



BOARD OF ADJUSTMENT VIRTUAL MEETING NOTICE: BOARD OF ADJUSTMENT

August 28, 2020

A Public Hearing will be held before the Board of Adjustment on: Wednesday, September 9, 2020 at 6:30 P.M.

This meeting will be held virtually, to determine whether the following application should be granted. To view more information about this item, please visit: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA).

**CASE:** PLN-BOA-20030003  
**OWNER:** D'OFFAY, DAPHNE C & GERARD M  
**AGENT:** GERARD M. D'OFFAY  
**ADDRESS:** 2730 SW 19 STREET, FORT LAUDERDALE, FL 33312  
**LEGAL DESCRIPTION:** BEL-TER 42-48 B LOT 28  
**ZONING:** RS-8  
**COMMISSION DISTRICT:** 4  
**REQUESTING:** **Sec. 47-5.31 -Table of dimensional requirements for the RS-8 district**

Requesting a variance from the 15 feet minimum rear yard requirement of Section 47-5.31 Table of Dimensional Requirements to allow a covered patio roof constructed without a permit to remain at a rear yard setback of 2 feet, a total maximum variance request of 13 feet.

The virtual meeting will be accessible through the City's local government access channel FLTV at: [www.fortlauderdale.gov/FLTV](http://www.fortlauderdale.gov/FLTV).

Should you desire to speak on this item, please fill out the speaker form available at this link on the City's website: [www.fortlauderdale.gov/government/BOA](http://www.fortlauderdale.gov/government/BOA).

You may also email comments to: Chakila Crawford-Williams regarding Case: **PLN-BOA- 20030003**  
**Send email to: [chcrawfordl@fortlauderdale.gov](mailto:chcrawfordl@fortlauderdale.gov).**

**MOHAMMED MALIK**  
**ZONING ADMINISTRATOR**

Florida Statutes, Sec. 286.0105

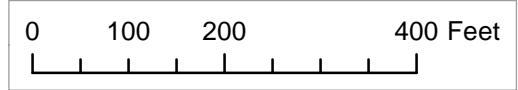
NOTE: If any person decides to appeal any decision made with respect to any matter considered at this public meeting or hearing, he/she will need a record of the proceedings, and for such purpose, he/she may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be based.





# PLN-BOA-20030003

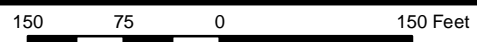
Path: J:\DSD\DRCLocationMaps\_16\_RM\ArcMap\BOA20200909\PLN-BOA-20030003Map.mxd



Graphic Scale







**MARTY KIAR**  
**BROWARD COUNTY PROPERTY APPRAISER**



**2730 SW 19th St**



Sec. 47-5.31. - Table of dimensional requirements for the RS-8 district. (Note A)

Requirements	RS-8	RS-8A
Maximum density	8.0 du/net ac.	8.0 du/net ac.
Minimum lot size	6,000 sq. ft.	6,000 sq. ft.
Maximum structure height	35 ft.	28 ft.
Maximum structure length	None	None
Minimum lot width	50 ft. *75 ft. when abutting a waterway on any side	50 ft. *75 ft. when abutting a waterway on any side
Minimum floor area	1,000 sq. ft.	1,000 sq. ft.
Minimum front yard	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.	25 ft. Special minimum front yard setbacks: Coral Isles—15 ft. Nurmi Isles—20 ft. Pelican Isles—20 ft.
Minimum corner yard	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway	25% of lot width but not greater than 25 ft. 25 ft. when abutting a waterway
Minimum side	5 ft. - up to 22 ft. in height	For a building with a height no

<p>yard</p>	<p>Where a building exceeds 22 ft. in height that portion of the building above 22 ft. shall be set back an additional 1 foot per foot of additional height.</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks 7.5 ft.:</p> <p>Coral Ridge Country Club Addition 4, P.B. 53 P. 29; Block G, Lots 1 thru 22; Block H, Lots 1 thru 10 and 16 thru 26; Block I; Block J.</p> <p>Gramercy Park, P.B. 57, P. 45, Block 1; and Block 2, Lots 1 thru 16.</p> <p>Coral Ridge Country Club Addition 3, P.B. 52 P. 14, Block A, Lots 1 thru 4; Block B, Lots 1 thru 4 and 7 thru 10; Block C, Lots 1 thru 4 and 7 thru 10; Block D, Lots 1 thru 8 and 11 thru 18; Block X, Lots 18 thru 20; Block J; Block K; Block L; Block M; Block N; Block O; Block P; Block Q; Block R; Block S; Block T.</p> <p>Golf Estates, P.B. 43, P. 26; Block 6; Block 7; Block 8; Block 9; Block 10; Block 11; Coral Ridge Country Club Subdivision P.B. 36 P. 30 Block F, Lots 1 thru 14; Block R, Lots 1 thru 8, 11 thru 18; Replat of Lots 11, 12, 13, 14 &amp; 15 of Block H Coral Ridge Country Club Addition 4, P.B. 63 P. 31 Parcels A, B, C; Gramercy Park, PB 57 P. 45 Block 2, Lots 17 and 18; Coral Ridge Country Club Addition No. 2 P.B. 44 PG 21 Block F, Lots 2 thru 19; Block E, Lots 1 thru 6 and 10 thru 16; Block C, Lots 2 thru 11; Block D, Lots 2 thru 4; Block B, Lot 2 and Lots 15 thru 25, and Bermuda-Riviera Subdivision of Galt Ocean Mile, P.B. 38 P. 46; Blocks A, C, D, E, F, G &amp; H; Bermuda-Riviera Subdivision of Galt Ocean, First Addition, P.B. 40 P.12: Blocks J, K, L &amp; M.</p>	<p>greater than 12 ft.- 5 ft.</p> <p>For a building with a height greater than 12 ft. - 7.5 ft.</p> <p>That portion of a building exceeding 12 ft. in height shall be set back an additional 2 feet per 1 foot of additional height</p> <p>25 ft. when abutting a waterway</p> <p>Special side yard setbacks as provided in RS-8</p>
<p>Minimum rear yard</p>	<p>15 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks: 15 ft. abutting waterway in the following subdivisions: Coral Ridge Isles</p>	<p>25 ft.</p> <p>25 ft. when abutting a waterway</p> <p>Special rear yard setbacks as</p>

	Flamingo Pk.—Section "C" & "D" Lakes Estates Golf Estates Imperial Pt.—4th Sec. The Landings Rio Nuevo Isle—Block 1			provided in RS-8	
Minimum distance between buildings	None			None	
	<i>Lot Size</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>	<i>**Maximum Lot Coverage</i>	<i>**Maximum Floor Area Ratio</i>
	≤7,500 sf	50%	0.75	40%	0.55
Lot coverage and FAR	7,501—12,000 sf	45%	0.75	35%	0.55
	>12,000 sf	40%	0.60	30%	0.50

Note A: Dimensional requirements may be subject to additional regulations, see Section 47-23, Specific Location Requirements, and Section 47-25, Development Review Criteria.

\*Allowances for modifications of lot widths may be permitted in accordance with the requirements of Section 47-23.10, Specific Location Requirements.

\*\*An increase in the maximum FAR or lot coverage may be permitted subject to the requirements of a site plan level III, see Section 47-24.2.

\*\*\*All other regulations relating to district RS-8 shall apply to RS-8A.

(Ord. No. C-97-19, § 1(47-5.4), 6-18-97; Ord. No. C-99-26, § 1, 4-20-99; Ord. No. C-99-62, § 1, 9-21-99; Ord. No. C-04-67, § 1, 1-4-05; Ord. No. C-08-05, § 3, 2-5-08)

Record #	Description	Application Name	Record Type	Balance	Planner	Street #	Dir	Street Name	Type	Opened Date	Status
PLN-BOA-20030003	Request Relief from rear setback for Patio Roof	Patio Reroof	Z- Board of Adjustment (BOA)	480		2730	SW	19 ST		3/6/2020	Open
BLD-RADD-19110014	2730 SW 19 ST-COVERED PATIO	2730 SW 19 ST-COVERED PATIO	Residential Addition Permit	0		2730	SW	19 ST		11/20/2019	Awaiting Client Reply
CE19061352	COVERED PATIO ADDITION - WOOD FENCE REPLACED - IN, THE BACK YARD A BOAT LIFT INSTALLED AND A NEW DOCK, WAS BUILT - ALL THE WORK W/O PERMITS., COVERED PATIO ADDITION - WOOD FENCE	D'OFFAY,DAPHNE C & GERARD M	Building Code Case	0	Jose Saragusti	2730	SW	19 ST		6/18/2019	Extension Granted
VIO-CE19061352_1	REPLACED - IN, THE BACK YARD A BOAT LIFT INSTALLED AND A NEW DOCK, WAS BUILT - ALL THE WORK W/O PERMITS.	D'OFFAY,DAPHNE C & GERARD M	Violation-BLD Hearing	0		2730	SW	19 ST		6/18/2019	Open
VIO-CE18102076_1	COVERED PATIO ADDITION - WOOD FENCE REPLACED - IN	D'OFFAY,DAPHNE C & GERARD M	Violation-CODE Hearing	0		2730	SW	19 ST		10/24/2018	Closed
CE18102076	TRAILER PARKED ON THE SIDEWALK FOR 5 DAYS,, BLOCKING THE WALK WAY	D'OFFAY,DAPHNE C & GERARD M	Code Case	0		2730	SW	19 ST		10/24/2018	Closed
VIO-CE18081615_1	FENCE IS PAST THE SETBACK , SHED IS RUSTY .	D'OFFAY,DAPHNE C & GERARD M	Violation-CODE Hearing	0		2730	SW	19 ST		8/21/2018	Closed
VIO-CE18081615_2	FENCE IS PAST THE SETBACK , SHED IS RUSTY .	D'OFFAY,DAPHNE C & GERARD M	Violation-CODE Hearing	0		2730	SW	19 ST		8/21/2018	Closed
CE18081615	FENCE IS PAST THE SETBACK , SHED IS RUSTY ., FENCE IS PAST THE SETBACK , SHED IS RUSTY .	D'OFFAY,DAPHNE C & GERARD M	Code Case	0		2730	SW	19 ST		8/21/2018	Closed
CE15032252	RIVER RUN-BULK TRASH OUT EARLY. POSTED THE, PROPERTY AND TOOK PHOTOS. ISSUED 48 HRS TO COMPLY.	D'OFFAY,DAPHNE C & GERARD M	Bulk Trash Case	0		2730	SW	19 ST		3/31/2015	Closed
VIO-CE15032252_1	RIVER RUN-BULK TRASH OUT EARLY. POSTED THE	D'OFFAY,DAPHNE C & GERARD M	Bulk Trash Case	0		2730	SW	19 ST		3/31/2015	Closed
	TILE AND FLAT REROOF 1900 SF										
	~										
	~										
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	~										
PM-13110493	~noc rcvd	TILE AND FLAT REROOF 1900 SF	Re-Roof Permit	0		2730	SW	19 ST		11/7/2013	Complete
PM-07121551	ABANDON SEPTIC CONNECT TO SEWER	ABANDON SEPTIC CONNECT TO SEWER	Plumbing Sewer Cap Permit	0		2730	SW	19 ST		12/27/2007	Complete
PM-06012348	REPLACE 17 WINDOWS IMPACT	REPLACE 17 WINDOWS IMPACT	Window and Door Permit	0		2730	SW	19 ST		1/25/2006	Complete
PM-05090425	RE-ROOF 1940SQ.FT. OF STEEP SLOPE SHINGLE ROOF	RE-ROOF 1940SQ.FT. OF STEEP SLOPE SHINGLE ROOF	Re-Roof Permit	0		2730	SW	19 ST		9/7/2005	Complete

## **Submittal Table of Contents**

- Completed Application
- Mail Notification Documents
  - Tax Roll within 300'
  - Tax Map
- Proof of Ownership
- Color Photographs
- Narrative Letter
- Signed and Sealed current survey
- Aerial Photo
- Site plan, aerial photo, and architectural plans



# SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING

## BOARD OF ADJUSTMENT (BOA) APPLICATION

Rev: 1 | Revision Date: 7/25/2019 | Print Date: 7/25/2019  
I.D. Number: Z&L-BOA

### BOARD OF ADJUSTMENT (BOA) Application

<b>Cover:</b>	Deadline, Notes, and Fees
<b>Page 1:</b>	Applicant Information Sheet
<b>Page 2:</b>	Variance Request Criteria
<b>Page 3:</b>	Required Documentation & Mail Notice Requirements
<b>Page 4:</b>	Sign Notice Requirements & Affidavit
<b>Page 5:</b>	Technical Specifications

**DEADLINE:** Submittals must be received prior to 4:00 PM each business day. Pursuant to Section 47-24.12, the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via e-mail, if plans do not meet the submittal requirements and if changes are required.

