the State of Florida and the penalties therefore.

NOTE: I understand that if my sign is not returned within the prescribed time limit as noted in Sec. 47.27.2.j of the City of Fort Lauderdale ULR, I will forfeit my sign deposit. AD MED (initial here) AD MED

ME  
Affiant Marie-Elaina Dimattina

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 4 day of MARCH, 2020

(SEAL)



Michael L. Cicero  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 6-8-2023

## Page 5: Technical Specifications

### A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
  - Current use of property
  - Land Use designation
  - Zoning designation
  - Site area (sq. ft. and acres)
  - Setback table (required vs. provided)
  - Open space
8. Site Plan Features (graphically indicated)
  - Setbacks and building separations (dimensioned)
  - Project signage (if applicable)
  - Easements (as applicable)

(Please note additional site plan information may be necessary to fully address the requested variance)

### B. BUILDING ELEVATIONS (as applicable)

1. All building facades with directional labels (ie. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Include proposed signage

**LETTER OF CONSENT**

Owners of record: Frank and Marie-Elaine Dimattina

State of ~~Florida~~ *New York*  
County of ~~Broward~~ *Richmond*

BEFORE ME, the undersigned authority personally appeared Frank and Marie-Elaine Dimattina who, being first duly sworn oath and personal knowledge say that they are the owners of record of the following described real property: according to the plat thereof Broward County, Florida - Bermuda-Riviera sub of Galt Ocean Mile First Add 40-12 B, Lot 13, Block L, Id# 4943 19 04 06 40. The street address of which is 3201 NE 38<sup>th</sup> Street, Fort Lauderdale, FL, and that we hereby appoint:

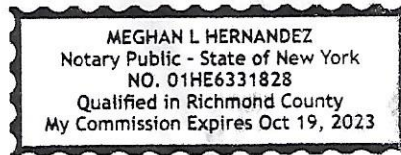
Name: Vincent J. Kafer  
Address: 513 US Highway 1, Suite 110  
North Palm Beach, FL 33408  
Telephone: 561/855-2097

As our authorized agent, to file applications and papers with the City of Fort Lauderdale, and to represent us at any Hearing regarding our interest.

*Vincent J. Kafer* \_\_\_\_\_ (Seal)  
*Marie-Elaine Dimattina* \_\_\_\_\_ (Seal)

Sworn to and subscribed before me this 24 day of Feb, 2020

*Meghan L. Hernandez*  
\_\_\_\_\_  
Notary Public





<b>Site Address</b>	<b>3201 NE 38 STREET, FORT LAUDERDALE FL 33308</b>	<b>ID #</b>	4943 19 04 0640
<b>Property Owner</b>	DIMATTINA, FRANK DIMATTINA, MARIE-ELAINA	<b>Millage</b>	0312
<b>Mailing Address</b>	3201 NE 38 ST FORT LAUDERDALE FL 33308	<b>Use</b>	01
<b>Abbr Legal Description</b>	BERMUDA-RIVIERA SUB OF GALT OCEAN MILE FIRST ADD 40-12 B LOT 13 BLK L		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

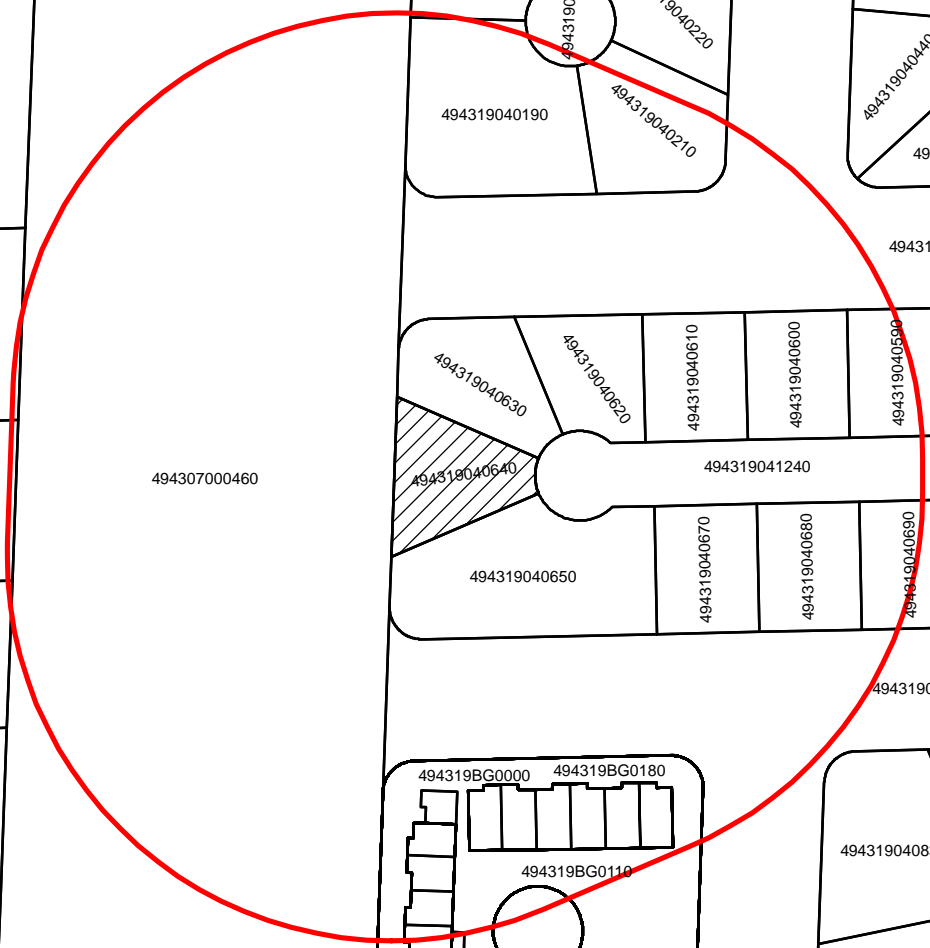
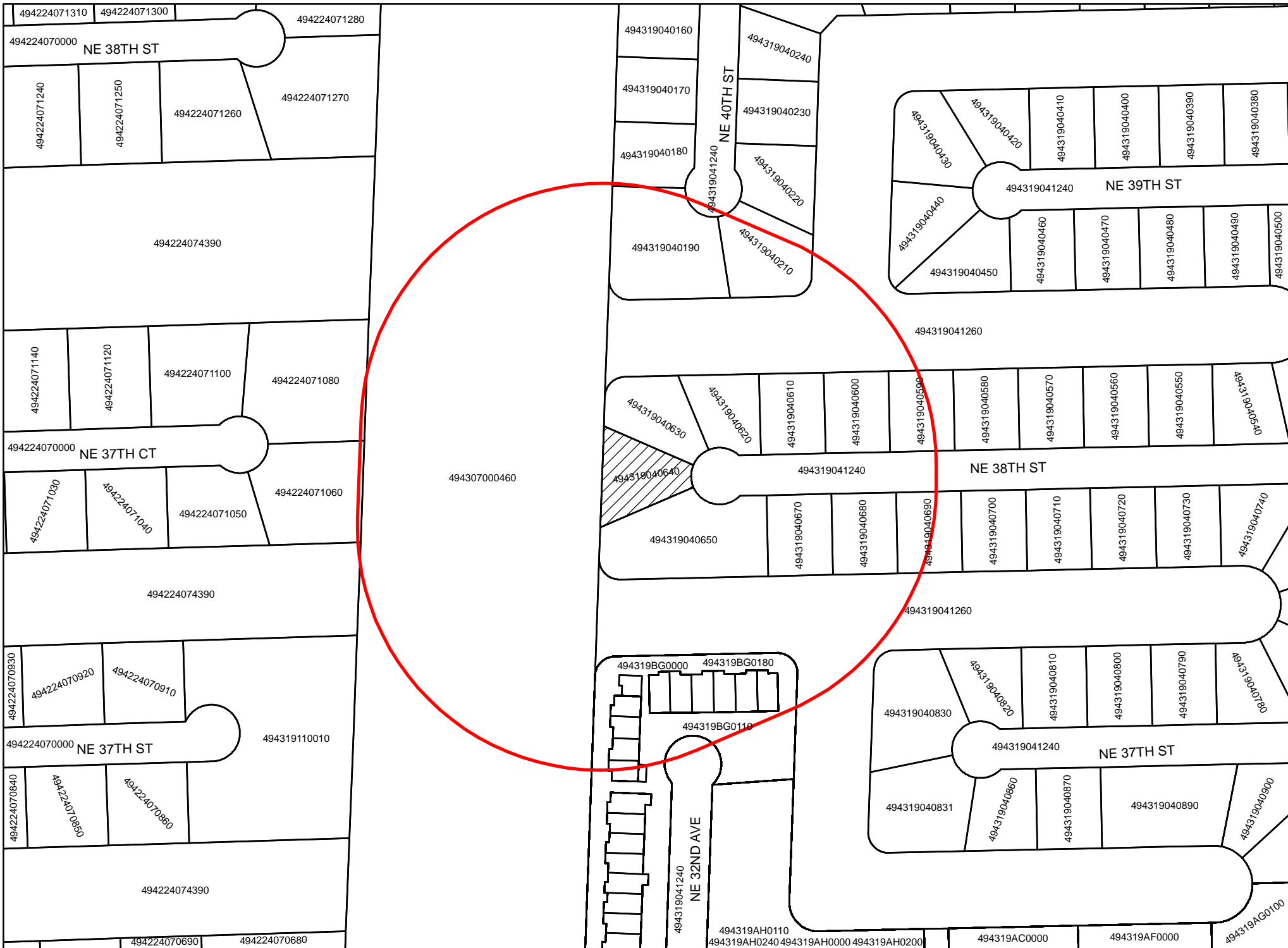
Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2020	\$693,680	\$1,157,370	\$1,851,050	\$1,851,050	
2019	\$693,680	\$1,157,370	\$1,851,050	\$1,851,050	\$34,712.20
2018	\$693,680	\$1,102,160	\$1,795,840	\$1,795,840	\$32,858.59

2020 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
<b>Just Value</b>	\$1,851,050	\$1,851,050	\$1,851,050	\$1,851,050
<b>Portability</b>	0	0	0	0
<b>Assessed/SOH</b>	\$1,851,050	\$1,851,050	\$1,851,050	\$1,851,050
<b>Homestead</b>	0	0	0	0
<b>Add. Homestead</b>	0	0	0	0
<b>Wid/Vet/Dis</b>	0	0	0	0
<b>Senior</b>	0	0	0	0
<b>Exempt Type</b>	0	0	0	0
<b>Taxable</b>	\$1,851,050	\$1,851,050	\$1,851,050	\$1,851,050

Sales History			
Date	Type	Price	Book/Page or CIN
3/26/2018	WD-Q	\$2,050,000	115111406
5/16/2012	WD-Q-SS	\$1,425,000	48780 / 596
9/15/2005	WD	\$2,499,000	40549 / 761
3/19/1999	WD	\$995,000	29350 / 1952
10/19/1998	QCD	\$100	28943 / 828

Land Calculations		
Price	Factor	Type
\$81.00	8,564	SF
<b>Adj. Bldg. S.F. (Card, Sketch)</b>		4090
<b>Units</b>		1
<b>Eff./Act. Year Built: 1995/1973</b>		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03								
R								
1								



494307000460

150 75 0 150 Feet

MARTY KIAR  
BROWARD COUNTY PROPERTY APPRAISER



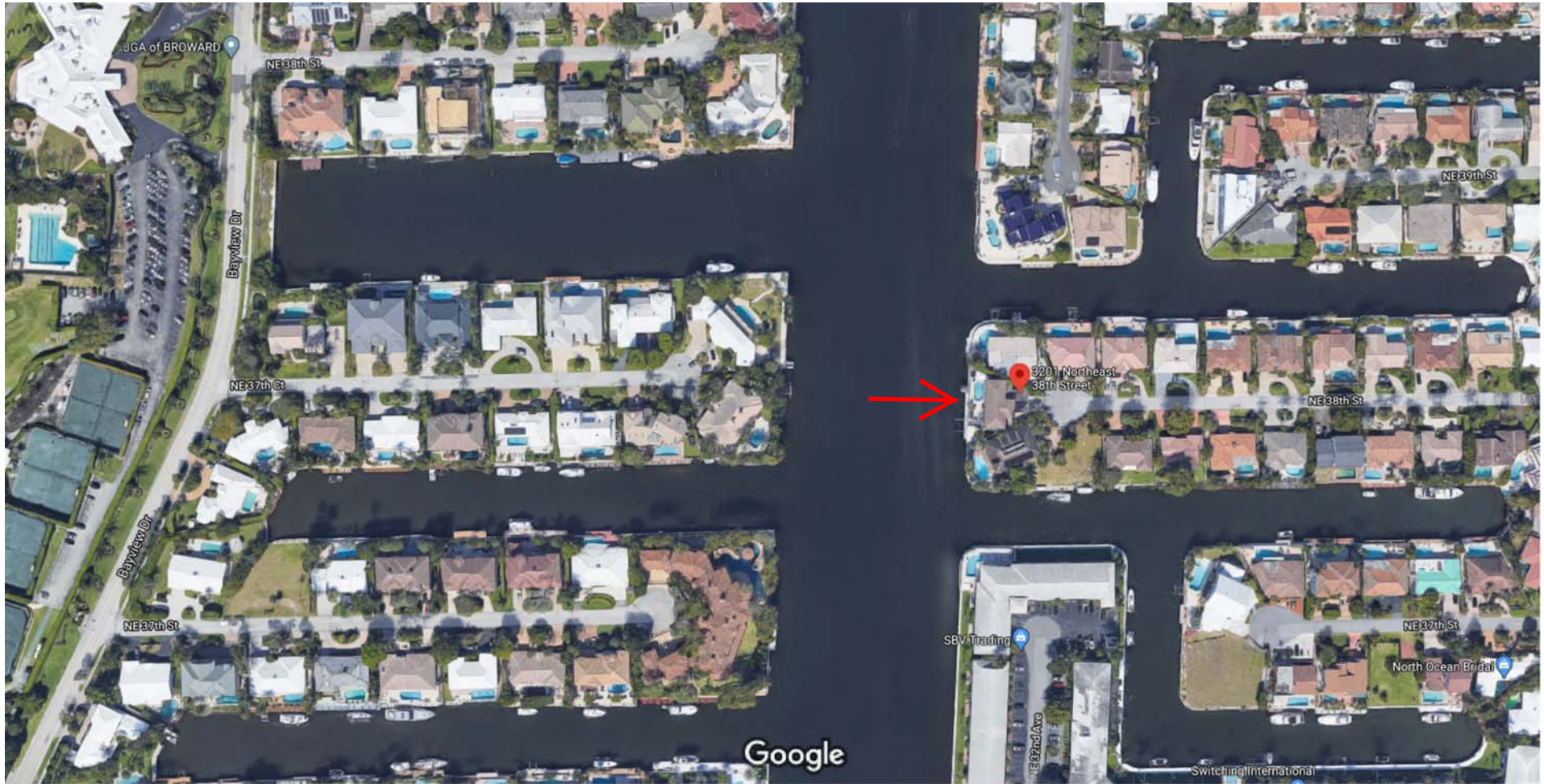
3201 NE 38th St





3201 NE 38th St

700 FEET RADIUS



Imagery ©2020 Google, Imagery ©2020 Maxar Technologies, U.S. Geological Survey, Map data ©2020 100 ft

FOLIO_NUMB	NAME_LINE_1	NAME_LINE1	ADDRESS_LI	CITY	ST/ZIP	ADDRESS__1	
494319041240	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301
494319041260	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301
494319040180	GOUDARZI,GULTEN	GOUDARZI,VAHID	3205 NE 40 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040190	GUPTA,SHOBHA		3201 NE 40 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040210	BELANGER,JACQUES		601 GINGRAS	*QUEBEC QC	CA G1X 2	*QUEBEC QC	CAG1X 2
494224071080	BRISSENDEN,JOHN		2849 NE 37 CT	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040590	SALO,CHUCK & TAMI	HERBST,RICHARD	3235 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040600	HERBST,MICHELE J		712 E SEMINARY AVE	TOWSON	MD 21286	TOWSON	MD21286
494319040610	LEBLOND,ASHTON		1100 AVE GALBOIS BUREAU #A250-2	*QUEBEC QC	CA G1M 3	*QUEBEC QC	CAG1M 3
494319040620	ANNETT,CHARLES R	ANNETT,LETICIA M	3215 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040630	BRANDSDAL PROPERTY LLC		3207 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040640	DIMATTINA,FRANK	DIMATTINA,MARIE-ELAINA	3201 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494224071060	BLAKE,ROBERT KELLY JR	ROBERT KELLY BLAKE JR LIV TR	2848 NE 37 CT	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040650	SHIRLEY R BROHAMMER LIV REV TR		3200 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040690	JOSEPH & LINDA POLICARPIO LIV TR	POLICARPIO,JOSEPH & LINDA TRS	3250 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040680	CALDWELL,ROLANDE P	CALDWELL,JAMES D	3218 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319040670	TROY,DELLENE & DAVID		3210 NE 38 ST	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0010	FERRONE,MICHAEL A	FERRONE,VITA M	34 SHIRA LN	MANALAPAN	NJ 07726	MANALAPAN	NJ07726
494319BG0020	WARDELL,RANDY A & CAROLE A		3605 NE 32 AVE UNIT 102A	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0030	FRANCIS X CEFARATTI FAM TR	CEFARATTI,FRANCIS X TRSTEE	2741 NE 15 ST	FORT LAUDERDALE	FL 33304	FORT LAUDERDALE	FL33304
494319BG0040	FRANCIS X CEFARATTI FAM TR	CEFARATTI,FRANK TRSTEE	2741 NE 15 ST	FORT LAUDERDALE	FL 33304	FORT LAUDERDALE	FL33304
494319BG0050	STURNIALO,ROBERT		130 POST AVE #226	WESTBURY	NY 11590	WESTBURY	NY11590
494319BG0060	TURNER,DONALD F		115 SOUTH ST # 3	PHILADELPHIA	PA 19147	PHILADELPHIA	PA19147
494319BG0070	WHITE,DONNA M COSTA	WHITE,RICHARD F	10313 CASTLEBRIDGE CT	KNOXVILLE	TN 37922	KNOXVILLE	TN37922
494319BG0080	VALLI,E PAUL & PATRICIA K		3605 NE 32 AVE APT 108A	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0090	DUNN,CYNTHIA	DUNN,W JOHN	1022 N MOUNTAIN RD	GARDINER	NY 12525	GARDINER	NY12525
494319BG0190	HOLCK,LINDA J		3655 NE 32 AVE #110B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0200	CORYELL,SHARON K		3655 NE 32 AVE #111B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0210	ROBERT M RINVELT TR	RINVELT,ROBERT M	4525 GRAY FOX LANE NE	ADA	MI 49301	ADA	MI49301
494319BG0220	KYRIAKIDES,THOMAS & CHERYL		3655 NE 32 AVE #114B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0230	LYONS,P RICHARD & CAROLE A		PO BOX 651	NORTH FALMOUTH	MA 02556	NORTH FALMOUTH	MA02556
494319BG0240	VIGLIONE,SALVATORE B LE	MCGRAIL,JOHN R & MCGRAIL,GAIL	3655 NE 32 AVE #117B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0250	LEONE,GERTRUDE		520 VICTOR ST #48	SADDLE BROOK	NJ 07663	SADDLE BROOK	NJ07663
494319BG0260	DE TORRES,JOHN J & CELESTE		4705 ROOSEVELT ST	HOLLYWOOD	FL 33021	HOLLYWOOD	FL33021
494319BG0270	ANDREA PAPOUTSY REV TR	PAPOUTSY,ANDREA TRSTEE ETAL	PO BOX 577	RYE BEACH	NH03871	RYE BEACH	NH03871
494319BG0280	MIGA,STEVEN		4136 NAZARETH PIKE # 1	BETHLEHEM	PA 18020	BETHLEHEM	PA18020
494224074390	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301
494307000460	TIITF/STATE OF FLORIDA	% FL INLAND NAVIGATION DISTRICT	1314 MARCINSKI RD	JUPITER	FL 33477	JUPITER	FL33477
494319BG0310	ALLOCCA,PAUL J & PATRICIA C	ALLOCCA,NICOLE PATRICIA	3315 STATE HIGHWAY 33	NEPTUNE	NJ 07753	NEPTUNE	NJ07753
494319BG0320	RUIZ,EDUARDO		2510 NE 44 ST	LIGHTHOUSE POINT	FL 33064	LIGHTHOUSE POINT	FL33064
494319BG0360	NOTTE,GARY D & DEBORAH A		18 HOLBROOKE DR	FORKED RIVER	NJ 08731	FORKED RIVER	NJ08731
494319BG0370	BRENNAN,GERALDINE M	PLACHTER,KEITH F	1577 21 CT N	ARLINGTON	VA 22209	ARLINGTON	VA22209
494319BG0330	BANCROFT,JAMES R & LINDA M	WATSON,ALAN F	710 STATE RD	PLYMOUTH	MA 02360	PLYMOUTH	MA02360
494319BG0340	PLACHTER,NANCIE		3655 NE 32 AVE #216B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0350	CHARPENTIER,CLAUDE	MITSYK,SVITLANA	250 LABONTE APT 1	*LONGUEUIL QC	CA J4H 2	*LONGUEUIL QC	CAJ4H 2
494319BG0120	32ND AVE UNIT # 203 LLC		2710E NE 56 CT	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0100	CIAMPA,FRANK J		3605 NE 32 AVE #201A	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0110	O'HARA,KATHLEEN		3605 NE 32 AVE APT 202A	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0300	FINNEGAN,DAVID & DEIRDRE		185 BAY 14 ST	BROOKLYN	NY 11214	BROOKLYN	NY11214
494319BG0290	VAN SICKLER,CATHERINE H H/E	SIMMONS,ANNE GARRETT	3655 NE 32 AVE APT 210B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0380	THOMAS R DOWLER IRREV TR	HUNTINGTON NATL BANK TRSTEE	7 EASTON OVAL EA4E83	COLUMBUS	OH43219	COLUMBUS	OH43219
494319BG0390	KLINFELTER,ALTAGRACIA L		3655 NE 32 AVE #221B	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0130	STRIPLING,MYRNA ECKEL LE	STAFFORD,SANDRA	3605 NE 32 AVE #204A	FORT LAUDERDALE	FL 33308	FORT LAUDERDALE	FL33308
494319BG0140	TAYLOR,ROGER & SUSAN		20 HIGHFIELD LN	MADISON	CT 06443	MADISON	CT06443
494319BG0150	COLLINS,KEVIN G & MARY		399 S BRANCH PKWY	SPRINGFIELD	MA 01118	SPRINGFIELD	MA01118
494319BG0170	ROHDE,STEVEN M	SHERWOOD,SYLVIA	302 AMHERST RD	PELHAM	MA 01002	PELHAM	MA01002
494319BG0160	HOTTEL,ROBERT LEE	RULAND,LEE ANN & HOTTEL,ROY D	127 PLEASANT SPRINGS DR	CENTREVILLE	MD 21617	CENTREVILLE	MD21617
494319BG0180	DETORRES,JOHN J & CELESTE		4705 ROOSEVELT ST	HOLLYWOOD	FL 33021	HOLLYWOOD	FL33021

Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side	5 ft. - up to 22 ft. in height	For a building with a height no

<p>yard</p>	<p>Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 &amp; 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G &amp; H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L &amp; M.</p>	<p>greater than 12 ft.- 5 ft.</p> <p>For a building with a height greater than 12 ft. - 7.5 ft.</p> <p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
<p>Minimum rear yard</p>	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as</p>

	Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1			provided in RS-8	
Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

Note A: Dimensional requirements may be subject to additional regulations, see Section 47-23, Specific Location Requirements, and Section 47-25, Development Review Criteria.

\*Allowances for modifications of lot widths may be permitted in accordance with the requirements of Section 47-23.10, Specific Location Requirements.

\*\*An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see Section 47-24.2.

\*\*\*All other regulations relating to district RS-8 shall apply to RS-8A.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-26, § 1, 4-20-99; Ord. No. C-99-62, § 1, 9-21-99; Ord. No. C-04-67, § 1, 1-4-05; Ord. No. C-08-05, § 3, 2-5-08)



**Fort Lauderdale, Florida  
Narrative Letter**

Request:

- Proposed 36-Inch Balcony Approval;
- Existing Non-Conforming Rear Setback Approval

Zoning District: RS-8 Single Family

Land Use: Residential

Submittal: March 6 2020

On behalf of the applicant, Frank and Marie-Elaina DiMattina, we have prepared and hereby respectfully submit this application for approval under the Board of Adjustment Criteria for Variance Request, for 3201 NE 38<sup>th</sup> Street (ID# 4943 19 04 0640). We are seeking approval for construction of a new 36-inch balcony and approval of the non-conforming rear setback.

The subject residential building was originally designed and approved for occupancy by the City in 1972, as a one-story structure. Moreover, in 2013, it went thru a major renovation, when a second story was added at the original perimeter walls. Mr. & Mrs. DiMattina acquired the property, recently, in 2018,

When the DiMattina' s family look at the house first time, they fell in love with it and thought the property would be ideal for his mother to enjoy the Florida's weather, and the beautiful views of the Intercostal. However, a balcony was missing for the water view. At the time, they looked around and there were so many houses with balconies facing the intercostal and they were told that a 36-inch balcony could be added, if desired. So they went ahead and purchased the property.

What they were not aware off was that the property rear set back is in non-conforming condition with the City Code, which prevents them from building the desired 36-inch balcony (required for his mother wheelchair maneuvering), but only a 26-inch one!

They also did not know that the non-conforming condition will stop a bank from financing the property, restricting it at the real estate market.

According to the City Code, the rear setback shall be 25 feet minimum for the building/lot condition, but the site Survey shows it at 24.19 feet. In addition, the required front setback is also 25 feet, and Survey shows it at 26.58 feet. These information clearly shows that the building was shifted towards the waterway at its construction, back in 1972; when measuring tools were not as accurate as today's.

On behalf of the applicant, Frank and Marie-Elaina DiMattina, I respectfully request favorable review and consideration to the requests above.

The agent at HM2V, Inc. is Vincent Kafer who can be reached at the numbers below or via email at [Vincent\\_Kafer@HM2V.com](mailto:Vincent_Kafer@HM2V.com). Please feel free to contact the agent with any question or for additional information in support of the requested application.