**NOTES:** Prior to formal submittal of applications, applicants are encouraged to schedule an appointment with Urban Design & Planning Division staff to obtain feedback regarding proposals. The meetings provide an opportunity for applicants to obtain feedback and general direction, prior to expending significant effort on preparation of submittal documents.

**FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

<input type="checkbox"/>	Variance / Interpretation: Before	\$ 480.00
<input checked="" type="checkbox"/>	Variance / Interpretation: After	\$ 600.00
<input type="checkbox"/>	Parking Variance (per space)	\$ 530.00
<input type="checkbox"/>	Request for Continuance	\$ 190.00
<input type="checkbox"/>	Rehearing before the Board	\$ 70.00
<input type="checkbox"/>	Request for Rehearing	\$ 240.00

**Page 1: BOA - Applicant Information Sheet**

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). While the information requested in this application is the minimum required to proceed please be aware additional information may be required to fully address the variance requested. The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

**NOTE:** To be filled out by Department

<b>Case Number</b>	
<b>Date of complete submittal</b>	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

<b>Property Owner's Name</b>	d'OFFAY, DAPHNE C & GERARD M
<b>Property Owner's Signature</b>	<i>(Signature)</i> <small>If a signature is provided, no signature is required on the application by the owner.</small>
<b>Address, City, State, Zip</b>	2730 SW 19 ST., Fort Lauderdale FL 33312
<b>E-mail Address</b>	gerard.universalcanvasllc.com
<b>Phone Number</b>	1-954-439-4549
<b>Proof of Ownership</b>	<input checked="" type="checkbox"/> Warranty Deed <u>or</u> <input checked="" type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

<b>Applicant / Agent's Name</b>	GERARD M d'OFFAY
<b>Applicant / Agent's Signature</b>	<i>(Signature)</i>
<b>Address, City, State, Zip</b>	2730 SW 19 ST., Fort Lauderdale, FL 33312
<b>E-mail Address</b>	gerard.universalcanvasllc.com
<b>Phone Number</b>	1-954-439-4549
<b>Letter of Consent Submitted</b>	N/A

<b>Development / Project Name</b>	Patio Roof
<b>Existing / New</b>	Existing: <input checked="" type="checkbox"/> New: <input type="checkbox"/>
<b>Project Address</b>	Address: 2730 SW 19 ST., Fort Lauderdale, FL 33312
<b>Legal Description</b>	BEL-TER 42-48 B LOT 28
<b>Tax ID Folio Numbers</b> (For all parcels in development)	504217280280
<b>Request / Description of Project</b>	Patio roof rear setback
<b>Applicable ULDR Sections</b>	47-5.31

<b>Current Land Use Designation</b>	Residential
<b>Current Zoning Designation</b>	RS-8
<b>Current Use of Property</b>	Residential
<b>Site Adjacent to Waterway</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [ ]	N/A	
Side [ ]	N/A	
Side [ ]	N/A	
Rear [ S ]	25	2' FROM PROPERTY LINE, 8' FROM SEAWALL

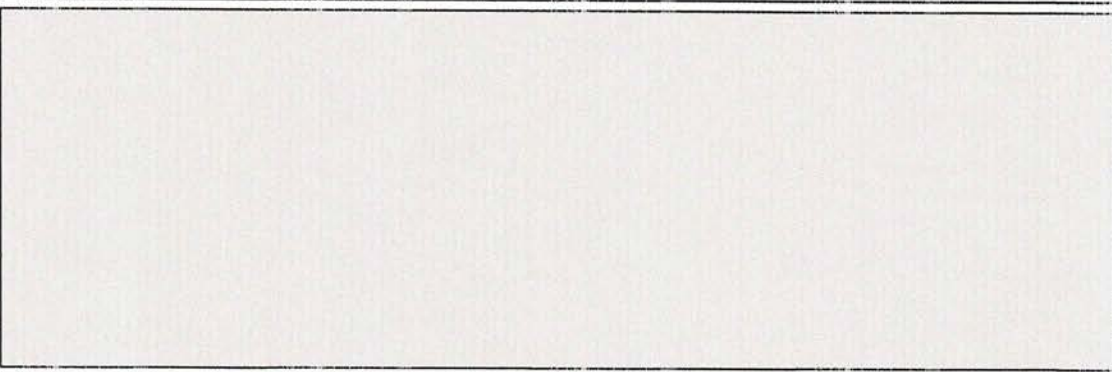
## Page 3: Required Documentation & Mail Notice Requirements

**One (1) original set, signed and sealed, with plans at 24" x 36"**  
**One (1) electronic version (CD or USB) of complete application and plans in PDF format**  
**Fourteen (14) copy sets of each item below and plans at half-size scale 11" x 17"**

- ❑ **Completed application** (all pages must be filled out where applicable)
- ❑ **Mail notification documents** (mail notification instructions at bottom of page)
- ❑ **Proof of ownership** (warranty deed or tax record), including corporation documents if applicable
- ❑ **Property owners notarized signature** and/or notarized agent letter signed by the property owner (if applicable).
- ❑ **Color photographs** of the entire property and all surrounding properties, dated and labeled and identified as to orientation.
- ❑ **Narrative** describing specific request and outlining ULDR sections that are applicable. Narratives must be on letterhead, dated, and with author indicated.
- ❑ **Cover sheet** on plan set to state project name and table of contents.
- ❑ **Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City. If the survey is not signed and sealed, a zoning affidavit is required and shall only be used for the structures listed in the affidavit.
- ❑ **Aerial photo** indicating all properties within 700 ft. of the subject property. Must be clear and current with site highlighted.
- ❑ **Site Plan (a survey may be substituted if the requested variance is clearly indicated)**
  - ❑ **Landscape Plan (if applicable)**
  - ❑ **Elevations (if applicable)**
  - ❑ **Additional plan details as needed**

**Note:** All copy sets must be clear and legible.

**Note:** Plans must be folded to 8 1/2" x 11". All non-plan documents should be 8 1/2" x 11".



**MAIL NOTIFICATION:** Pursuant to Section 47-27.2 Types of Public Notice and 47-27.9 Variance, Special Exception, Temporary Non-Conforming Use, Interpretation requires the following notice:

- **MAIL NOTICE:** Mail notice shall be given to owners of land within three hundred (300) feet of the subject site ten (10) days prior to the date set for the public hearing.
  - **TAX MAP:** Applicant shall provide a tax map from the Broward County Property Appraiser of all property within a three hundred (300) foot radius, with each property clearly shown and delineated. Each property within the notice area must be numbered (by Folio ID) on the map to cross-reference with property owners notice list.
  - **PROPERTY OWNERS NOTICE LIST:** Applicant shall provide a property owners notice list with the names, property control numbers (Folio ID) and complete addresses for all property owners within the required three hundred (300) foot radius. The list shall also include all homeowners associations, condominium associations, municipalities and counties noticed, as indicated on the tax roll.
  - **ENVELOPES:** The applicant shall provide business size (#10) envelopes with first class postage attached (stamps only, metered mail will not be accepted). Envelopes must be addressed to all property owners within the required three hundred (300) foot radius, and mailing addresses must be typed or labeled; no handwritten addresses will be accepted. The return address shall be listed on all envelopes as follows:

City of Fort Lauderdale  
Urban Design & Development  
700 NW 19<sup>th</sup> Avenue, Fort Lauderdale, FL 33311.

- **DISTRIBUTION:** The City of Fort Lauderdale, Urban Design & Development will mail all notices prior to the public hearing meeting date, as outlined in Section 47-27.

## Page 2: Board of Adjustment (BOA) Criteria for Variance Request

This page must be filled in. An attached narrative may be included if additional space is required.

**SPECIFIC REQUEST:** State the specific request according to the ULDR or other provisions of the Code.

This request is to have an existing patio roof constructed over the rear patio, to have a rear setback of 2'-1" from the rear property line and 8' setback from the existing seawall. This structure is existing.

**CRITERIA:** Applicant must demonstrate a unique hardship attributable to the land by proving by a preponderance of the evidence for all of the following criteria. Please answer the following criteria completely. While some criteria may seem duplicative the response should be tailored specifically to each. Per section 47-24.12.A.4,

a. Special conditions and circumstances affect the property at issue which prevent the reasonable use of such property; and

This request is to keep an existing patio roof over our pool deck so we may enjoy our property. Currently the setback requirement is 25' from the property line and/or seawall and the current roof posts are 2'-1" from the property line and 8' from the existing seawall.

b. Circumstances which cause the special conditions are peculiar to the property at issue, or to such a small number of properties that they clearly constitute marked exceptions to other properties in the same zoning district; and:

Currently the rear setback per section 47-5.31 states 25'. The existing structure is at 25' which leaves no room at have any type of protection from the environment.

c. Literal application of the provisions of the ULDR would deprive the applicant of a substantial property right that is enjoyed by other property owners in the same zoning district. (It shall be of no importance to this criterion that a denial of the variance sought might deny to the owner a more profitable use of the property, provided the provisions of the ULDR still allow a reasonable use of the property; and

Currently the rear setback per section 47-5.31 states 25'. The existing structure is at 25' which leaves no room at have any type of protection from the environment. The provisions we are seeking is keep the existing patio roof over our pool deck.

d. The unique hardship is not self-created by the applicant or his predecessors, nor is it the result of mere disregard for, or ignorance of, the provisions of the ULDR or antecedent zoning regulations; and

Currently the rear setback per section 47-5.31 states 25'. The existing structure is at 25' which leaves no room at have any type of protection from the environment. The provisions we are seeking is keep the existing patio roof over our pool deck.

e. The variance is the minimum variance that will make possible a reasonable use of the property and that the variance will be in harmony with the general purposes and intent of the ULDR and the use as varied will not be incompatible with adjoining properties or the surrounding neighborhood or otherwise detrimental to the public welfare. To keep the existing patio roof over our pool deck.

**AFFIDAVIT:** I, GERARD M d'OFFAY the Owner/Agent of said property ATTEST that I am aware of the following:

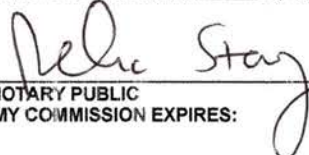
1. In order to be entitled to the relief requested in the application an affirmative vote of a majority plus one of the Board of Adjustment is required;
2. That in granting the relief requested, the Board of Adjustment is limited to the authority vested in the Board by the ULDR and that the Board may not grant the relief requested unless the applicant proves all the criteria specified in the ULDR have been met;
3. That the granting of relief by the Board does not exempt the applicant or owner of record from the responsibilities of obtaining all applicable permits or approvals as may be required by law for both new and existing structures;
4. That if the relief requested is granted by the Board, the applicant must secure a building permit to implement the relief requested within one hundred eighty (180) days of the entry of the final order of the Board, or within such lesser time as the Board may proscribe and that failure to procure the necessary permits within the time so proscribed shall render the variance or special exception null and void;
5. That if the Board denies the request for relief, then no additional application for the same or substantially the same relief may be entertained by the Board within two (2) years of the date of entry of the final order of denial.