HM2V, INC

# PROPOSED 36 INCHES BALCONY EXISTING NON-CONFORMING REAR SETBACK

Site Address  
3201 NE 38<sup>TH</sup> STREET  
FORT LAUDERDALE, FL 33308



## BOARD OF ADJUSTMENTS APPLICATION MARCH 05, 2020

Prepared for:  
FRANK AND MARIE-ELAINA DIMATTINA









Content:  
APPLICATION  
MAIL NOTIFICATION  
PROOF OF OWNERSHIP  
LETTER OF CONSENT  
PROPERTY AND NEIGHBORHOOD PHOTOS  
NARRATIVE LETTER  
DOCTOR'S STATEMENT  
CURRENT SURVEY  
AERIAL PHOTO  
PROPOSED BALCONY PLANS

**GENERAL NOTES:**

1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
3. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
4. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN AND AS MARKED BY A REPUTABLE UTILITIES COMPANY.
5. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.
6. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
7. CORNERS SHOWN AS "SET" ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) # 5639.

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS, AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

**LEGEND:**

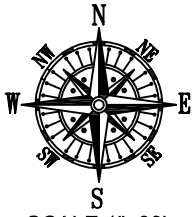
- |                                     |                               |  |
|-------------------------------------|-------------------------------|--|
| A - DENOTES ARC LENGTH              | P - DENOTES PLAT              |  BOUNDARY LINE  |
| CA - DENOTES CENTRAL ANGLE          | PH - DENOTES POOL HEATER      |  BUILDING LINE  |
| CATV - DENOTES CABLE T.V. BOX       | PP - DENOTES POOL PUMP        |  CENTERLINE     |
| CF - DENOTES CALCULATED FROM FEILD  | R - DENOTES RADIUS            |  EASEMENT LINE  |
| CR - DENOTES CALCULATED FROM RECORD | SV - DENOTES SEWER VALVE      |  METAL FENCE    |
| CH - DENOTES CHORD DISTANCE         | TR - DENOTES TELEPHONE RISER  |  WOODEN FENCE   |
| DE - DENOTES DRAINAGE EASEMENT      | UE - DENOTES UTILITY EASEMENT |  PVC FENCE      |
| EM - DENOTES ELECTRIC METER         | UP - DENOTES UTILITY POLE     |  OVERHEAD CABLE |
| FN - DENOTES FOUND NAIL             | WM - DENOTES WATER METER      |  |
| L - DENOTES LEGAL                   | WV - DENOTES WATER VALVE      |  |
| M - DENOTES MEASURED                |                               |  |
| OHC - DENOTES OVERHEAD CABLE        |                               |  |



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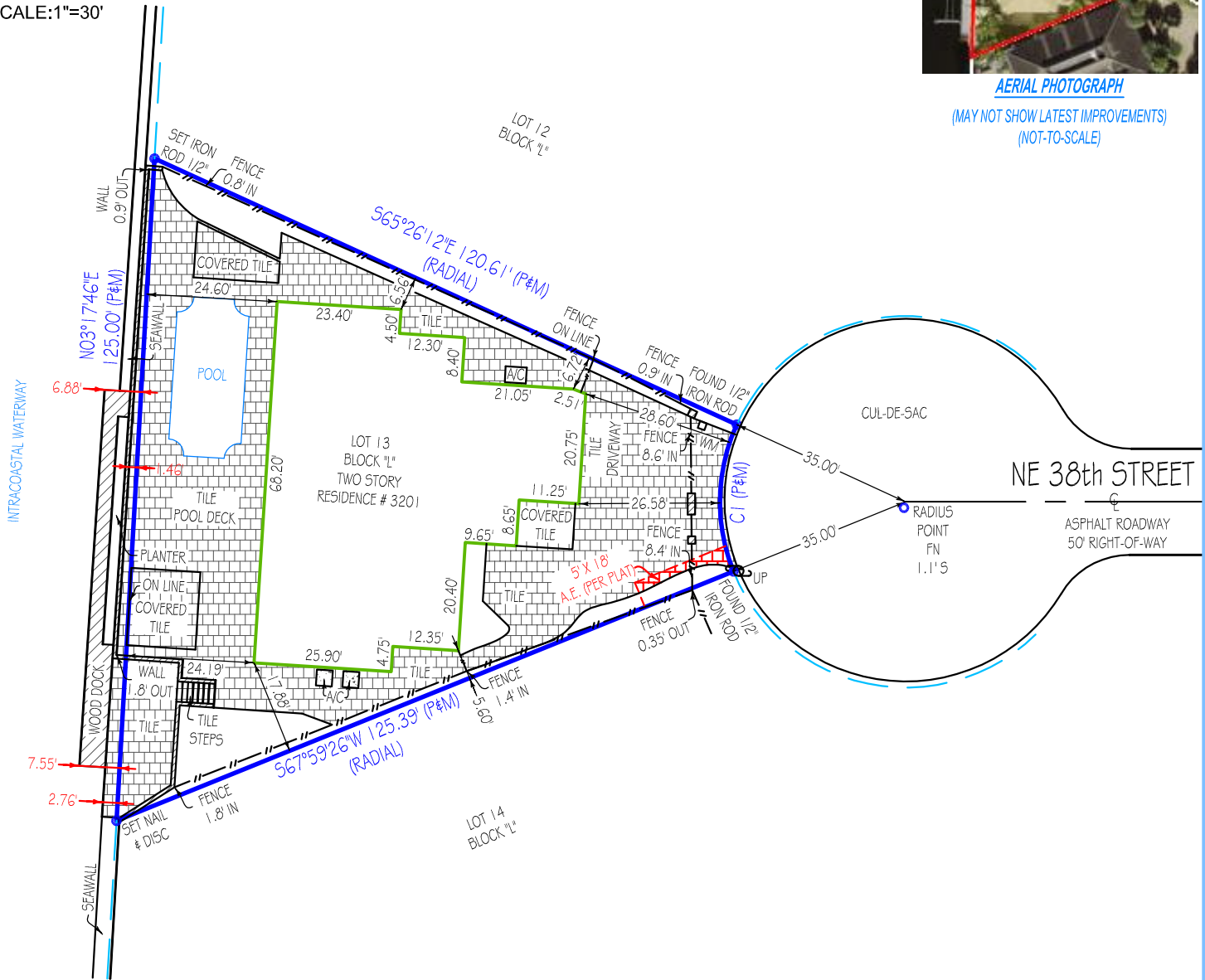
SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_  
 ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA REGISTRATION No. 5639 (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)



BEARING REFERENCE:  
 CENTER LINE OF NE 38th STREET AS N. 90°00'00" E.  
 ALL BEARINGS SHOWN HEREON REFERENCED THERETO.



AERIAL PHOTOGRAPH  
 (MAY NOT SHOW LATEST IMPROVEMENTS)  
 (NOT-TO-SCALE)



CURVE TABLE					
	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
CI	35.00'	28.45'	46°34'22"	27.67'	S01°16'37\"W

**Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE**

- 5' X 18' ANCHOR EASEMENT ALONG THE SOUTHERLY BOUNDARY LINE
- DRIVEWAY EXTENDS THROUGH THE SOUTHERLY EASEMENT
- TILE SLAB AND WOOD DOCK CROSS THE WESTERLY BOUNDARY LINE

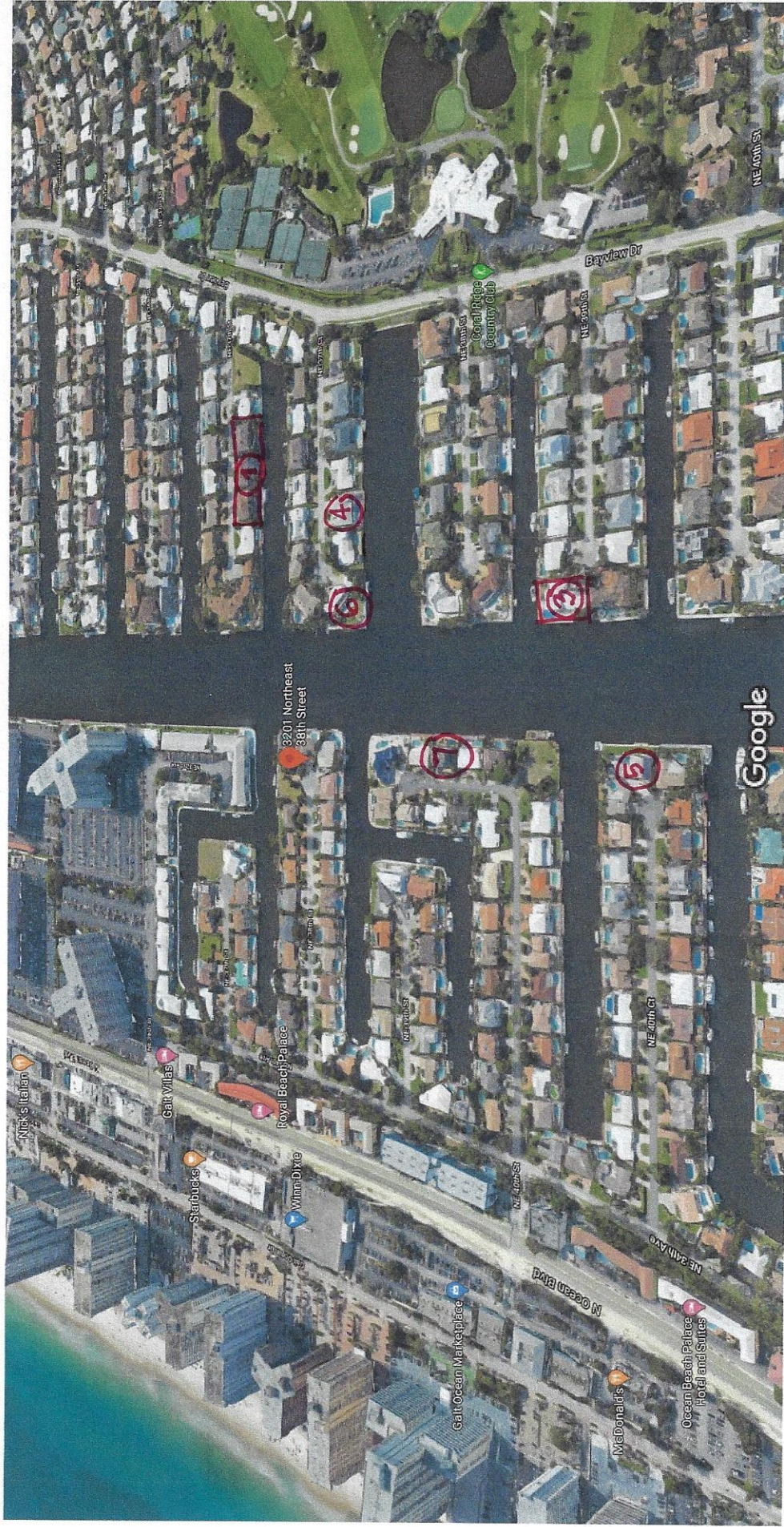
This survey has been issued by the following Landtec Surveying office:  
 481 E. Hillsboro Blvd. Ste. 100-A  
 Deerfield Beach, FL. 33441  
 Office: (561) 367-3587 Fax: (561) 465-3145  
 www.LandtecSurvey.com

**PLEASE NOTE:**  
 SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.  
 NO APPROVAL FOR CONSTRUCTION HAS BEEN MADE BY THIS OFFICE.

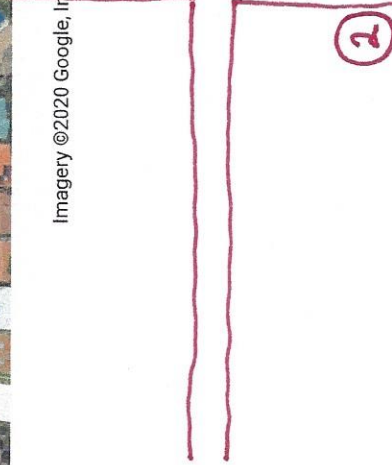
Job Number: 102080-SE      Rev.:  
 Drawn By: L.G.                      Rev.:  
 Date of Field Work: 03/04/2020      Rev.:

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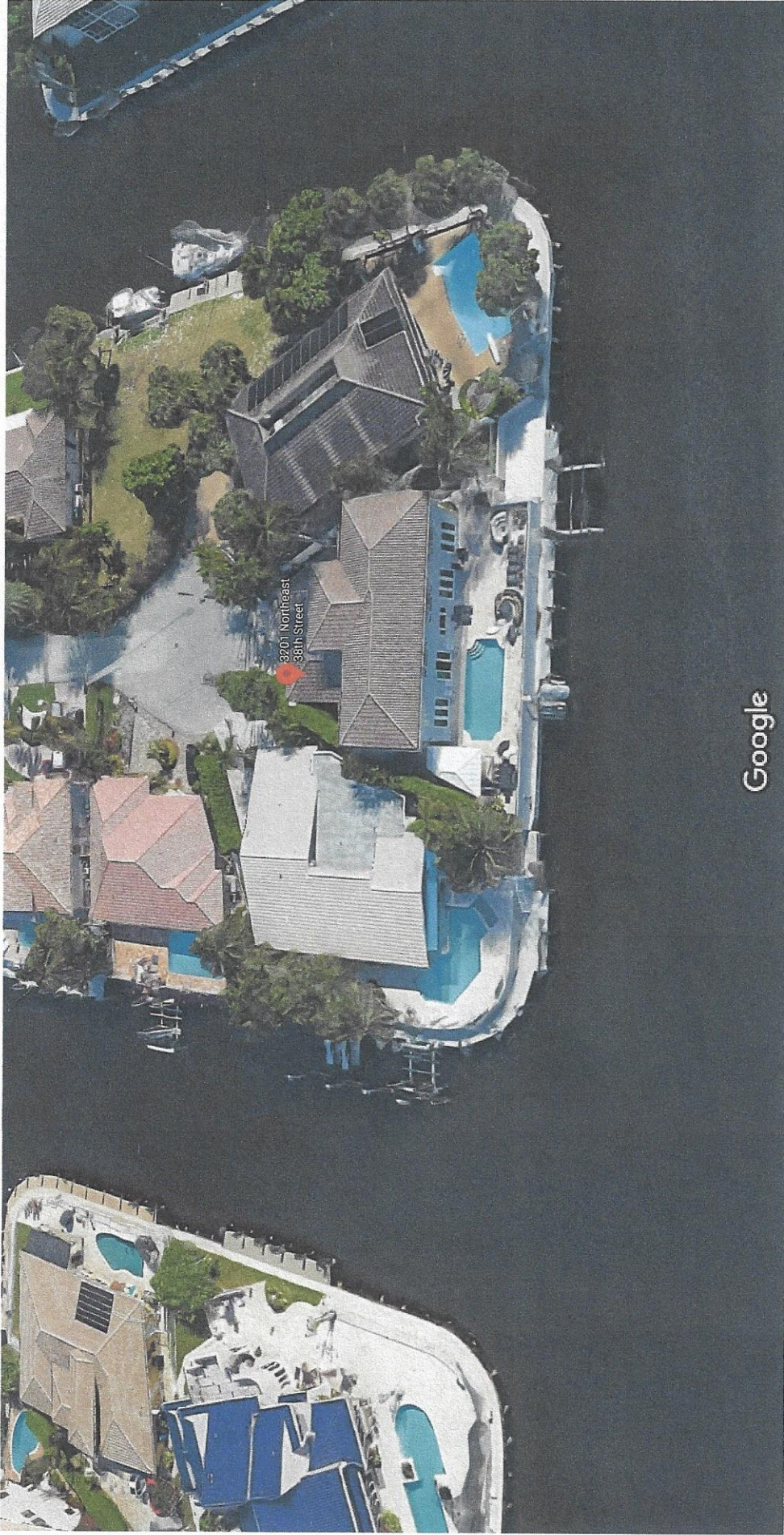
# Google Maps 3201 NE 38th St



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Google Maps 3201 NE 38th St



Google

Imagery ©2020 Google, Map data ©2020 20 ft

Google Maps Waterway View

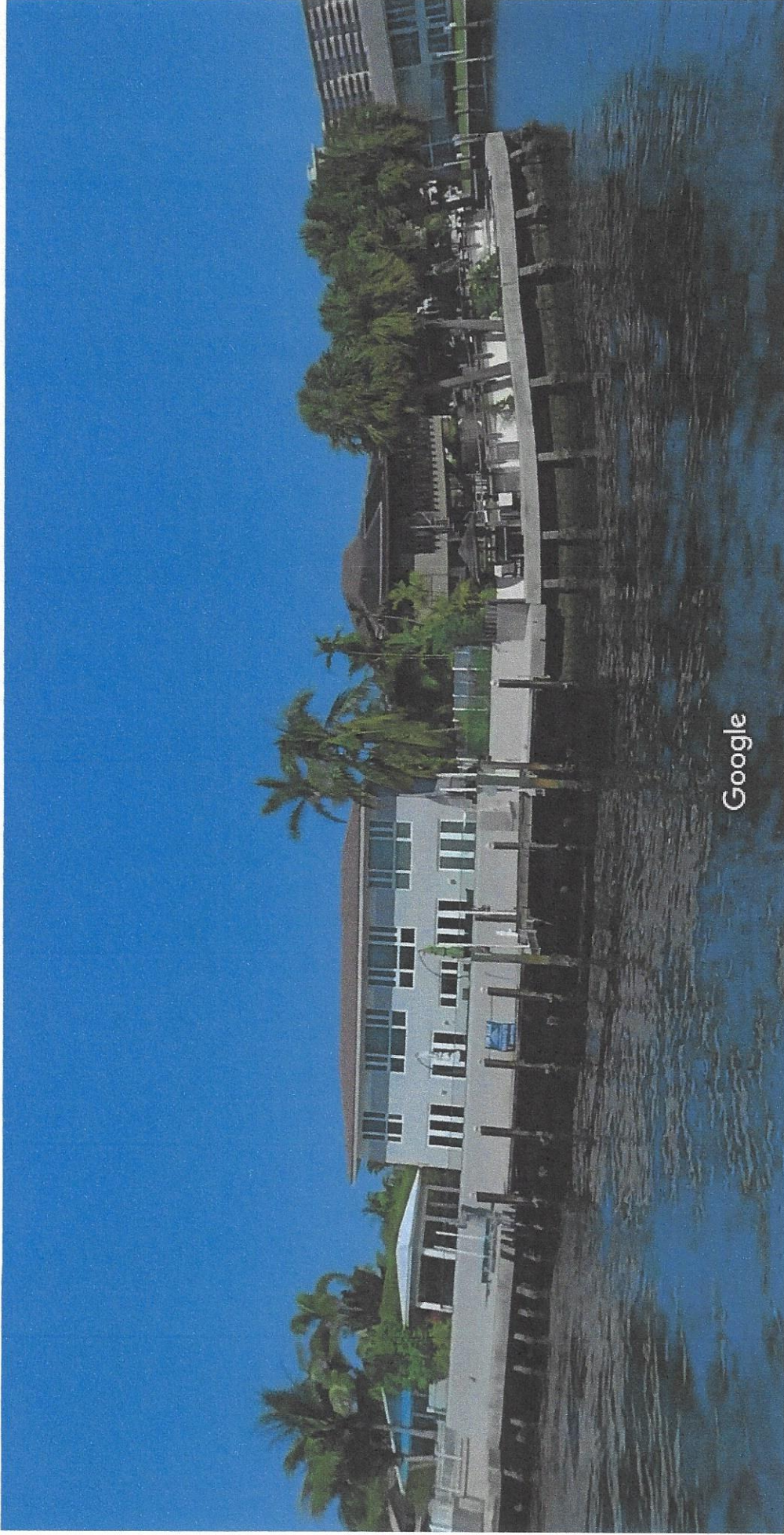
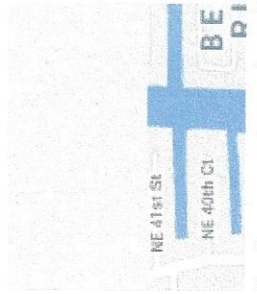
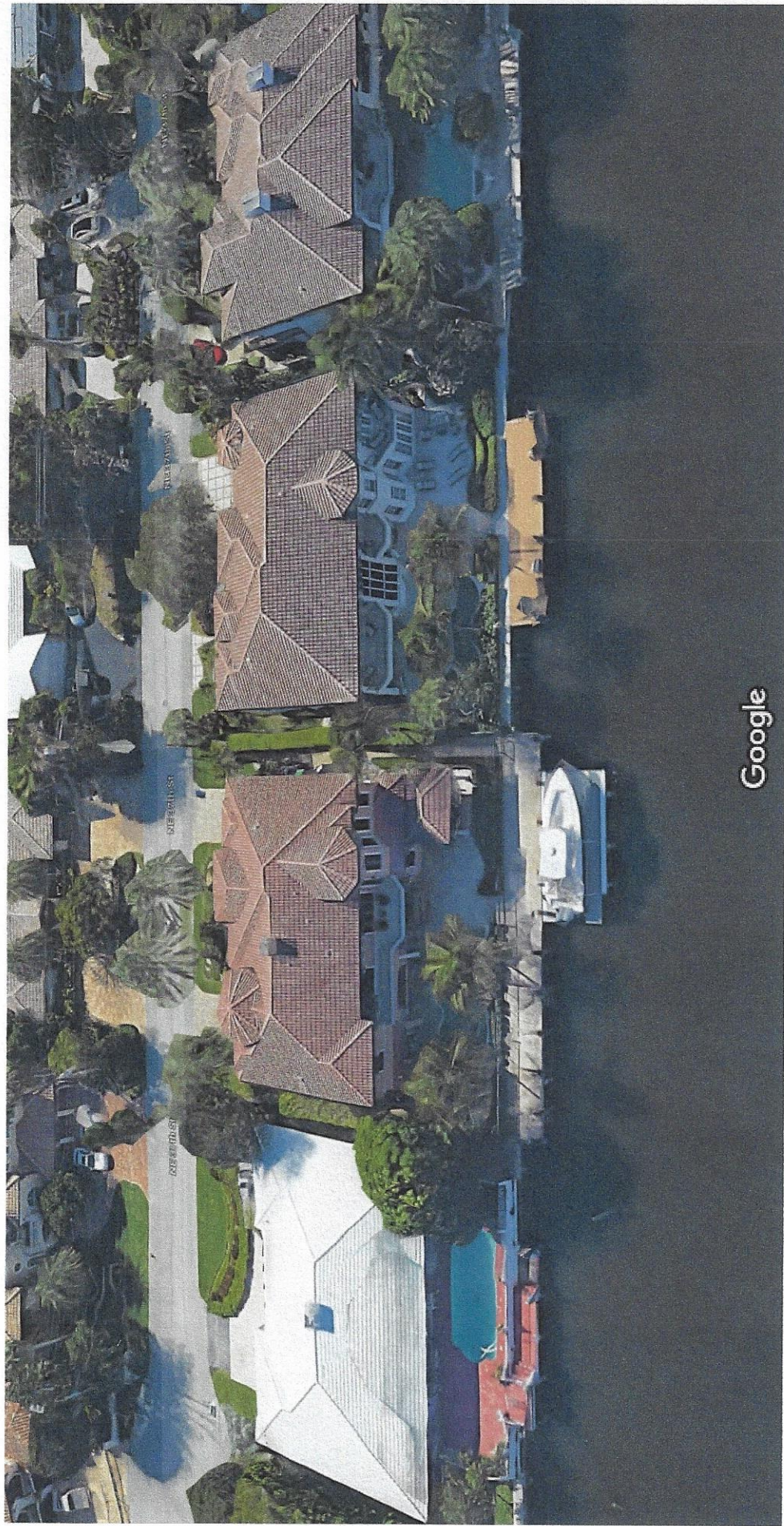


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Street View - Apr 2018



# Google Maps 3201 NE 38th St



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1

# Google Maps Waterway View

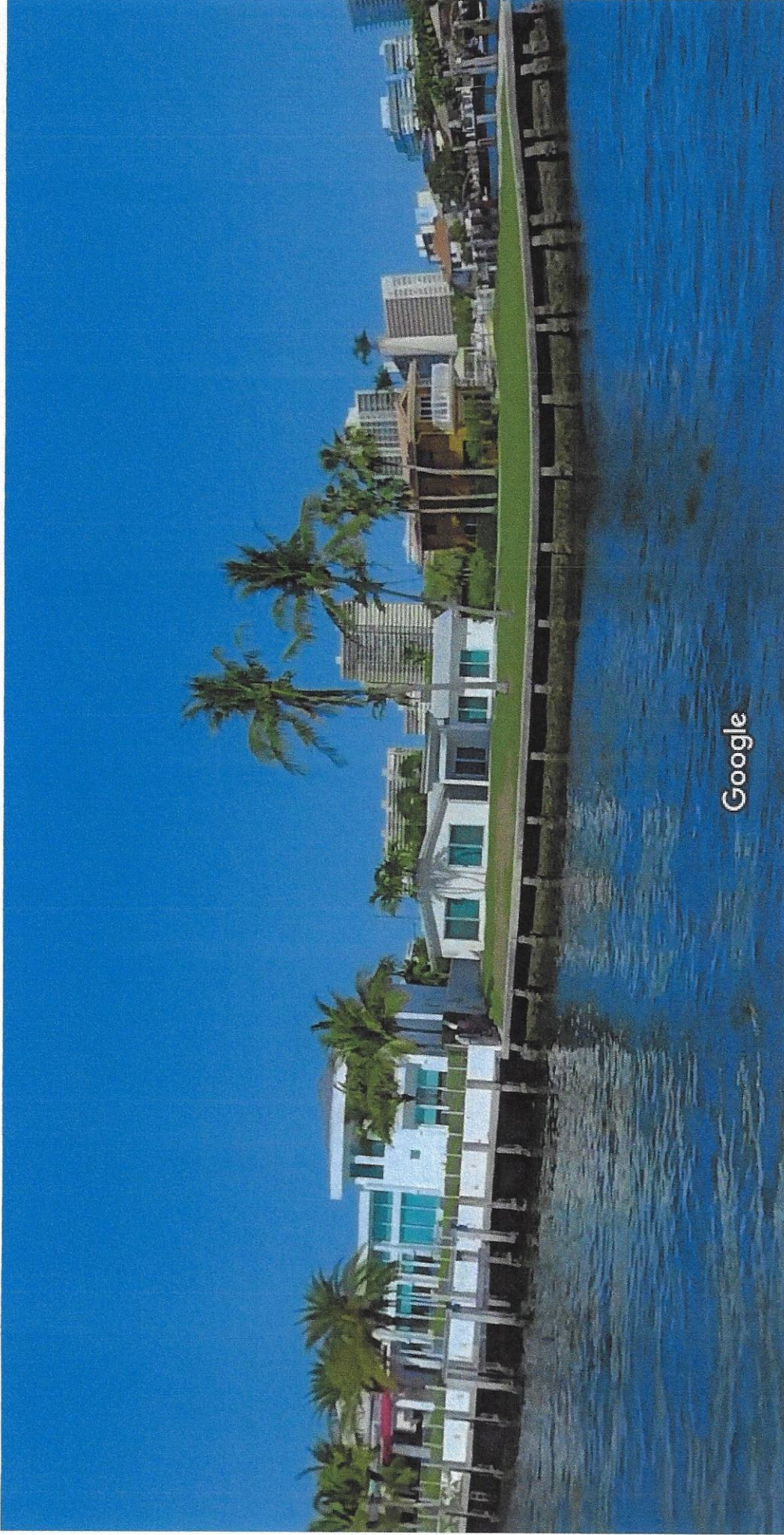
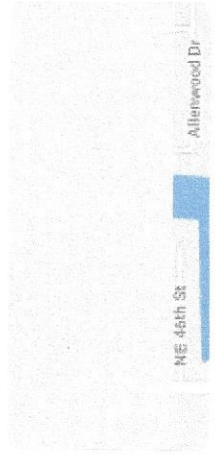