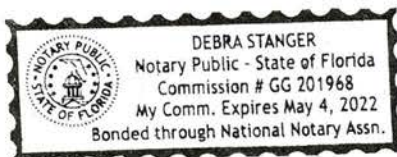
Sign

  
(Signature)

SWORN TO AND SUBSCRIBED before me in the County and State above aforesaid this 5 day of march, 2020

(SEAL)

  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 5/4/2022



FOLIO_NUMB	NAME_LINE_	NAME_LINE1	ADDRESS_LI	CITY	ST/ZIP	ADDRESS__1	
504217280640	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301
504217280090	TERRYNY,RAYMOND J III & MINDY		2731 SW 18 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280650	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301
504217060020	RIVERA,HECTOR M & JUDITH		1850 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280100	BOZA,STEVEN &	BOZA,JANNETTE	2730 SW 18 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280130	OWENS,DANAE D & CLAYTON R		6 HOMEWOOD AVE	NORWALK	OH44857	NORWALK	OH44857
504217280120	METCALF,JESSE S & MARILYN A LE	JESSE S & M A METCALF REV LIV TR	2710 SW 18 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280110	CERBERUS SFR HOLDINGS II LP		1850 PARKWAY PLACE SUITE 900	MARIETTA	GA 30067	MARIETTA	GA30067
504217060030	LICKTEIG,BRETT M	MOORE,WILLIAM A	1854 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060420	BOUCHARD,GERALD E		1857 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060430	FLATLEY,ANTHONY S H/E	OLIVIERI,ANTHONY	1869 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280230	SHEA,STEPHEN G & ASHLEY N		2651 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280240	BREJTFUS,RICHARD S		2701 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280250	GUNN,NICHOLAS S H/E	TZINIS,MARIA CHRISTINA	2711 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280260	JOHNSON,ROBIN		2721 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060040	BOSTOCK,DAVID L		1872 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280270	2018-2 IH BORROWER LP	%INVITATION HOMES - TAX DEPT	1717 MAIN ST #2000	DALLAS	TX 75201	DALLAS	TX75201
504217060050	LIEB,LORA A	HOREN,HUNTER	1896 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060450	TALLON,DANIEL		1897 SW 28 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280280	D'OFFAY,DAPHNE C & GERARD M		2730 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280330	BARR,IAN & MARIANNE		2640 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280310	SHUMANIS,DAVID P & LORI H		2700 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280300	DAVIDS,WILLIAM & MARIA ILSE		2710 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280290	MCCALLUM,BRYAN P		2720 SW 19 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060060	SALLEY,CHRISTINA S	SALLEY,CHRISTOPHER A	1910 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060070	CAREY,BRIAN		1920 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060190	WALLS,B L & ELLEN M		1965 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060080	WALKER,WILLIAM	CAPTAIN'S LAND TR	1966 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280410	RASH,RANDAL &	CHANNELL,MARIA C	2651 SW 20 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280420	BARBOUR,BARBARA		209 LINCOLN PL #10A	BROOKLYN	NY 11217	BROOKLYN	NY11217
504217280430	VOET,CHRISTOPHER M & LYNDE SUE		2711 SW 20 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280440	BAILIE,ADAM		2721 SW 20 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280450	GUINEY,AONGUS		2731 SW 20 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060200	LIVINGSTON,RYAN		1967 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060210	BERTHELSEN,LASSE		MAKEKOLLEN 46	*KRAKEROY 1679	NO	*KRAKEROY 1679	NO
504217280460	KLENDWORTH,JAMES J &	KLENDWORTH,JOYCE S	2730 SW 20 ST	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280540	WYCHOCKI,MCKENNA		2017 SW 27 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280530	HIDALGO,EDGAR	HIDALGO,CHRYSTAL	2016 SW 27 TER	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060110	FOXX,KENNETH R		2020 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060120	OGLE,BRYAN S		2044 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280520	GONZALEZ,ANA MARIA		912 SW 22 AVE #1	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280470	FULLER,ROBERT S & BLANCA		2049 SW 27 TER	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060081	JR BLOCKCHAIN WORLD CORP		2000 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217060090	LOPEZ,MARIA		2000 SW 28 AVE	FORT LAUDERDALE	FL 33312	FORT LAUDERDALE	FL33312
504217280640	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301
504217280640	PUBLIC LAND	% CITY OF FORT LAUDERDALE	100 N ANDREWS AVE	FORT LAUDERDALE	FL 33301	FORT LAUDERDALE	FL33301

504217060182 CHIPILOVA,TATIANA  
504217061130 PUBLIC LAND  
504217061120 PUBLIC LAND  
504217060180 GOMEZ,QUENTIN JR

% CITY OF FORT LAUDERDALE  
% CITY OF FORT LAUDERDALE  
SOTO,ALEXANDRA MARIA

1550 VAN BUREN ST  
100 N ANDREWS AVE  
100 N ANDREWS AVE  
1947 SW 28 AVE

HOLLYWOOD  
FORT LAUDERDALE  
FORT LAUDERDALE  
FORT LAUDERDALE

FL 33020 HOLLYWOOD  
FL 33301 FORT LAUDERDALE  
FL 33301 FORT LAUDERDALE  
FL 33312 FORT LAUDERDALE

FL33020  
FL33301  
FL33301  
FL33312



→ WILL CALL: FILE NO. 36472  
36 CHICAGO TITLE INSURANCE AGENCY, INC.  
3007 E. COMMERCIAL BLVD.  
1 FT. LAUDERDALE, FL 33308

INSTR # 106536108  
OR BK 42989 Pages 1792 - 1793  
RECORDED 10/24/06 09:03:24  
BROWARD COUNTY COMMISSION  
DOC STMP-D: \$2975.00  
DEPUTY CLERK 2030  
#1, 2 Pages

Prepared by and return to:  
Joseph L. Kohn, Esq.

Joseph L. Kohn, P.A.  
1700 East Las Olas Blvd. Suite 201  
Fort Lauderdale, FL 33301  
954-832-8383  
File Number: JKS06037  
Will Call No.:

Parcel Identification No. 5042 17 28 0280

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 20 day of **October, 2006** between **MARK K. THOMAS and LEE THOMAS, his wife** whose post office address is **11 Saxon Court, Stamford, CT 06906** of the County of **Fairfield, State of Connecticut**, grantor\*, and **GERARD M. D'OFFAY and DAPHNE C. D'OFFAY, husband and wife** whose post office address is **2730 SW 19th Street, Fort Lauderdale, FL 33312** of the County of **Broward, State of Florida**, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida**, to-wit:

**Lot Twenty-Eight (28), of BEL-TER, according to the Plat thereof, as recorded in Plat Book 42, Page 48, of the Public Records of Broward County, Florida.**

Subject to easements, restrictions and reservations of record and to taxes for the current year and thereafter.

**TOGETHER**, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

# Bill of Sale

This Bill of Sale, made on October 20, 2006, between MARK K. THOMAS and LEE THOMAS, his wife ("Seller"), and GERARD M. D'OFFAY and DAPHNE C. D'OFFAY, husband and wife ("Buyer").

**Witnesseth**, that Seller, in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration paid to Seller by Buyer, receipt and sufficiency of which is hereby acknowledged, delivers, grants, bargains, sells and transfers forever to Buyer the following goods and chattels, to wit:

**Together with all improvements and attached items, including fixtures, built-in furnishings, built-in appliances, ceiling fans, light fixtures, attached wall-to-wall carpeting, rods, draperies and other window coverings. The only other items included in the purchase are: As per Seller's disclosure.**

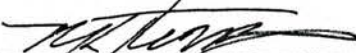
Said property being located at:

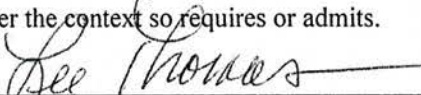
**Lot Twenty-Eight (28), of BEL-TER, according to the Plat thereof, as recorded in Plat Book 42, Page 48, of the Public Records of Broward County, Florida.**

Also known as 2730 SW 19th Street, Fort Lauderdale, FL 33312

Seller covenants to Buyer that Seller is the lawful owner of the said goods and chattels; that they are free from all encumbrances; that Seller has good right to sell that property, and that Seller will warrant and defend the sale of said property, goods and chattels unto the Buyer against the lawful claims and demands of all persons whomsoever.

"Seller" and "Buyer" shall be used for singular or plural, natural or artificial, which terms shall include the heirs, legal representatives, successors and assigns of Seller and Buyer whenever the context so requires or admits.

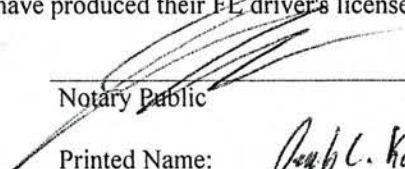
  
\_\_\_\_\_  
MARK K. THOMAS

  
\_\_\_\_\_  
LEE THOMAS

State of Florida  
County of Broward

The foregoing instrument was acknowledged before me this 20 day of October, 2006 by MARK K. THOMAS and LEE THOMAS, his wife, who  are personally known or  have produced their FL driver's license as identification.

[Notary Seal]

  
\_\_\_\_\_  
Notary Public

Printed Name: Joseph L. Kohn

My Commission Expires: \_\_\_\_\_



**Joseph L. Kohn**  
Commission # DD147251  
Expires October 28, 2006  
Bonded By FBIT - Insurance: the 888-885-7819

Signed, sealed and delivered in our presence:

Witness Name: Joseph L. Kohn

Witness Name: ELISABETH CAACIORS

MARK K. THOMAS (Seal)  
MARK K. THOMAS

LEE THOMAS (Seal)  
LEE THOMAS

State of Florida  
County of Broward

The foregoing instrument was acknowledged before me this 20 day of October, 2006 by MARK K. THOMAS and LEE THOMAS, his wife, who  are personally known or  have produced their FL driver's license as identification.

[Notary Seal]

Joseph L. Kohn  
Notary Public

Printed Name: Joseph L. Kohn

My Commission Expires: \_\_\_\_\_





Site Address	2730 SW 19 STREET, FORT LAUDERDALE FL 33312-4490	ID #	5042 17 28 0280
Property Owner	D'OFFAY, DAPHNE C & GERARD M	Millage	0312
Mailing Address	2730 SW 19 ST FORT LAUDERDALE FL 33312-4490	Use	01-01
Legal Description	BEL-TER 42-48 B LOT 28		

**The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).**

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2020	\$92,490	\$204,890	\$297,380	\$228,640	
2019	\$92,490	\$204,890	\$297,380	\$228,640	\$3,799.45
2018	\$92,490	\$199,060	\$291,550	\$224,380	\$3,581.84

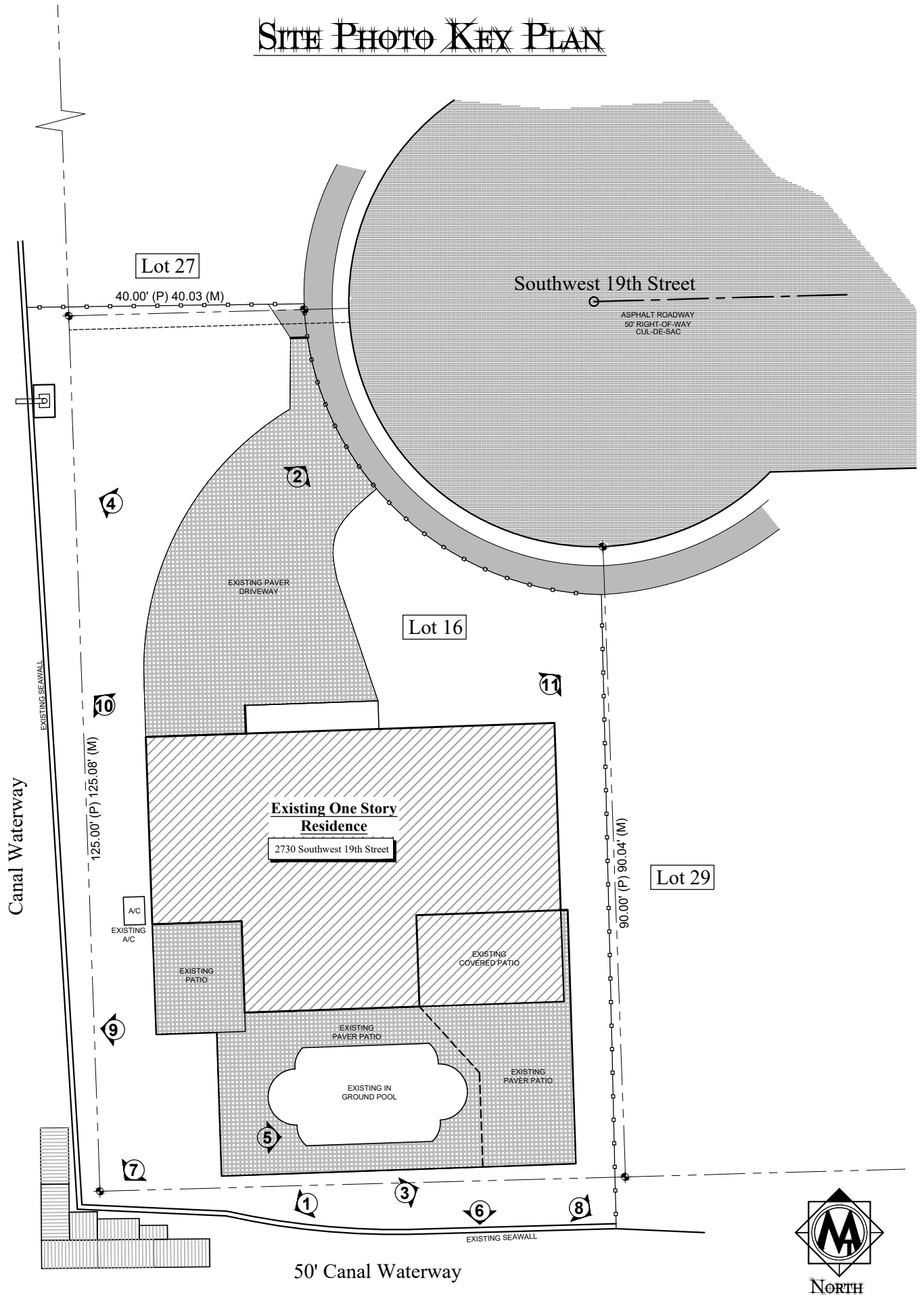
2020 Exemptions and Taxable Values by Taxing Authority				
Com.Soh.Yr=08	County	School Board	Municipal	Independent
Just Value	\$297,380	\$297,380	\$297,380	\$297,380
Portability	0	0	0	0
Assessed/SOH 07, N	\$228,640	\$228,640	\$228,640	\$228,640
Homestead 100%	\$25,000	\$25,000	\$25,000	\$25,000
Add. Homestead	\$25,000	0	\$25,000	\$25,000
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$178,640	\$203,640	\$178,640	\$178,640