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2

Google Maps Waterway View

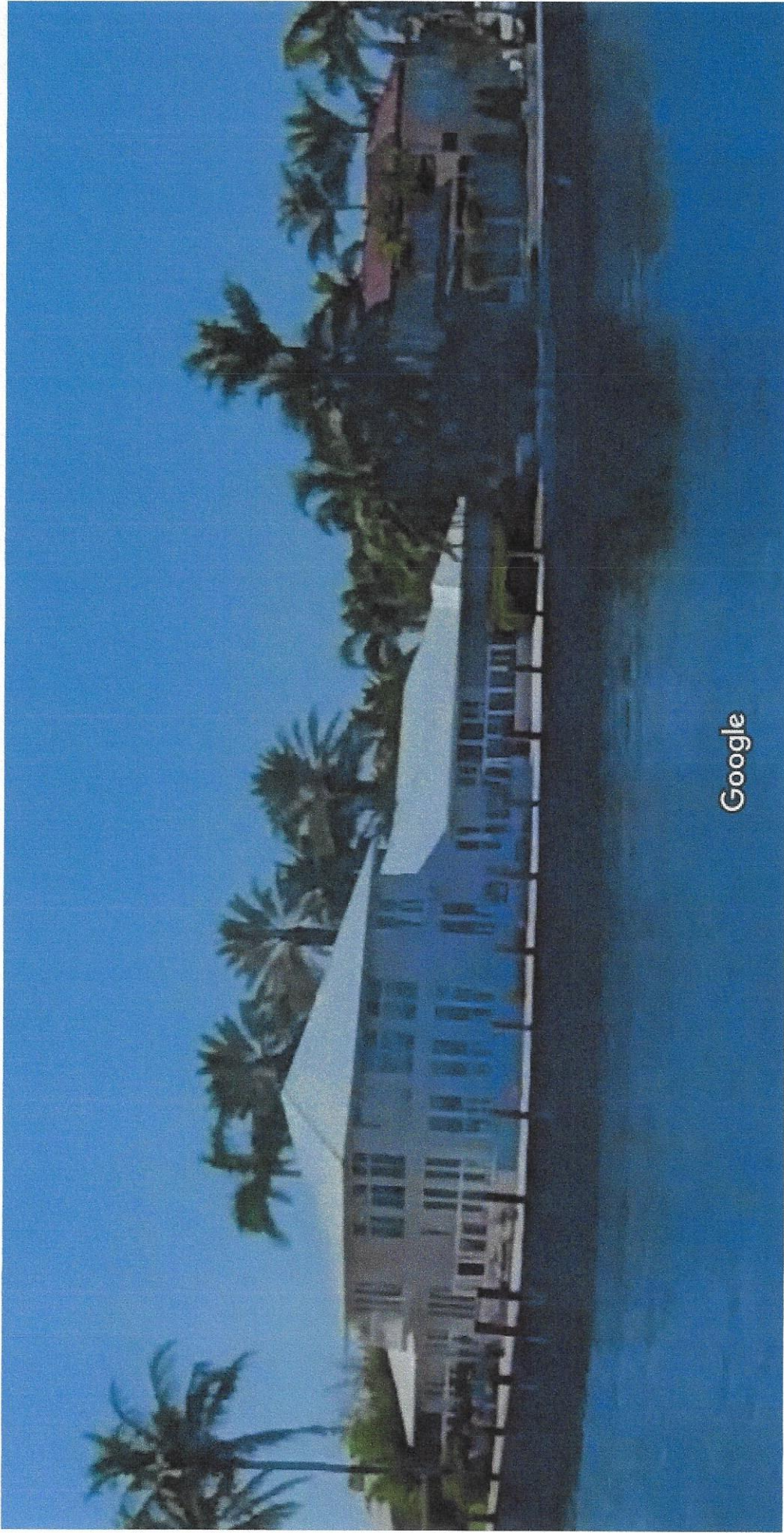
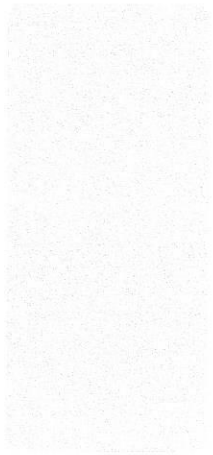


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3

Google Maps 3201 NE 38th St



Google

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10 ft

4

# Google Maps Waterway View

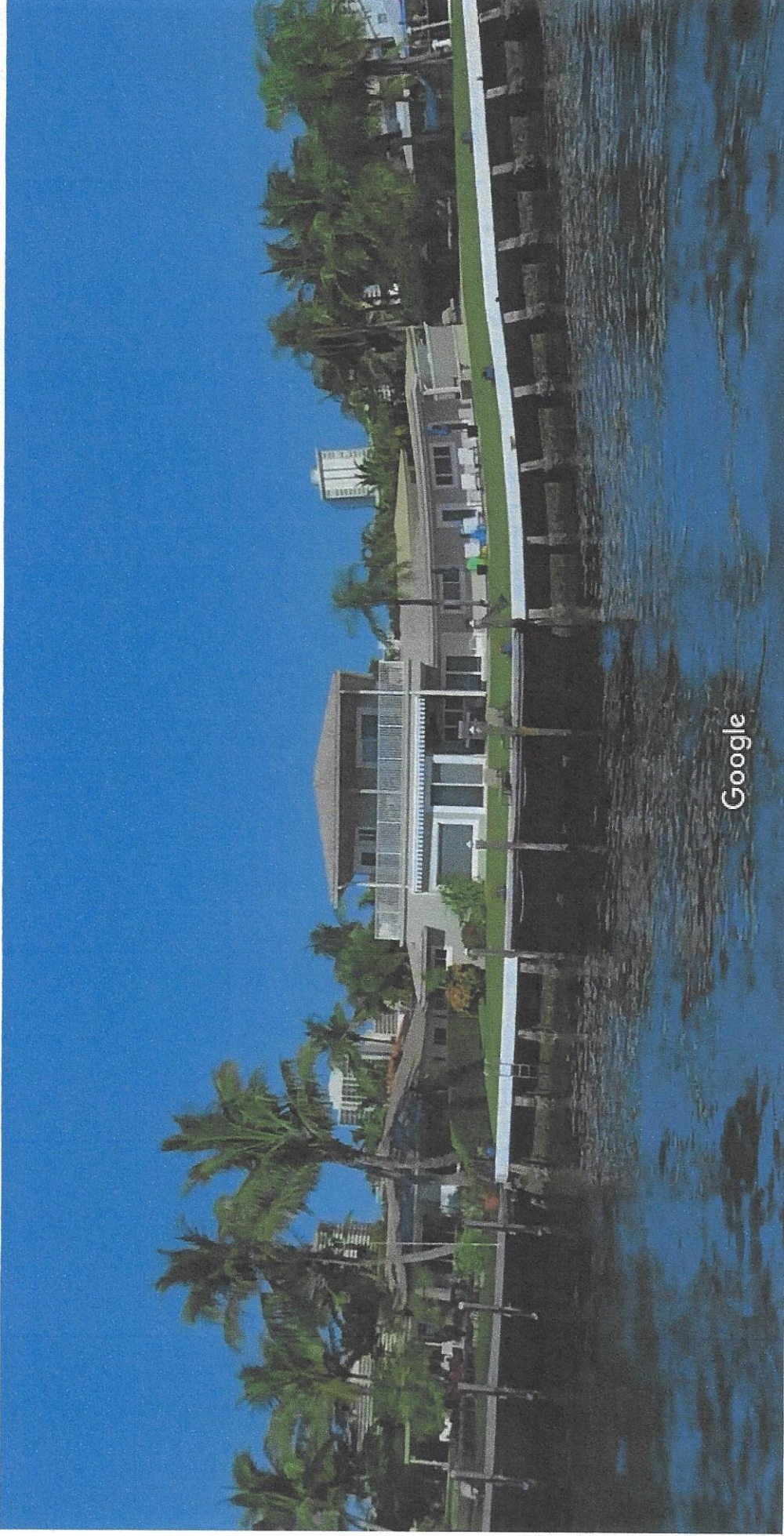


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Google Maps Waterway View



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Google Maps Waterway View

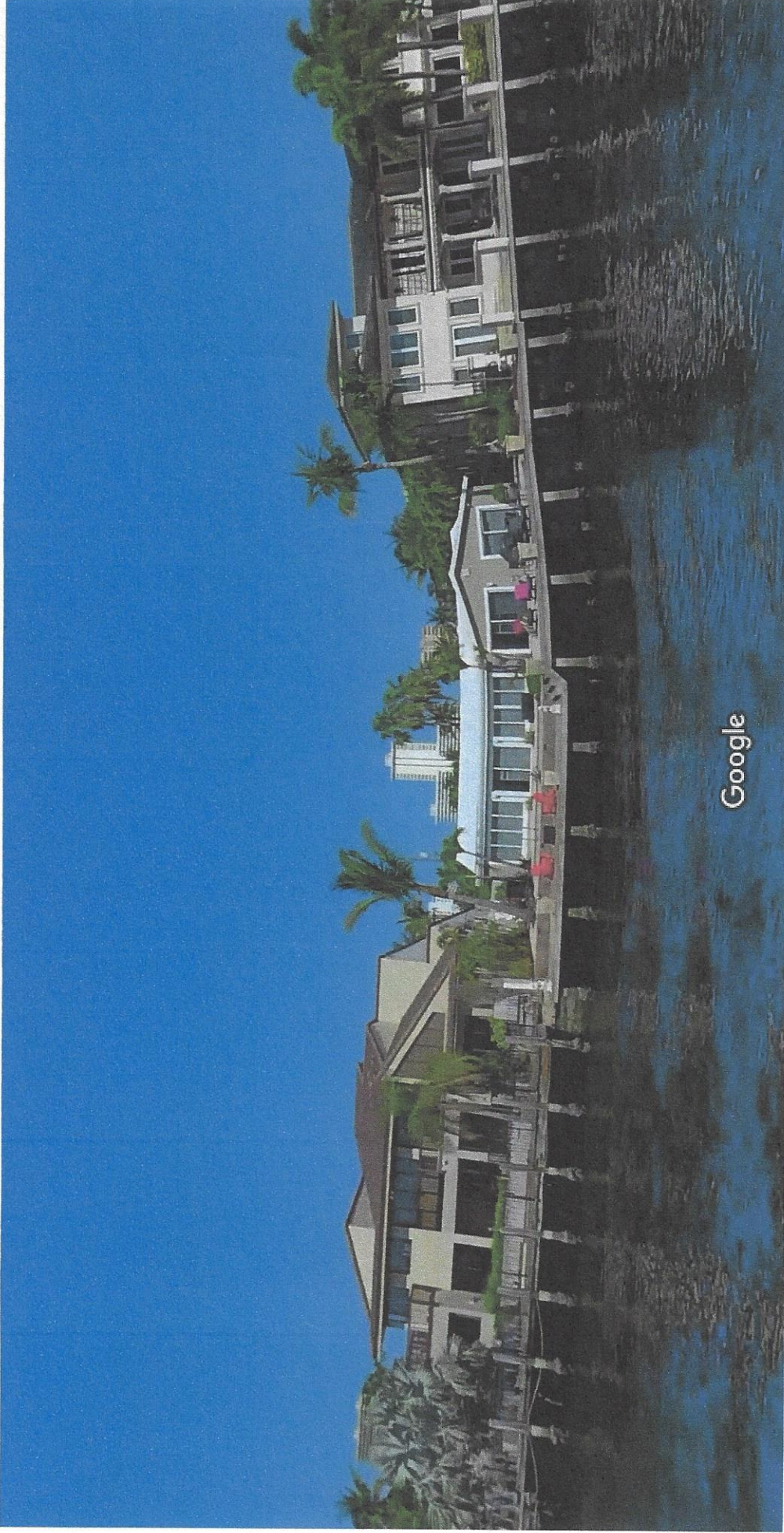
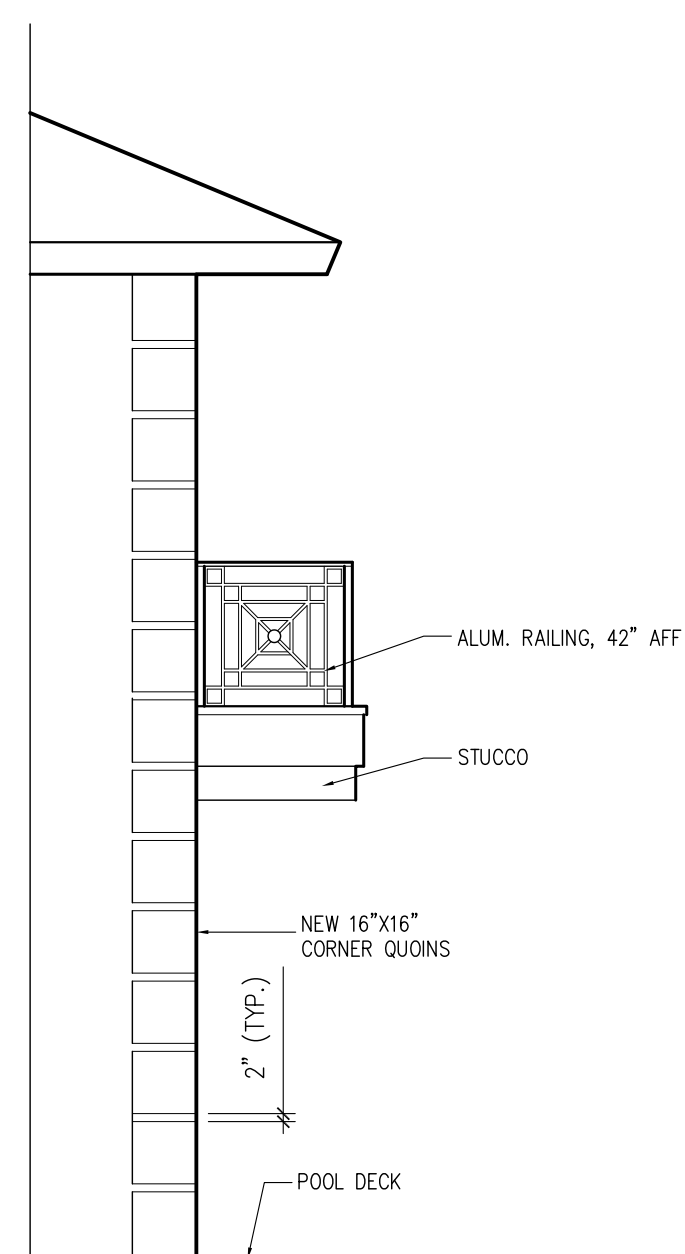


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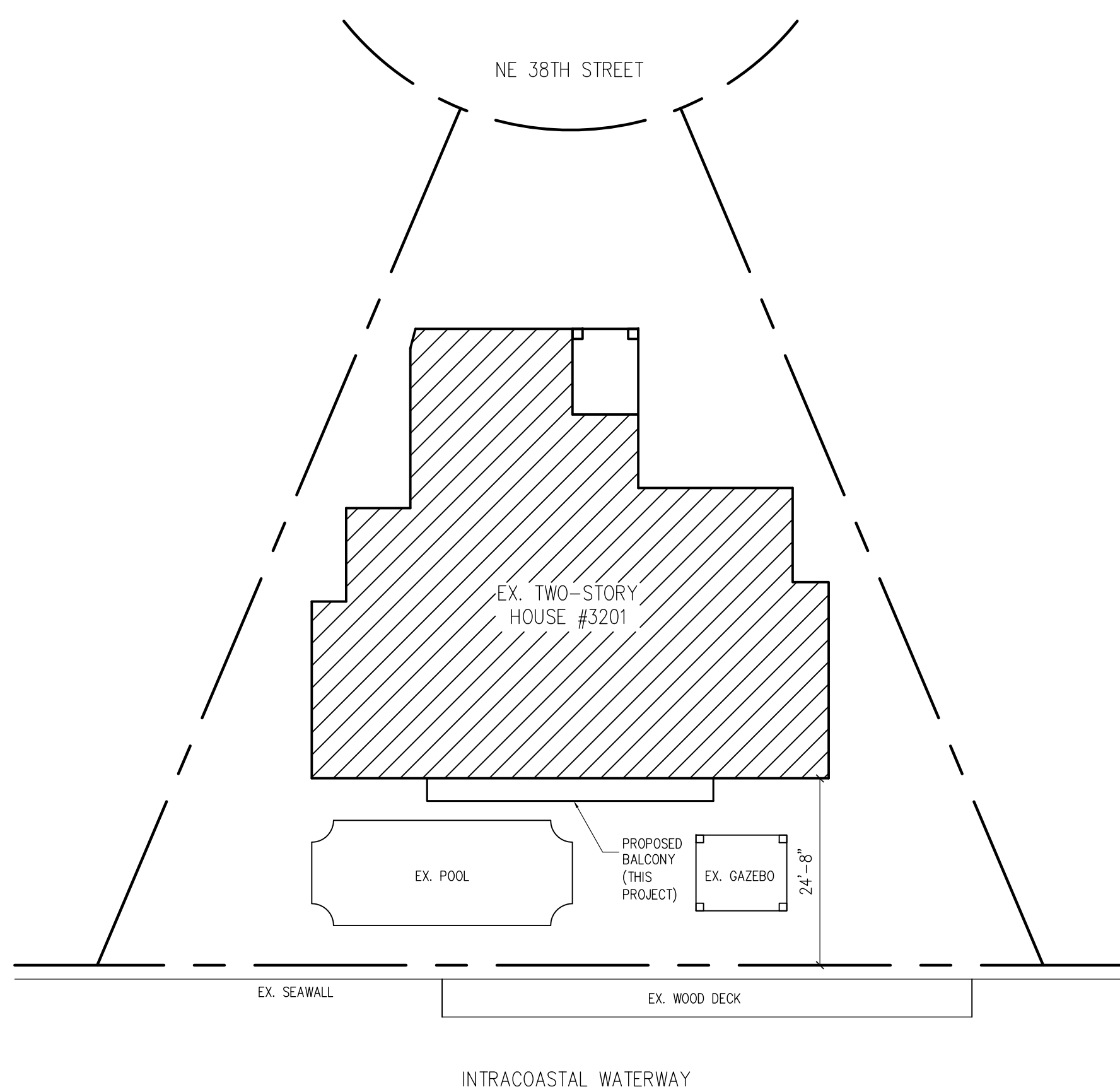


5 SOUTH/NORTH ELEVATION - PARTIAL  
SCALE= 1/4" = 1'-0"

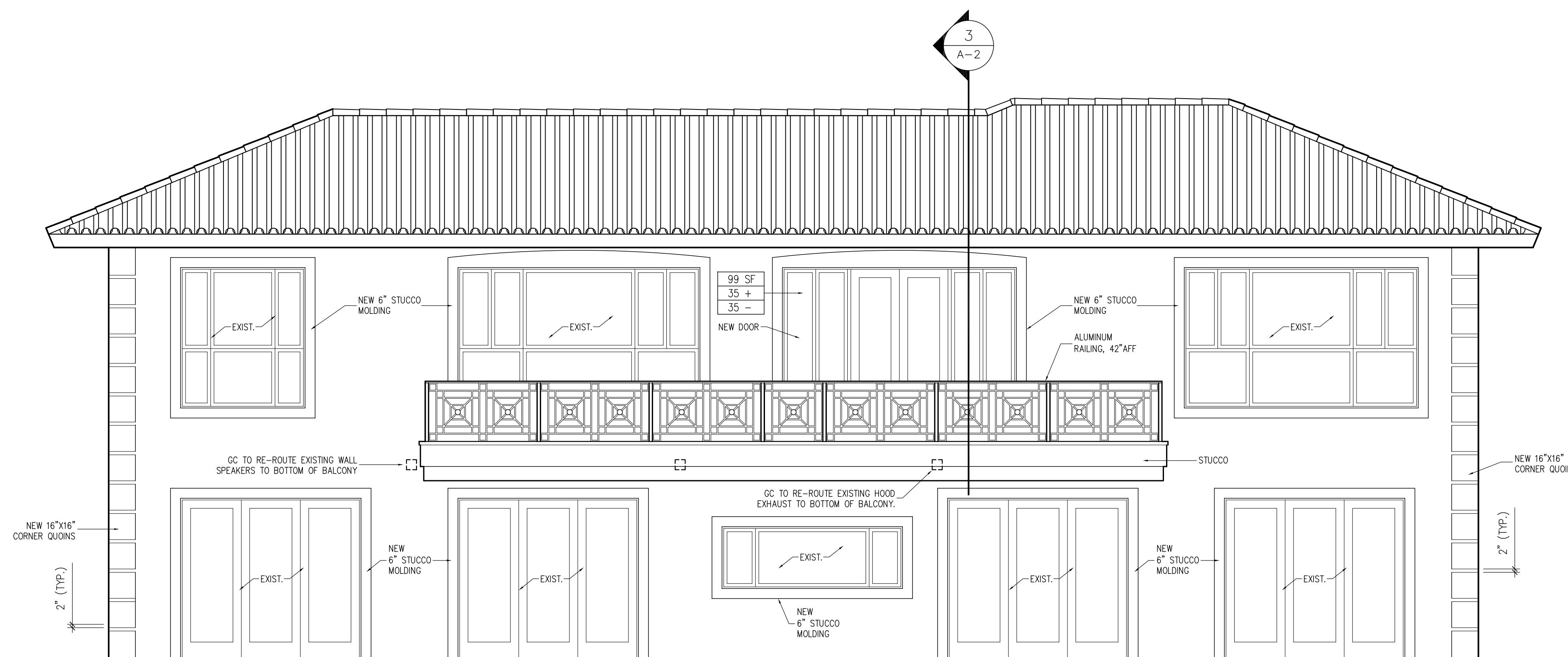
DOOR SCHEDULE							
MARK	LOCATION	DOOR		FRAME		ROUGH OPENING	NOTES
		TYPE	MAT.	SIZE	MAT.		
D-1	DEN (2ND FLOOR)	SW	AL	136"x100"	AL	140"x102"	BY MANUF. 1, 2

LEGEND: SW - SWING  
AL - ALUMINUM

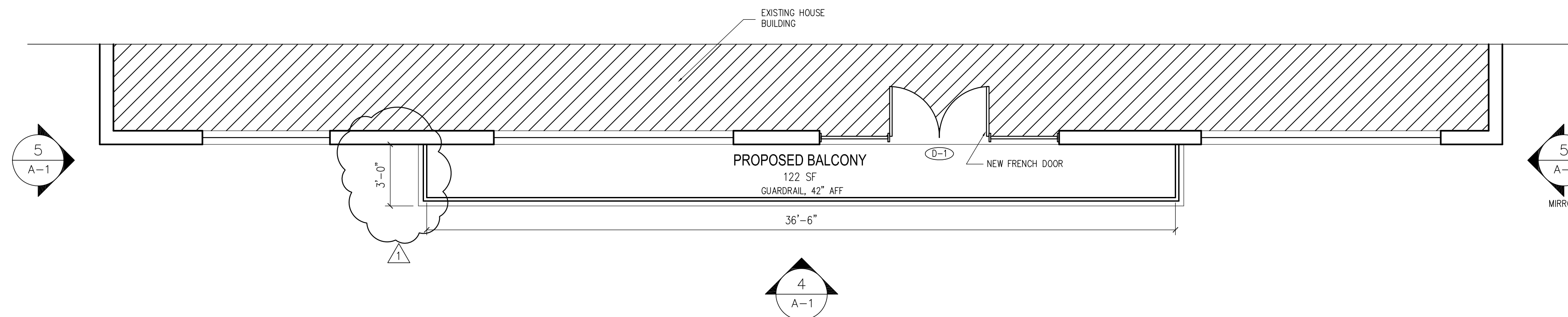
NOTES: 1- MISSILE IMPACT RESISTENT  
2- SECURITY LOCK



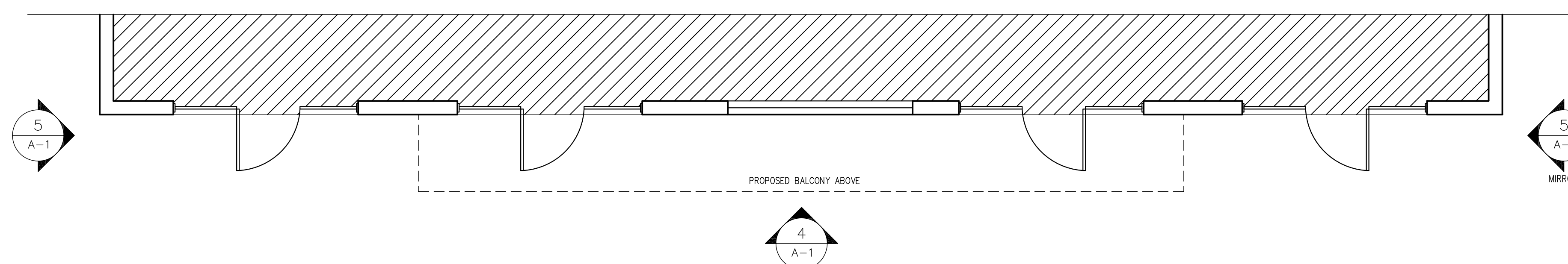
1 SITE PLAN  
SCALE= 1/16" = 1'-0"