Sales History -- Subdivision Sales			
Date	Type	Price	Book/Page or CIN
10/20/2006	WD	\$425,000	42989 / 1792
6/11/1998	QCD	\$100	28656 / 611
3/1/1994	QCD	\$100	22372 / 311
3/1/1994	WD	\$120,000	
10/1/1986	WD	\$80,000	

Land Calculations D74 / 14		
Price	Factor	Type
\$11.00	8,408	SF
Adj. Bldg. S.F. (Card, Sketch)		1744
Units		1
Eff./Act. Year Built: 1961/1960		

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03								
R								
1								

# SITE PHOTO KEY PLAN





1. SOUTH OF PROPERTY TO S.W. CANAL



2. FRONT GATE TO CULDESAC

REFER TO SITE PHOTOGRAPH KEY PLAN FOR LOCATION



3. WEST TO PATIO ROOF



4. NORTH WEST ACROSS CANAL

REFER TO SITE PHOTOGRAPH KEY PLAN FOR LOCATION



5. PATIO ROOF



6. SOUTH ACROSS CANAL

REFER TO SITE PHOTOGRAPH KEY PLAN FOR LOCATION



7. SOUTH WEST ACROSS CANAL



8. SOUTH EAST

REFER TO SITE PHOTOGRAPH KEY PLAN FOR LOCATION



9. WEST ACROSS CANAL



10. WEST NORTH WEST PROPERTY ACROSS CANAL

REFER TO SITE PHOTOGRAPH KEY PLAN FOR LOCATION



11. NORTH EAST CORNER OF PROPERTY

REFER TO SITE PHOTOGRAPH KEY PLAN FOR LOCATION

Gerard M. d'Offay  
2730 Southwest 19<sup>th</sup> Street  
Fort Lauderdale, FL 33312

March 5, 2020

City of Fort Lauderdale  
Urban Design & Development  
700 NW 19th  
Avenue, Fort Lauderdale, FL 33311

Dear Board Members,

This variance request is for an existing rear patio roof that we are in the process of getting permitted after the fact, which we take full responsibility. Per code section 47-5.31, the required rear back is 25'. The existing patio roofs post are 2' from the rear property line and 8' from existing seawall. Without this roof covering, we could not enjoy our pool deck without the shade it provides. Currently the existing house structure is at the 25' rear setback, which would leave no room for any else. All we are asking for this existing roof to remain and for the board to approve its current rear setback of 2'-1" from the rear property line and 8' from the rear seawall.

Sincerely,

A handwritten signature in blue ink, appearing to read "Gerard M. d'Offay", with a long horizontal flourish extending to the right.

Gerard M. d'Offay

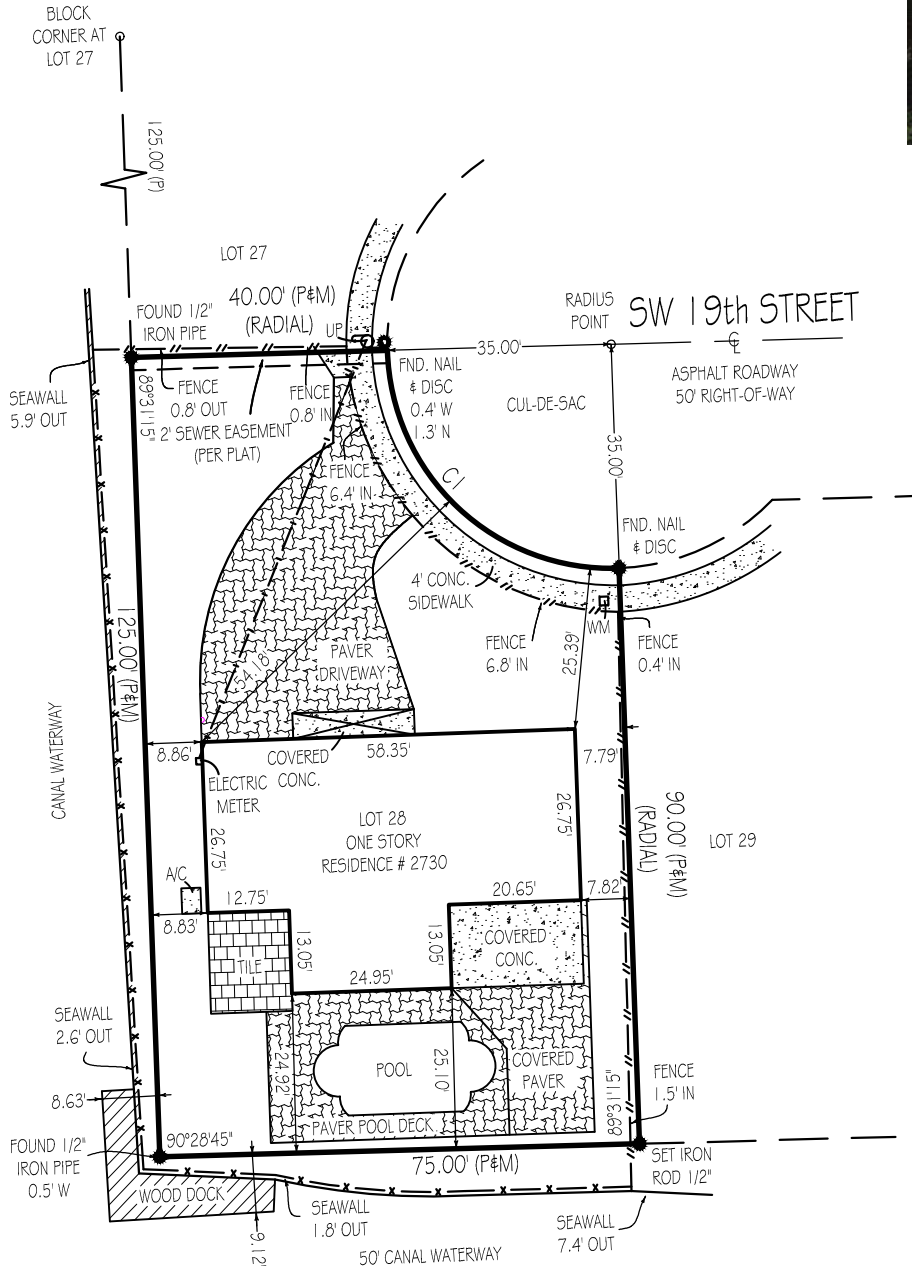


SCALE: 1"=30'

**BEARING REFERENCE:**  
 NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.  
 ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.



**AERIAL PHOTOGRAPH**  
 (MAY NOT SHOW LATEST IMPROVEMENTS)  
 (NOT-TO-SCALE)



CURVE TABLE			
	RADIUS	LENGTH	DELTA
C1(P)	35.00'	55.26'	90°28'40"
C1(M)	35.00'	56.52'	92°31'41"

**Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE**

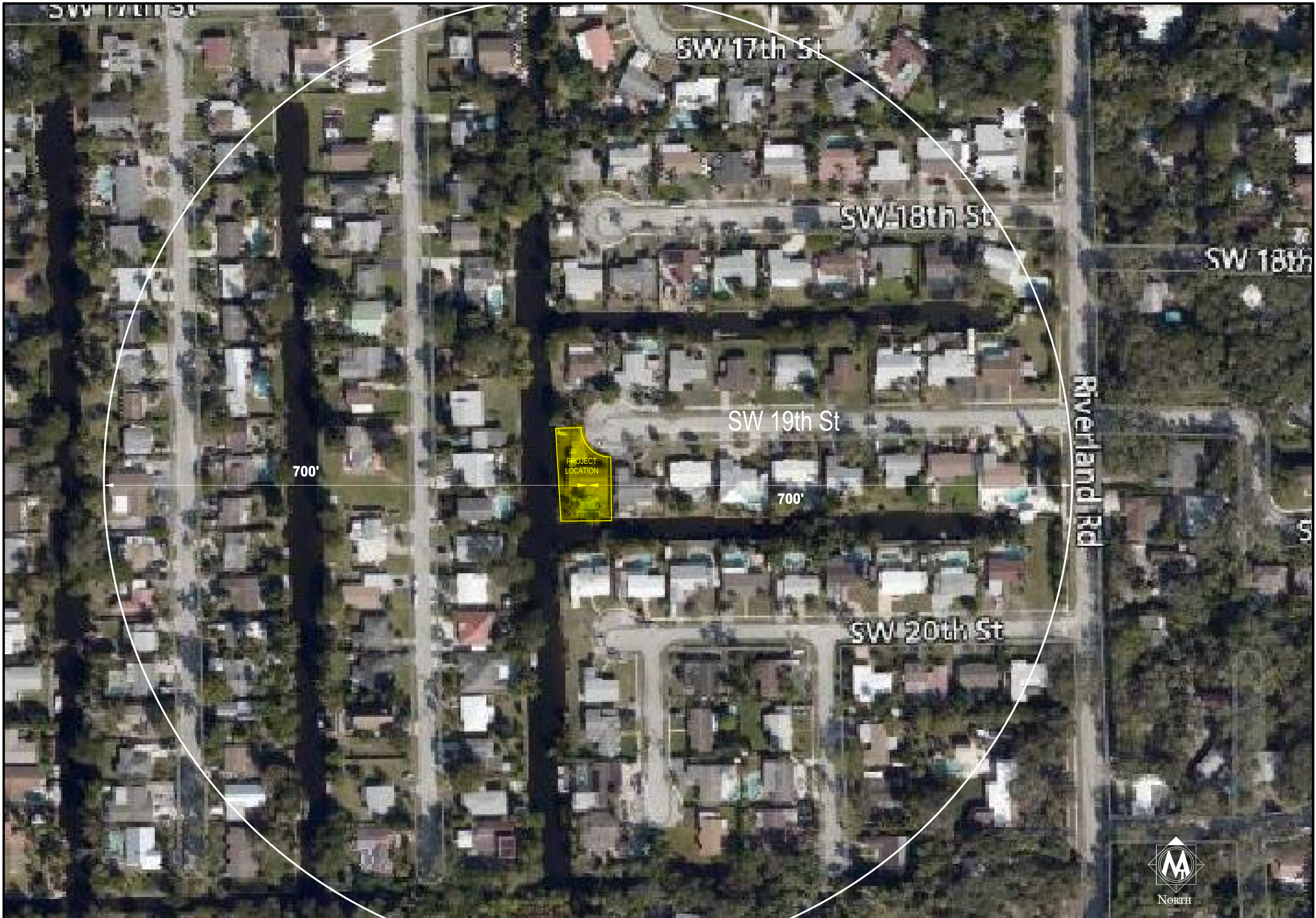
- 2' SEWER EASEMENT ALONG NORTHERLY BOUNDARY LOT LINE.
- CONCRETE SIDEWALK EXTEND THROUGH NORTHERLY EASEMENT.
- COMMUNITY CONCRETE SIDEWALK CROSSES THE BOUNDARY LINE ON NORTHEASTERLY SIDE OF LOT
- WOOD DOCK CROSSES THE BOUNDARY LOT LINE ON SOUTHERLY AND WESTERLY SIDES OF LOT.
- FENCE EXTEND THROUGH THE NORTHERLY EASEMENT.

This survey has been issued by the following Landtec Surveying office:  
 481 E. Hillsboro Blvd. Ste 100-A  
 Deerfield Beach, FL. 33441  
 Office: (561) 367-3587 Fax: (561) 465-3145  
 www.LandtecSurvey.com

**PLEASE NOTE:**  
 SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.  
 APPROVAL FOR CONSTRUCTION HAS BEEN MADE BY THIS OFFICE.


Job Number: 101080-SE Rev.:  
 Drawn By: C.G. Rev.:  
 Date of Field Work: 01/09/2020 Rev.:






**MATCAD  
DESIGNS**  
Limited Company  
Michael A. Talotta  
605 Southwest 4th Ave.  
Dania Beach, Florida 33004  
Phone: (954) 821-3366  
Email: MatCAD\_Design@comcast.net

**Charles O. Buckalew**  
Consultant Engineering Services, Inc.  
801 South Ocean Drive, Suite 201  
Hollywood, Florida 33019  
COAH 6255  
Tel.: (954) 558-1189



**Patio Roof and Wood Fence**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312  
ICD

**Gerard d'Offay**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Seal:  
  
Charles O. Buckalew  
FL PE # 24842

**Aerial Map**

Drawn:  
Date Issued: March 5, 2020

**SP + 100**



NOTE: ERRORS OR OMISSIONS FROM THESE PLANS DO NOT RELIEVE CONTRACTORS, SUBCONTRACTORS OR MANUFACTURERS FROM ANY RESPONSIBILITY FROM COMPLYING WITH CODE OR JURISDICTIONAL AUTHORITY REQUIREMENTS. ANY DISCREPANCIES OR ADDITIONAL REQUIREMENTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR APPROPRIATE ACTION.

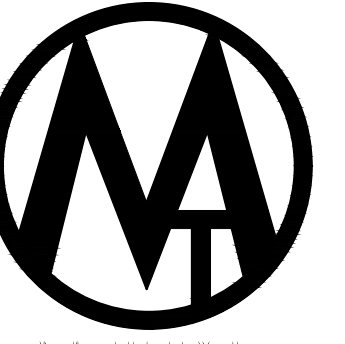
# Patio Roof

## Gerard d'Offay

2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

Sheet No.	Description
Cover	Cover Sheet
SP.100	Aerial Map
SP.101	Site Plan
SP.102	Site Photograph Plan
SP.103	Tax Map
A.101	Foundation Plan, Details, and Schedules

SHEET INDEX



**MATCAD  
DESIGNS**

Limited Company  
Michael A. Talotta

605 Southwest 4th Ave.  
Dania Beach, Florida 33004  
Phone: (954) 921-8966

Email: MatCAD\_Designs@comcast.net

**Charles O. Buckalew**

Consultant Engineering Services, Inc.  
801 South Ocean Drive, Suite 201  
Hollywood, Florida 33019  
COAF# 6255

Tele.: (954) 568-1189



**Patio Roof and Wood Fence**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

**Gerard d'Offay**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

Revisions:

Seal:

Charles O. Buckalew  
FL PE # 24842

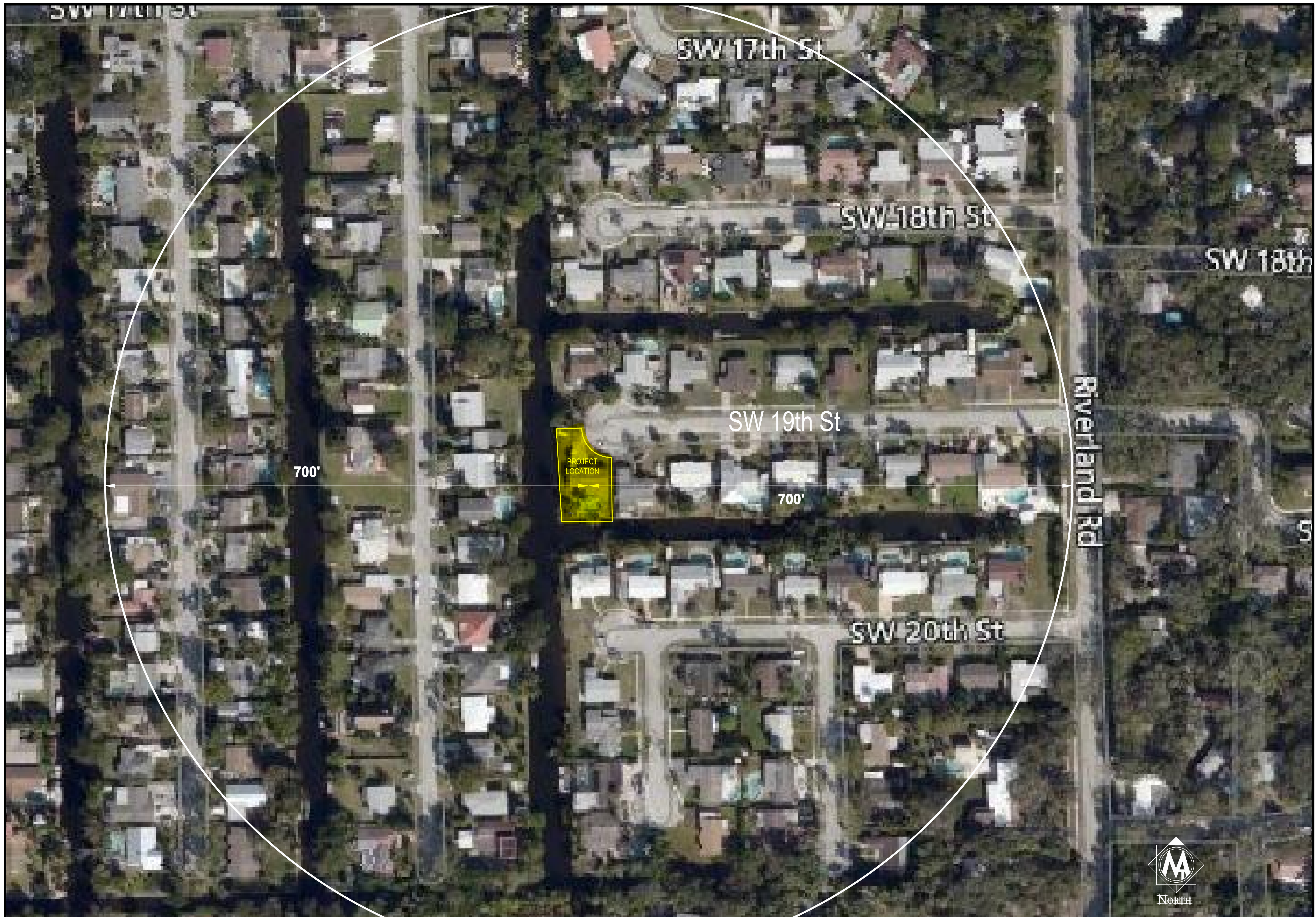
**Cover Sheet**

Drawn:

Date Issued: March 4, 2020


**COVER**

NOTE: ERRORS OR OMISSIONS FROM THESE PLANS DO NOT RELIEVE CONTRACTORS, SUBCONTRACTORS OR MANUFACTURERS FROM ANY RESPONSIBILITY FROM COMPLYING WITH CODE OR JURISDICTIONAL AUTHORITY REQUIREMENTS. ANY DISCREPANCIES OR ADDITIONAL REQUIREMENTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR APPROPRIATE ACTION.




**MATCAD  
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Michael A. Talotta  
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**Charles O. Buckalew**  
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COAH 6255  
Tel.: (954) 558-1189



**Patio Roof and Wood Fence**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

**Gerard d'Offay**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

Revisions:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Seal:  
  
Charles O. Buckalew  
FL PE # 24842

**Aerial Map**

Drawn:  
Date Issued: March 5, 2020

**SP + 100**



NOTE: ERRORS OR OMISSIONS FROM THESE PLANS DO NOT RELIEVE CONTRACTORS, SUBCONTRACTORS OR MANUFACTURERS FROM ANY RESPONSIBILITY FROM COMPLYING WITH CODE OR JURISDICTIONAL AUTHORITY REQUIREMENTS. ANY DISCREPANCIES OR ADDITIONAL REQUIREMENTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR APPROPRIATE ACTION.

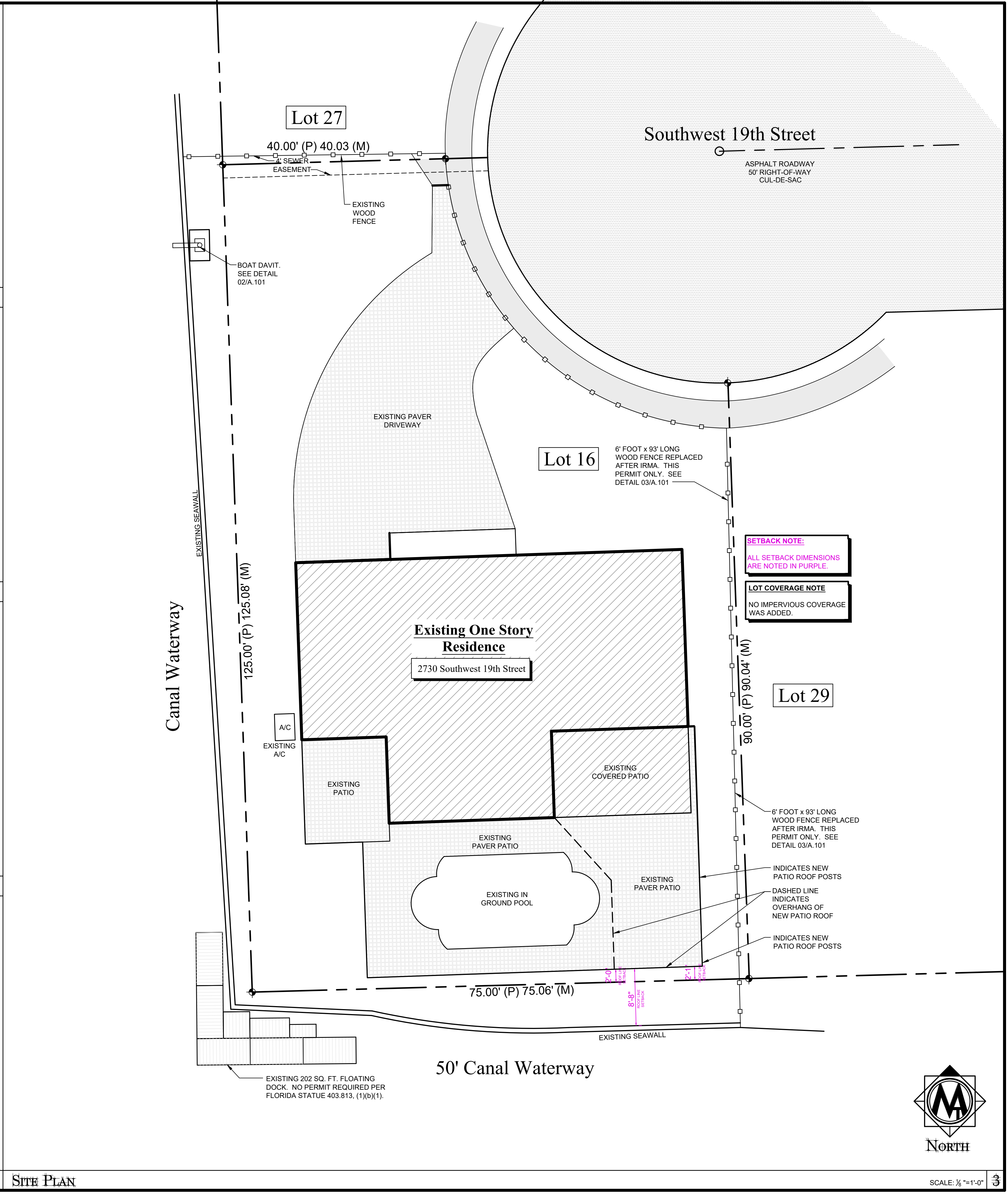
<b>GENERAL DATA</b>	
NEW ADDITION CONSTRUCTION OCCUPANCY GROUP: RESIDENTIAL GROUP: R-3 CONSTRUCTION TYPE: III	
BUILDING AREA CALCULATIONS: NEW PATIO ROOF 350 SQ.FT.	
<b>BUILDING CODES:</b>	
THESE PLANS HAS BEEN DESIGNED IN ACCORDANCE TO THE FOLLOWING CODES:	
FLORIDA BUILDING CODE (FBC) 2017, 6TH ED. FLORIDA BUILDING CODE (FBC) 2017, 6TH ED. : RESIDENTIAL ALTERATION LEVEL: ADDITION	
<b>GENERAL DESIGN NOTES:</b>	
FBC 2017 SECTION 310 CLASSIFICATION OF WORK: ADDITION, RESIDENTIAL FBC 2010, ASCE 7-10 FBC CHAPTER 3 AND CHAPTER 4, HV/H2 WINDLOAD CALCULATIONS AS PER ASCE 7-10 170 MPH WIND VELOCITY, 3 SECOND GUST, EXPOSURE C, CATAGORY II FBC 2017, TABLE = LRFD ( LOAD RESISTANCE FACTOR DESIGN ).	