4 WEST ELEVATION  
SCALE= 1/4" = 1'-0"



3 SECOND FLOOR PLAN - PARTIAL  
SCALE= 1/4" = 1'-0"



2 FIRST FLOOR PLAN - PARTIAL  
SCALE= 1/4" = 1'-0"

### PROJECT DATA:

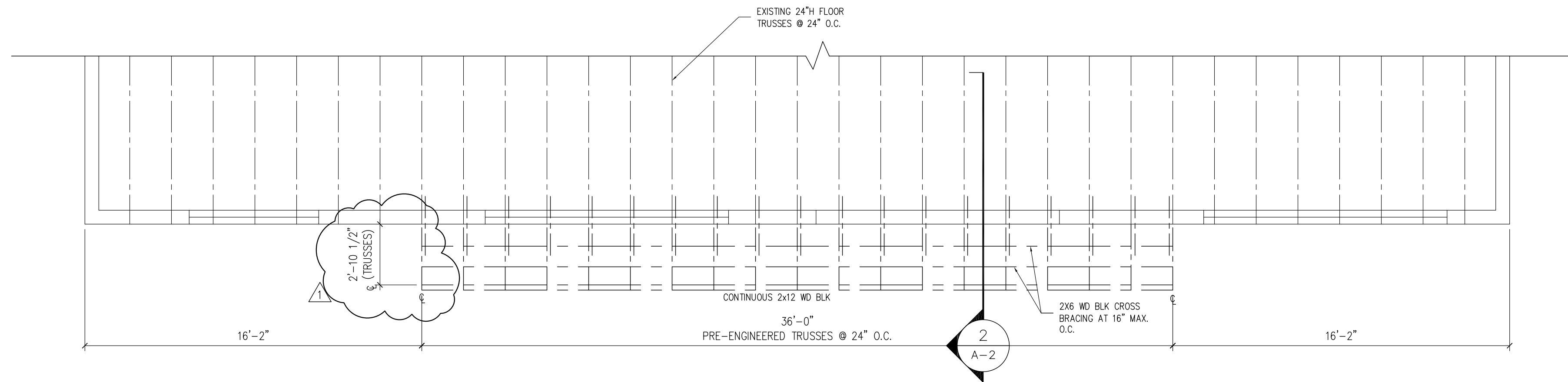
AGENCY OF JURISDICTION:  
- CITY OF FORT LAUDERDALE, DEPARTMENT OF BUILDING SERVICES;

SCOPE OF WORK:  
- NEW BALCONY, FRENCH DOOR, AND OPENINGS DECORATIVE STUCCO MOLDING  
- ALTERATION LEVEL 2

APPLICABLE CODES:  
- THE FLORIDA BUILDING CODES, 6TH EDITION  
- THE FLORIDA FIRE PREVENTION CODE, 6TH EDITION;  
NFPA 1 (2015 EDITION), NFPA 101 (2015 EDITION);  
- NATIONAL ELECTRICAL CODE, EDITION 2017.

OCCUPANCY USE:  
- SINGLE FAMILY RESIDENCE

TYPE OF CONSTRUCTION:  
- TYPE IV-B



**1 FLOOR FRAMING PLAN**  
SCALE= 1/4" = 1'-0"

### BALCONY PLAN NOTES

- PRE-ENGINEERED FLOOR TRUSSES PER MANUFACTURER AT 24" O.C.
- STRUCTURAL LUMBER TO BE DETAILED, FABRICATED AND ERECTED PER AITC TIMBER CONSTRUCTION MANUAL AND NDS SPECIFICATION FOR WOOD CONSTRUCTION
- LUMBER SHALL BE No 2 SOUTHERN PINE, KILN DRIED, WITH A MAX. MOISTURE CONTENT OF 19% (DRY SERVICE CONDITION) OR EQUIVALENT.
- TEMPORARY AND PERMANENT BRACING OF WOOD TRUSSES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE BRACING OF WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE.
- TRUSS MANUFACTURER TO PROVIDE ALL TEMPORARY AND PERMANENT BRACING FOR TRUSSES. PROVIDE MINIMUM PERMANENT LATERAL BRACING AT 6 FT CENTERS ATTACHED TO THE TRUSS BOTTOM CHORD.
- TRUSS PLATES SHALL BE OF GALVANIZED STEEL AND SHALL BE APPLIED TO BOTH FACES OF THE MEMBERS BEING CONNECTED.
- MINIMUM LUMBER SIZE FOR TRUSS CHORDS SHALL BE 2x4 NOM.
- WEB MEMBER SIZE PER THE TRUSS MANUFACTURER.
- DEFLECTION OF TRUSSES SHALL BE AS FOLLOWS:  
LIVE LOAD DEFLECTION SPAN/360
- WOOD ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS, IN ADDITION TO THE WIND LOADS ON THIS DRAWING AND THE SELF WEIGHT OF THE TRUSS:  
DEAD LOAD TOP CHORD 15 PSF  
DEAD LOAD BOTTOM CHORD 5 PSF  
LIVE LOAD TOP CHORD 20 PSF  
LIVE LOAD BOTTOM CHORD 0 PSF
- THE MAXIMUM DEAD LOAD RESISTING UPLIFT SHALL BE 8 PSF.
- TRUSS REACTIONS, FROM TRUSS MANUFACTURER'S CALCULATIONS, SHALL BE USED TO DETERMINE REQUIRED CONNECTOR TO BOND BEAM.

### GUARD STRUCTURAL NOTES

GUARDS STRUCTURAL STRENGTH

- SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF 250 lb SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.
- TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF 250 lb PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF 250 lb SHALL BE LESS THAN ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND THE SUPPORTING STRUCTURE.

### DESIGN CRITERIA

DESIGN LOADING PER FBC 2017, WIND LOADS PER ASCE 7 10  
DEAD LOAD= 15 psf  
LIVE LOAD= 40 psf  
WIND DESIGN PER ASCE 7.10  
- BASIC ULTIMATE WIND SPEED= 170 MPH (132 MPH ASD)  
- EXPOSURE C, RISK CATEGORY II  
- WIND DIRECTIONALITY FACTOR Kd = 0.85  
- ULTIMATE VELOCITY PRESSURE= 54 psf  
- INTERNAL PRESSURE COEFFICIENT= +/-0.18  
- LUMBER SHALL BE No 2 SOUTHERN PINE, KILN DRIED, WITH A MAX. MOISTURE CONTENT OF 19% (DRY SERVICE CONDITION) OR EQUIVALENT.  
- ULT WIND PRESSURE = 54 PSF  
- WIND ZONE α = 3'-0"

WALL WIND ZONES:

5	4	5
α		

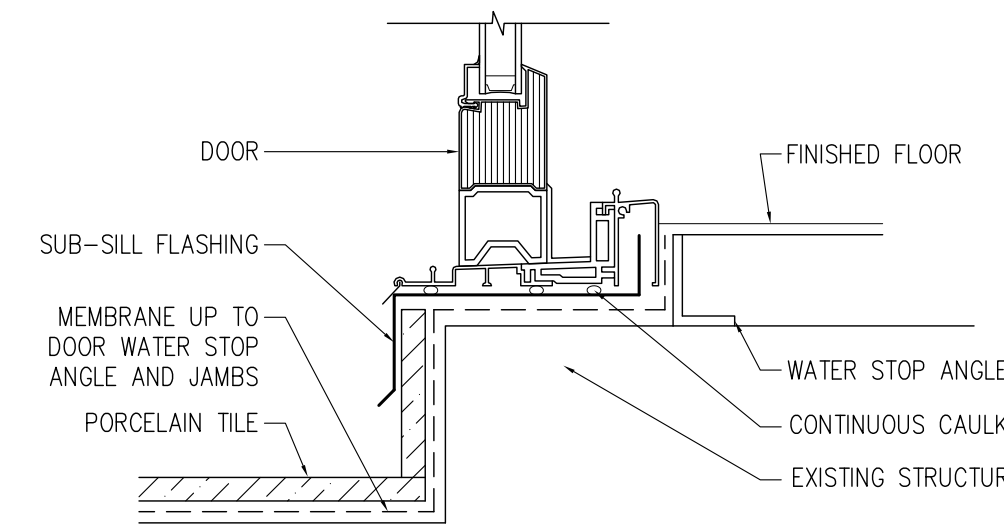
COMPONENTS AND CLADDING DESIGN

EFFECTIVE AREA OF COMPONENT/ OPENING (SQ. FT.)	100
WALL ZONE	4&5
4	PRESSURE psf 58
4	SUCTION psf -58
5	SUCTION psf -71

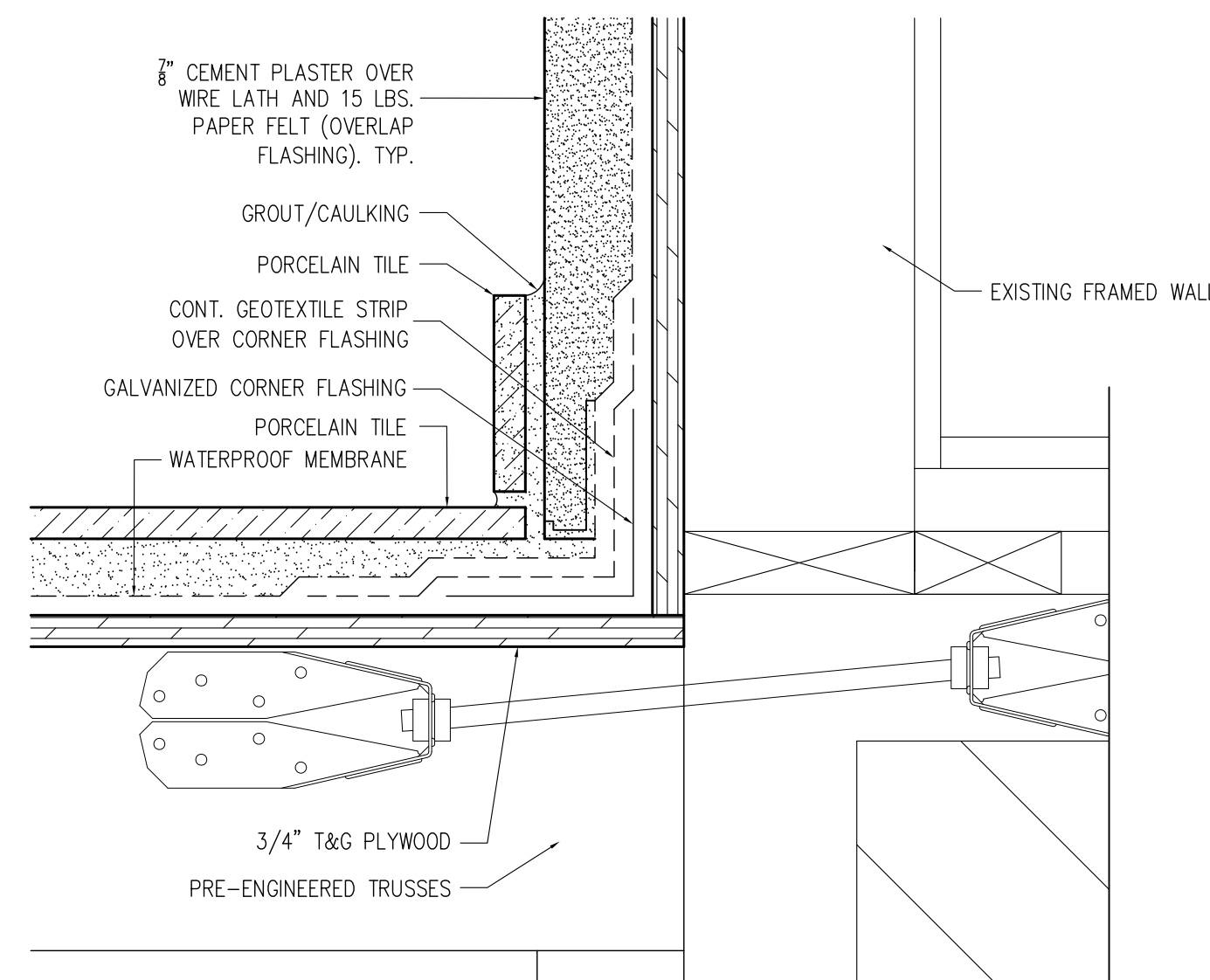
TABLE 4: ULTIMATE SUCTION/PRESSURE ON WALLS, WINDOWS AND DOORS

EFFECTIVE AREA OF COMPONENT/ OPENING (SQ. FT.)	100
WALL ZONE	4&5
4	PRESSURE psf 35
4	SUCTION psf -35
5	SUCTION psf -43

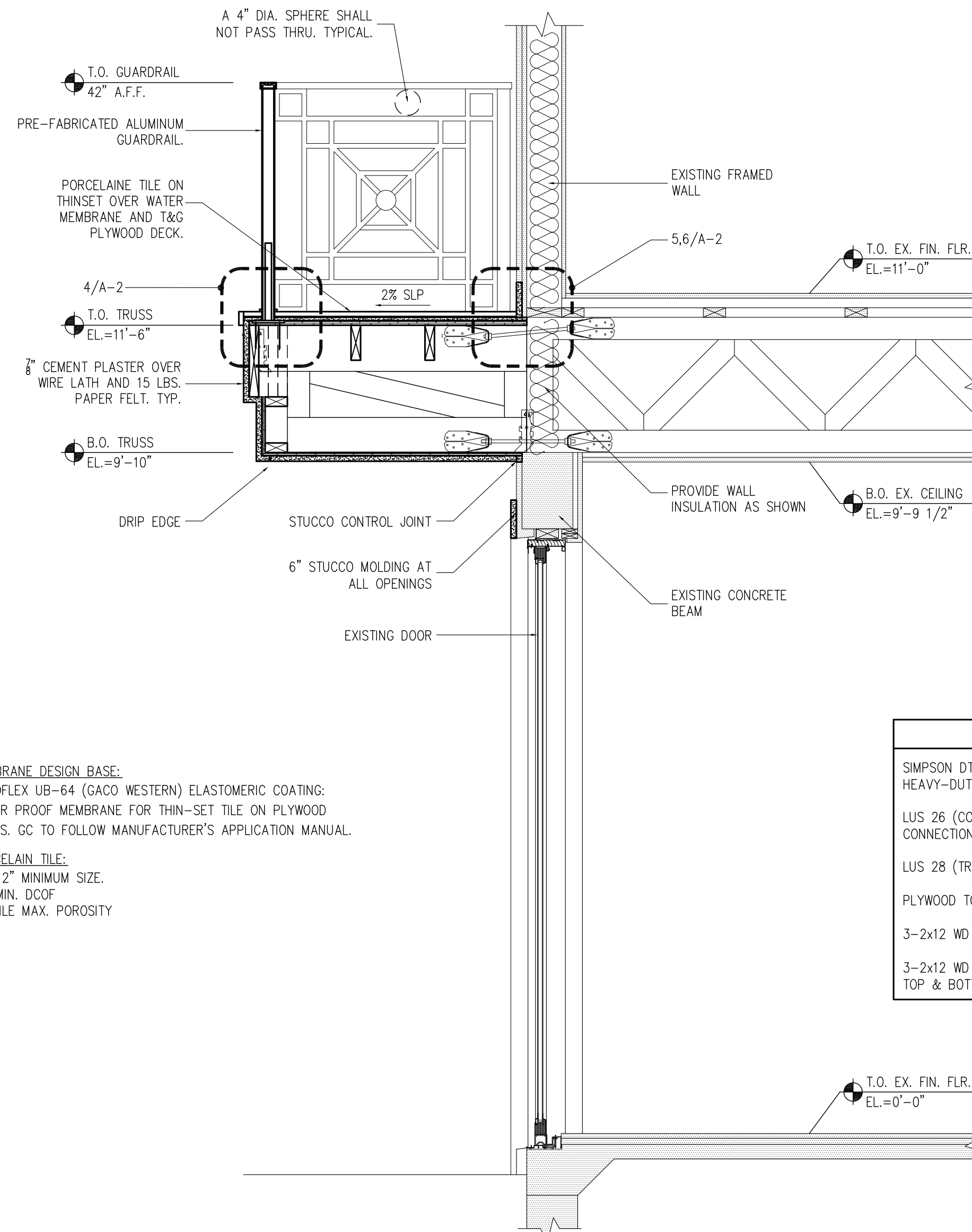
TABLE 3: SERVICE SUCTION/PRESSURE ON WALLS, WINDOWS AND DOORS



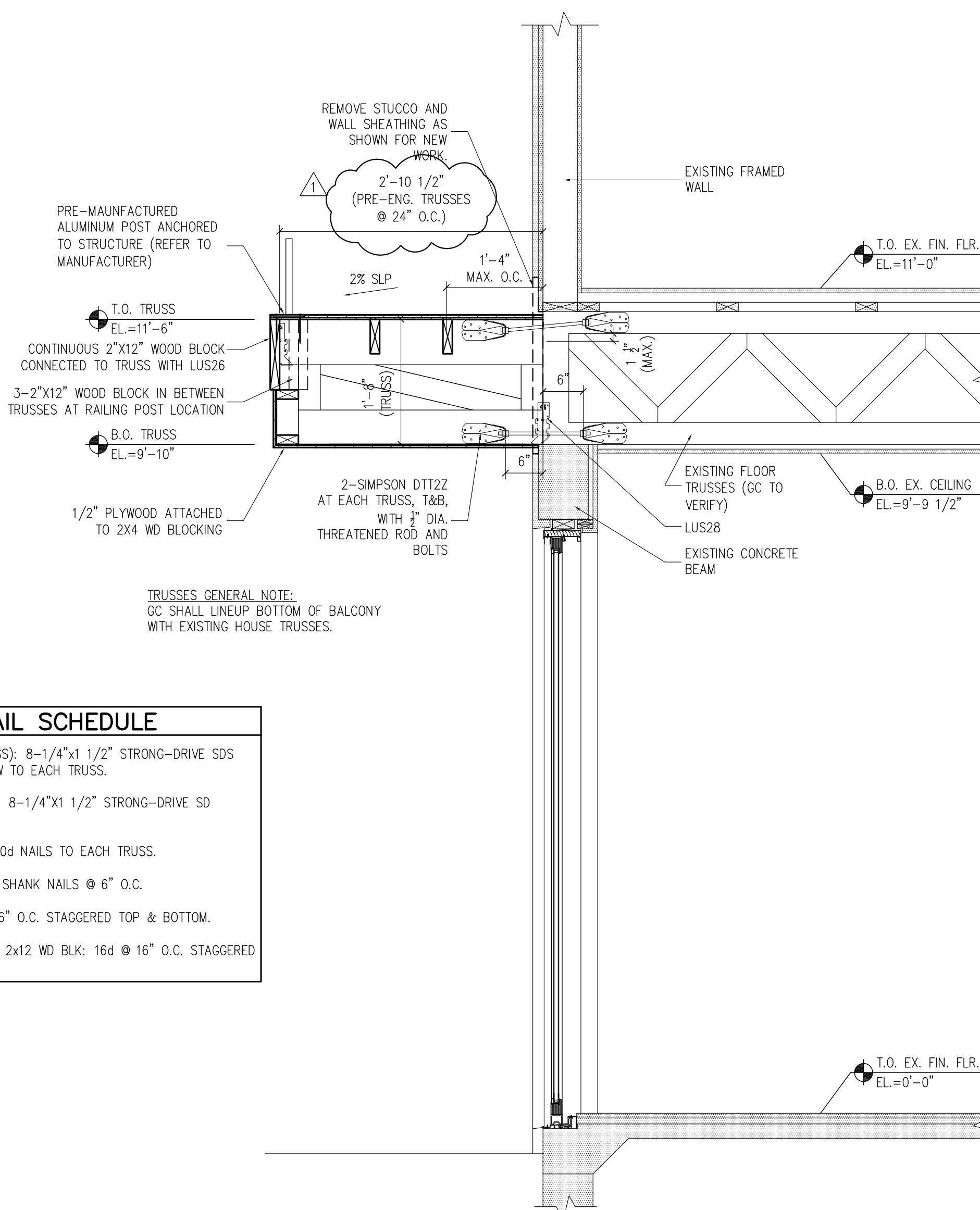
**6 DETAIL**  
SCALE= 3" = 1'-0"



**5 DETAIL**  
SCALE= 3" = 1'-0"



**3 WALL SECTION**  
SCALE= 3/4" = 1'-0"



**2 SECTION**  
SCALE= 3/4" = 1'-0"

### SCREW/NAIL SCHEDULE

SIMPSON DTT2Z (TRUSS TO TRUSS): 8-1/4"x1 1/2" STRONG-DRIVE SDS HEAVY-DUTY CONNECTION SCREW TO EACH TRUSS.

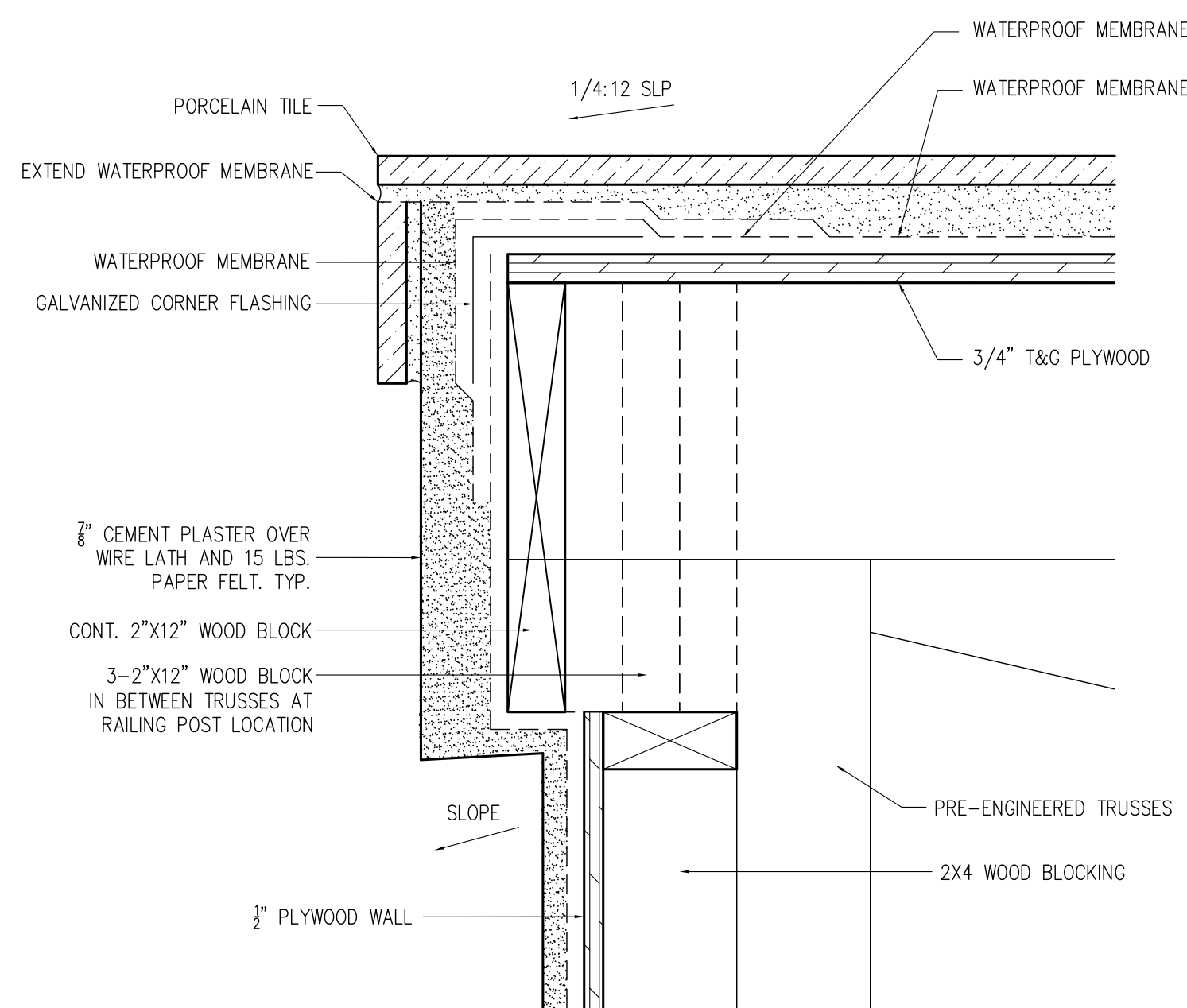
LUS 26 (CONT. 2X12 TO TRUSS): 8-1/4"x1 1/2" STRONG-DRIVE SD CONNECTION SCREW

LUS 28 (TRUSS TO TRUSS): 6-10d NAILS TO EACH TRUSS.

PLYWOOD TO TRUSSES: 8d RING SHANK NAILS @ 6" O.C.

3-2x12 WD BLK: 16d NAILS @ 16" O.C. STAGGERED TOP & BOTTOM.

3-2x12 WD BLK TO CONTINUOUS 2x12 WD BLK: 16d @ 16" O.C. STAGGERED TOP & BOTTOM.



**4 DETAIL**  
SCALE= 3" = 1'-0"

MEMBRANE DESIGN BASE:  
GACOFLEX UB-64 (GACO WESTERN) ELASTOMERIC COATING;  
WATER PROOF MEMBRANE FOR THIN-SET TILE ON PLYWOOD DECKS. GC TO FOLLOW MANUFACTURER'S APPLICATION MANUAL.

PORCELAIN TILE:  
12"x12" MINIMUM SIZE.  
.60 MIN. DCOF  
3% TILE MAX. POROSITY