<b>PROJECT DATA</b>	SCALE: N.T.S. 8	NOT USED	SCALE: N.T.S. 9

<b>LOCATION MAP</b>	SCALE: N.T.S. 6	NOT USED	SCALE: N.T.S. 7
<p>403.813 Permits issued at district centers; exceptions—</p> <p>(1) A permit is not required under this chapter, chapter 373, chapter 61-691, Laws of Florida, or chapter 25214 or chapter 25270, 1949, Laws of Florida, for activities associated with the following types of projects; however, except as otherwise provided in this subsection, this subsection does not relieve an applicant from any requirement to obtain permission to use or occupy lands owned by the Board of Trustees of the Internal Improvement Trust Fund or a water management district in its governmental or proprietary capacity or from complying with applicable local pollution control programs authorized under this chapter or other requirements of county and municipal governments:</p> <p>(a) The installation of overhead transmission lines, with support structures which are not constructed in waters of the state and which do not create a navigational hazard.</p> <p>(b) The installation and repair of mooring pilings and dolphins associated with private docking facilities or piers and the installation of private docks, piers and recreational docking facilities, or piers and recreational docking facilities of local governmental entities when the local governmental entity's activities will not take place in any manatee habitat, any of which docks:</p> <ol style="list-style-type: none"> <li>Has 500 square feet or less of over-water surface area for a dock which is located in an area designated as Outstanding Florida Waters or 1,000 square feet or less of over-water surface area for a dock which is located in an area which is not designated as Outstanding Florida Waters;</li> <li>Is constructed on or held in place by pilings or is a floating dock which is constructed so as not to involve filling or dredging other than that necessary to install the pilings;</li> <li>Shall not substantially impede the flow of water or create a navigational hazard;</li> <li>Is used for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia; and</li> <li>Is the sole dock constructed pursuant to this exemption as measured along the shoreline for a distance of 65 feet, unless the parcel of land or individual lot as platted is less than 65 feet in length along the shoreline, in which case there may be one exempt dock allowed per parcel or lot.</li> </ol> <p>Nothing in this paragraph shall prohibit the department from taking appropriate enforcement action pursuant to this chapter to abate or prohibit any activity otherwise exempt from permitting pursuant to this paragraph if the department can demonstrate that the exempted activity has caused water pollution in violation of this chapter.</p>			

<b>FLORIDA STATUE CHAPTER 403</b>	SCALE: N.T.S. 4	NOT USED	SCALE: N.T.S. 5
<p>EXISTING 202 SQ. FT. FLOATING DOCK. NO PERMIT REQUIRED PER FLORIDA STATUE 403.813, (1)(b)(1).</p>			

NOT USED	SCALE: N.T.S. 1	NOT USED	SCALE: N.T.S. 2	<b>SITE PLAN</b>	SCALE: 1/8" = 1'-0"	3
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**MATCAD**  
DESIGNS  
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**Charles O. Buckalew**  
Consultant Engineering Services, Inc.  
801 South Ocean Drive, Suite 201  
Hollywood, Florida 33019  
COAF 6255  
Table: (954) 558-1189

**Patio Roof and Wood Fence**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312  
100%

**Gerard d'Offay**  
2730 Southwest 19th Street  
Fort Lauderdale, FL 33312

Revisions:


Seal:

Charles O. Buckalew  
FL PE # 24842

**Site Plan**

Drawn:

Date Issued: March 4, 2020

**SP + 101**

NOTE: ERRORS OR OMISSIONS FROM THESE PLANS DO NOT RELIEVE CONTRACTORS, SUBCONTRACTORS OR MANUFACTURERS FROM ANY RESPONSIBILITY FROM COMPLIING WITH CODE OR JURISDICTIONAL AUTHORITY REQUIREMENTS. ANY DISCREPANCIES OR ADDITIONAL REQUIREMENTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR APPROPRIATE ACTION.



SOUTH OF PROPERTY TO S.W. CANAL



PATIO ROOF



WEST ACROSS CANAL



FRONT GATE TO CULDESAC



SOUTH ACROSS CANAL



WEST NORTH WEST PROPERTY ACROSS CANAL



WEST TO PATIO ROOF



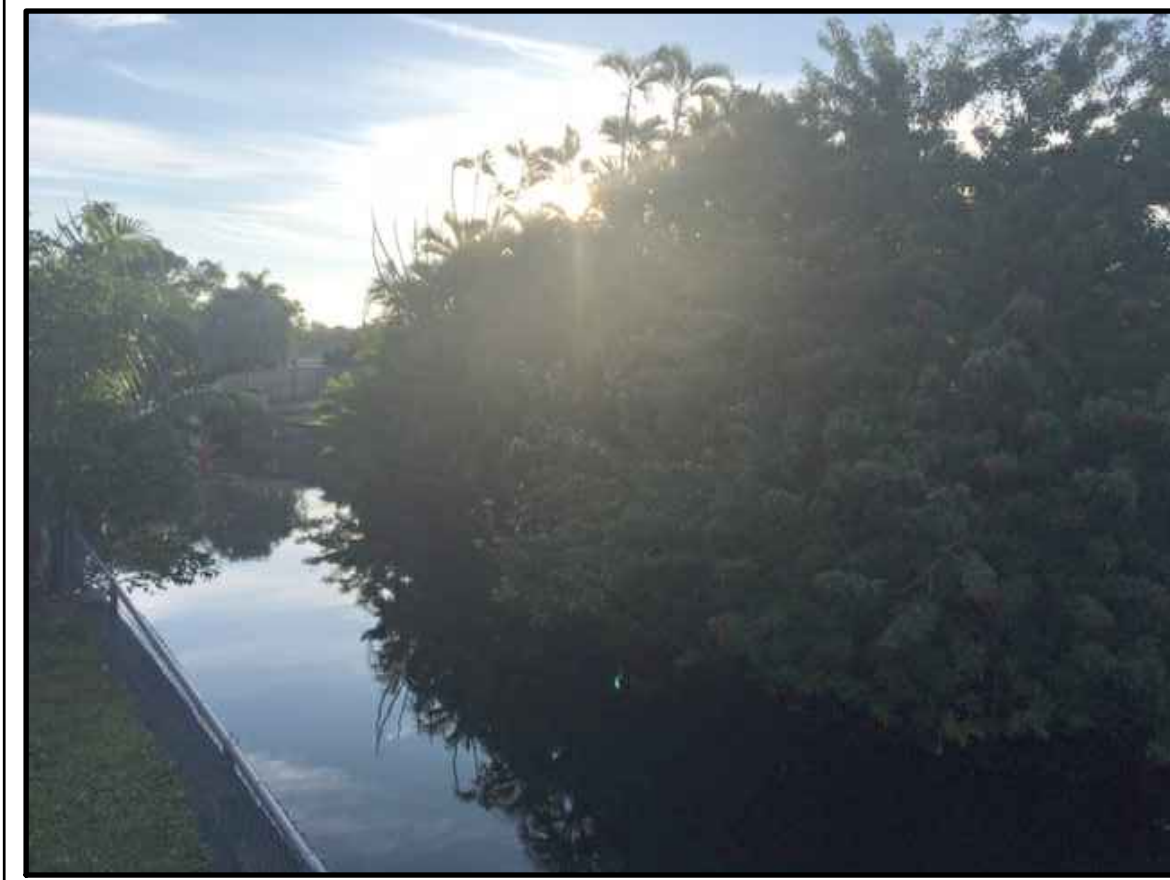
SOUTH WEST ACROSS CANAL



NORTH EAST CORNER OF PROPERTY



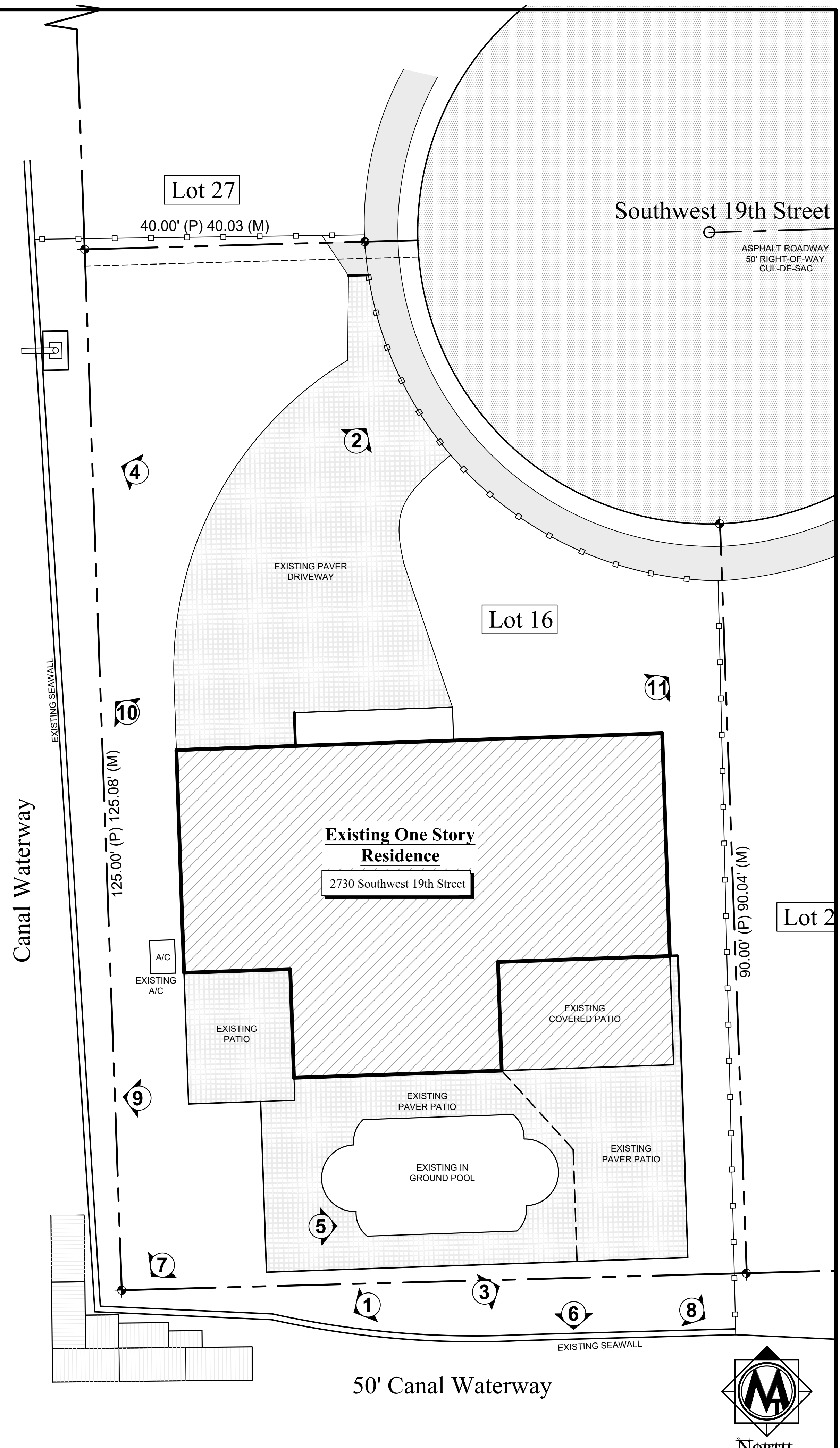
NORTH WEST ACROSS CANAL



SOUTH EAST

NOT USED

SITE PHOTO KEY PLAN



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Fort Lauderdale, FL 33312

Revisions:


Seal:

Charles O. Buckalew  
FL PE # 24842

**Site Photographs Plan**

Drawn:  
Date Issued: March 4, 2020

**SP + 102**

SCALE: 1/8" = 1'-0"

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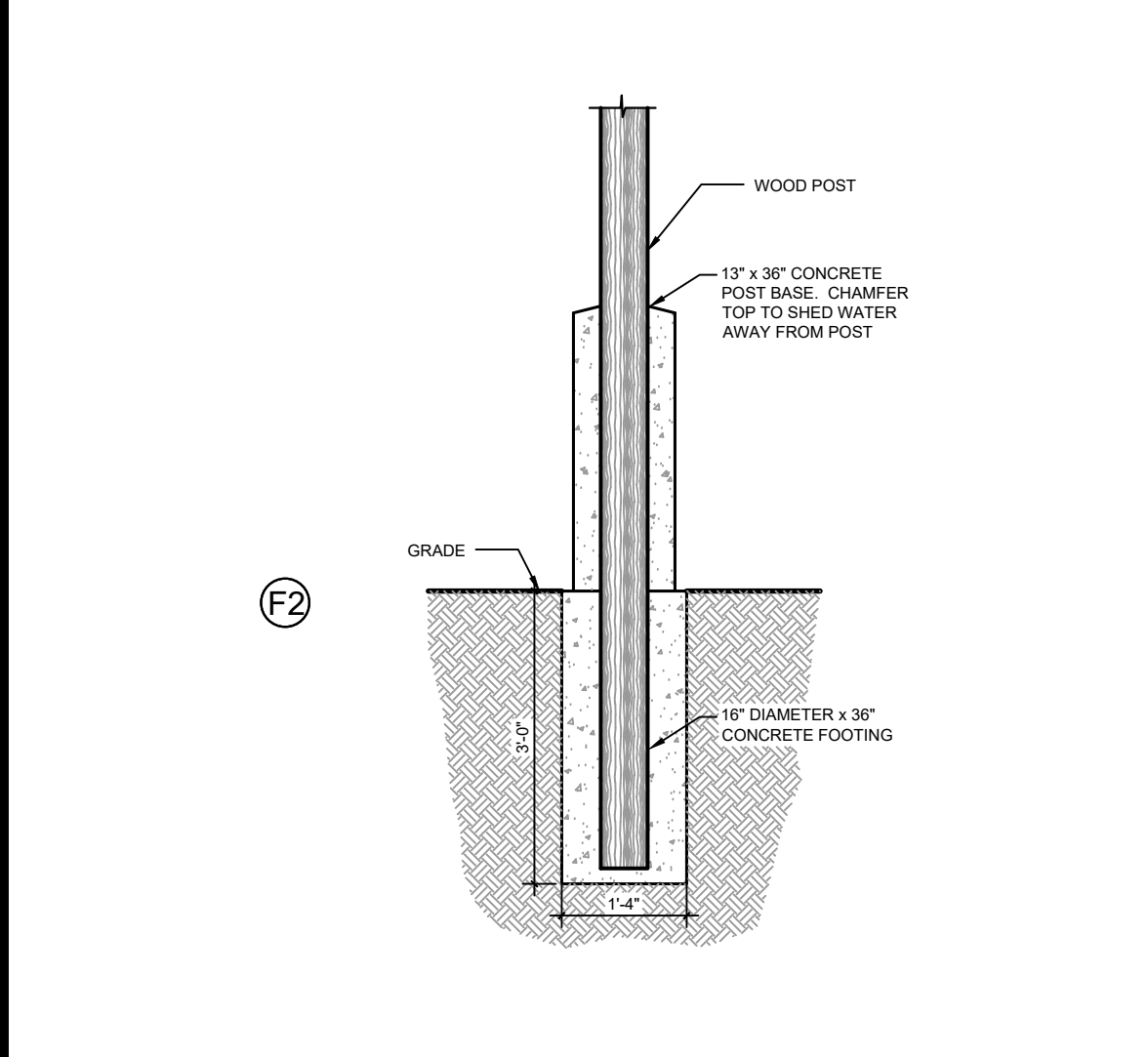
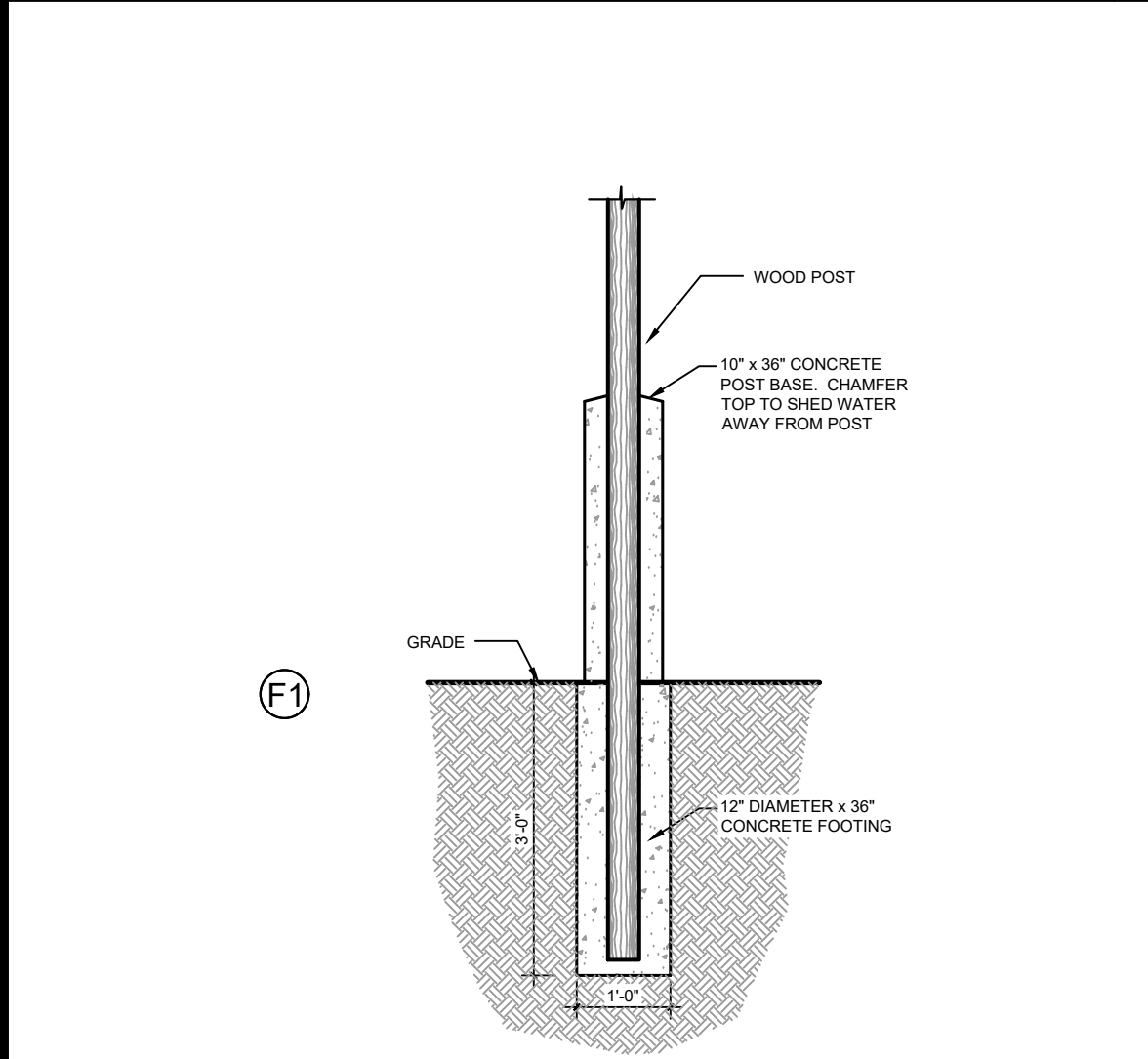


FOOTING SCHEDULE				
MARK	SIZE	REINFORCEMENT	TRANSVERSE	REMARKS
F1	12" x 36"			
F1	16" x 36"			

COLUMN SCHEDULE					
MARK	TYPE	SIZE	REINFORCEMENT	TIES	SYMBOL
C1	PRESSURE TREATED WOOD POST	4 x 4			□
C2	PRESSURE TREATED WOOD POST	6 x 6			□

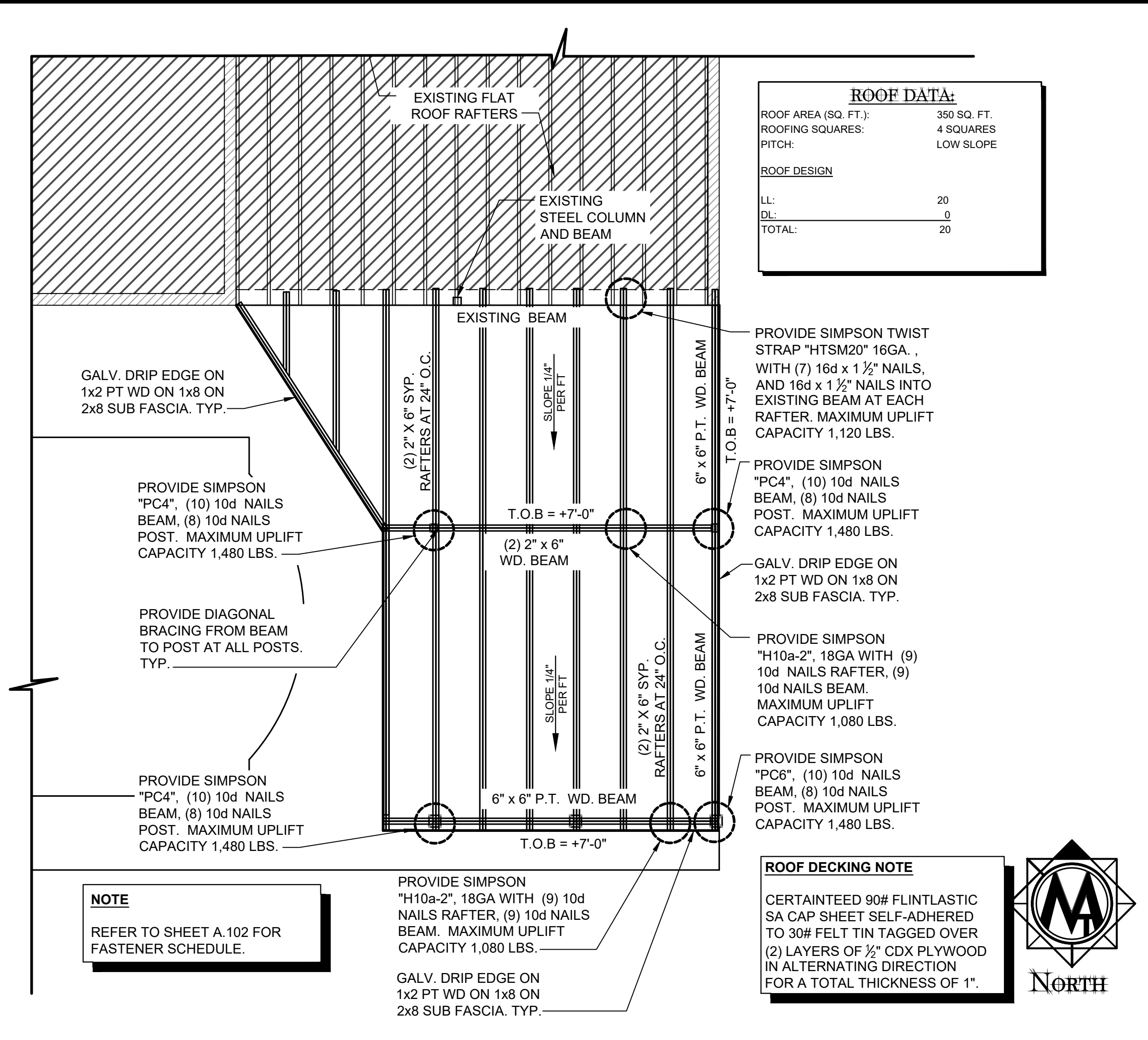
FOUNDATION SCHEDULES SCALE: N.T.S. 7



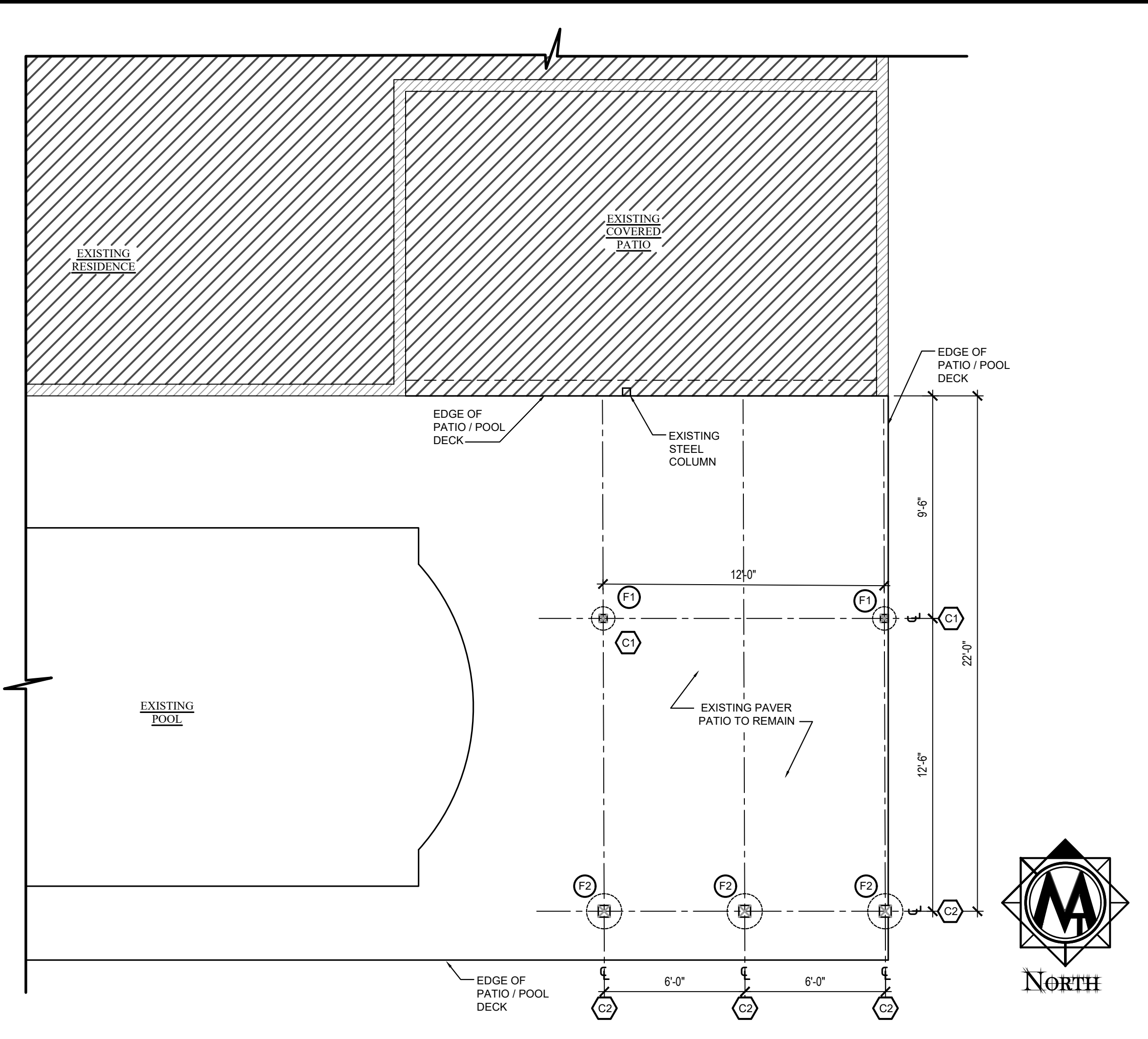
FOUNDATION DETAILS SCALE: N.T.S. 4



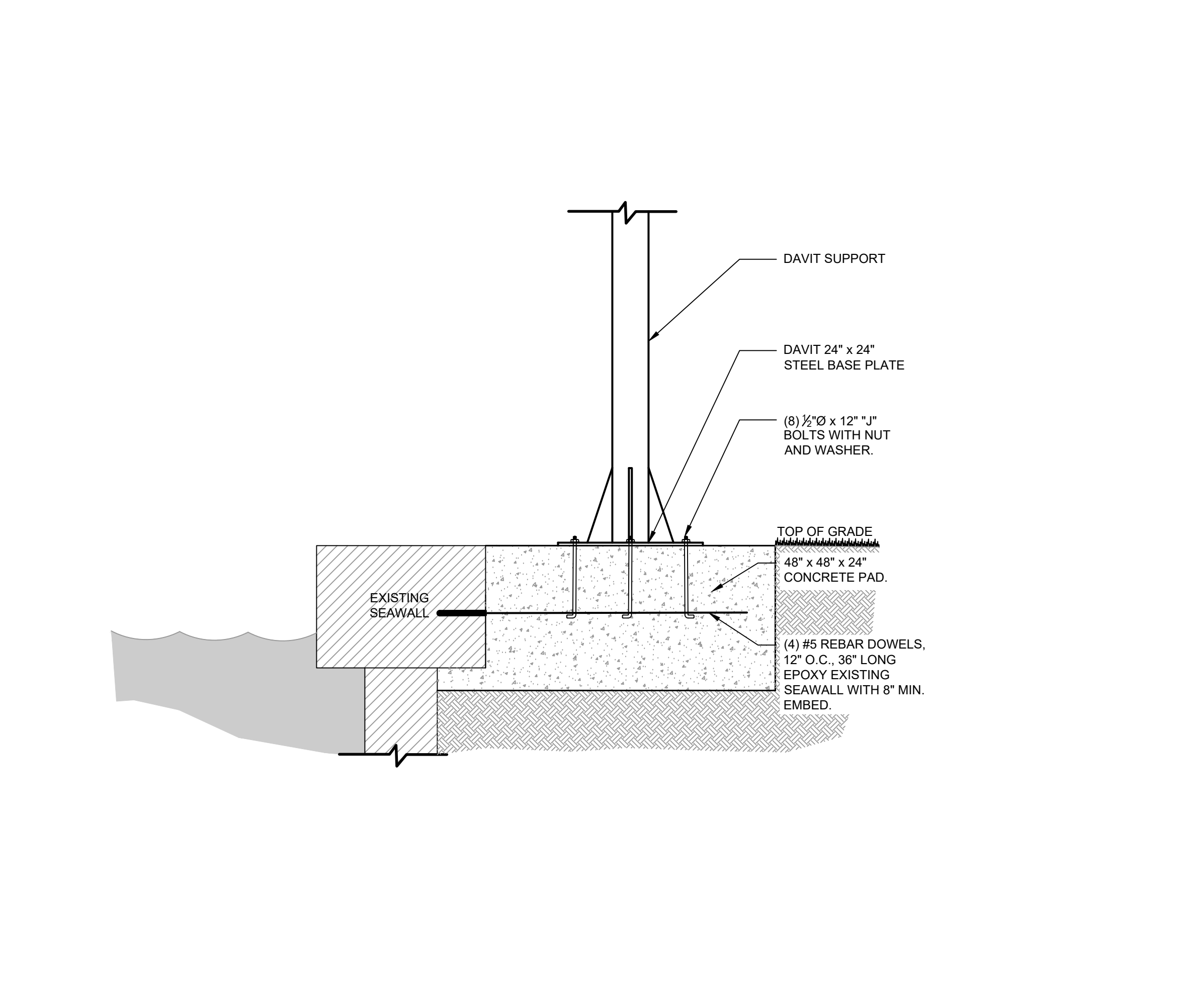
DAVIT DETAIL SCALE: N.T.S. 1



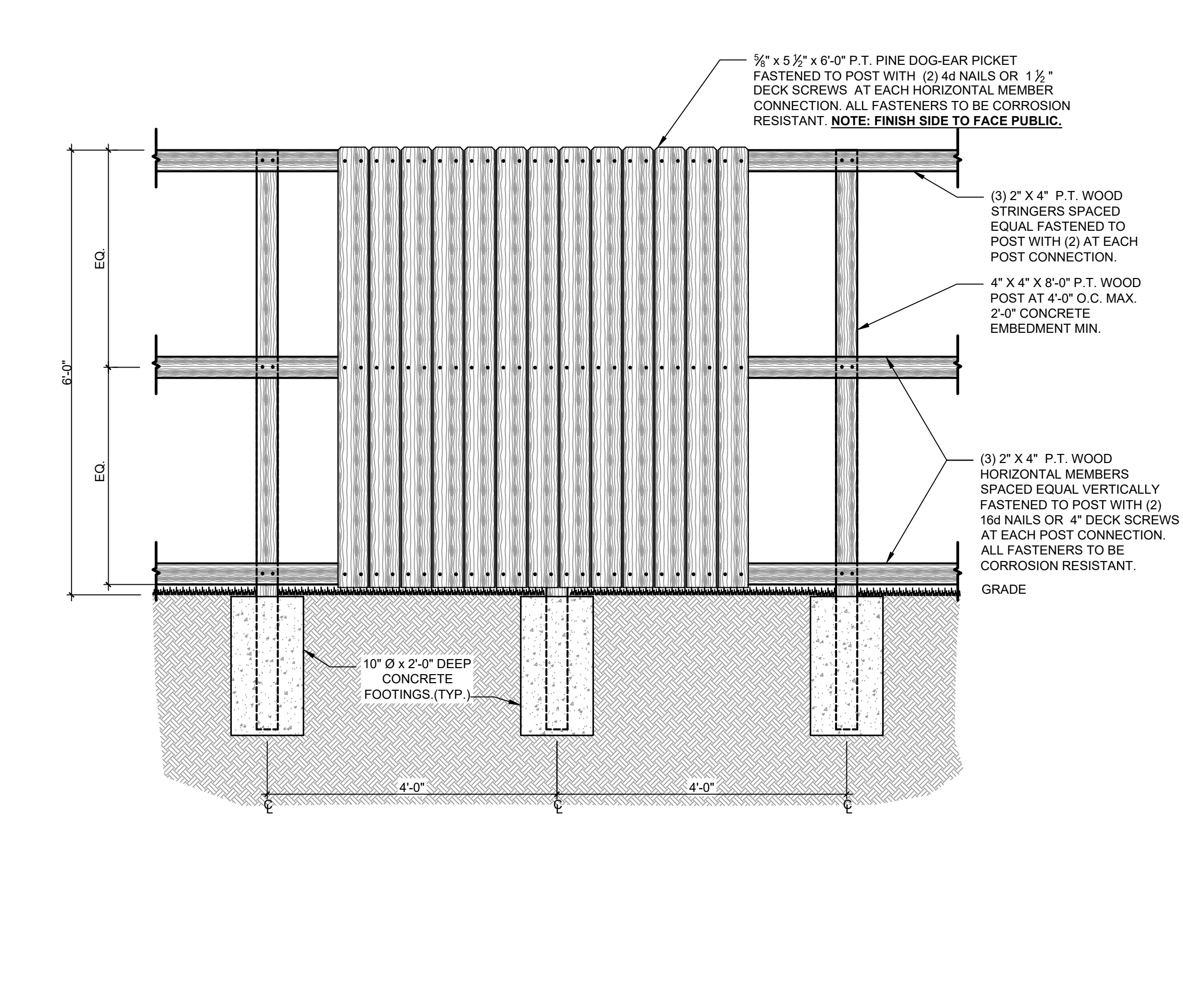
ROOF FRAMING PLAN SCALE: 1/4" = 1'-0" 5



FOUNDATION PLAN SCALE: 1/4" = 1'-0" 6



WOOD FENCE DETAIL SCALE: 3/4" = 1'-0" 2



WOOD FENCE DETAIL SCALE: 3/4" = 1'-0" 3

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Revisions:


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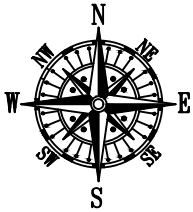
Charles O. Buckalew  
FL PE # 24842

**Foundation Plan, Details, and Schedules**

Drawn:  
Date Issued: March 4, 2020

**A + 101**

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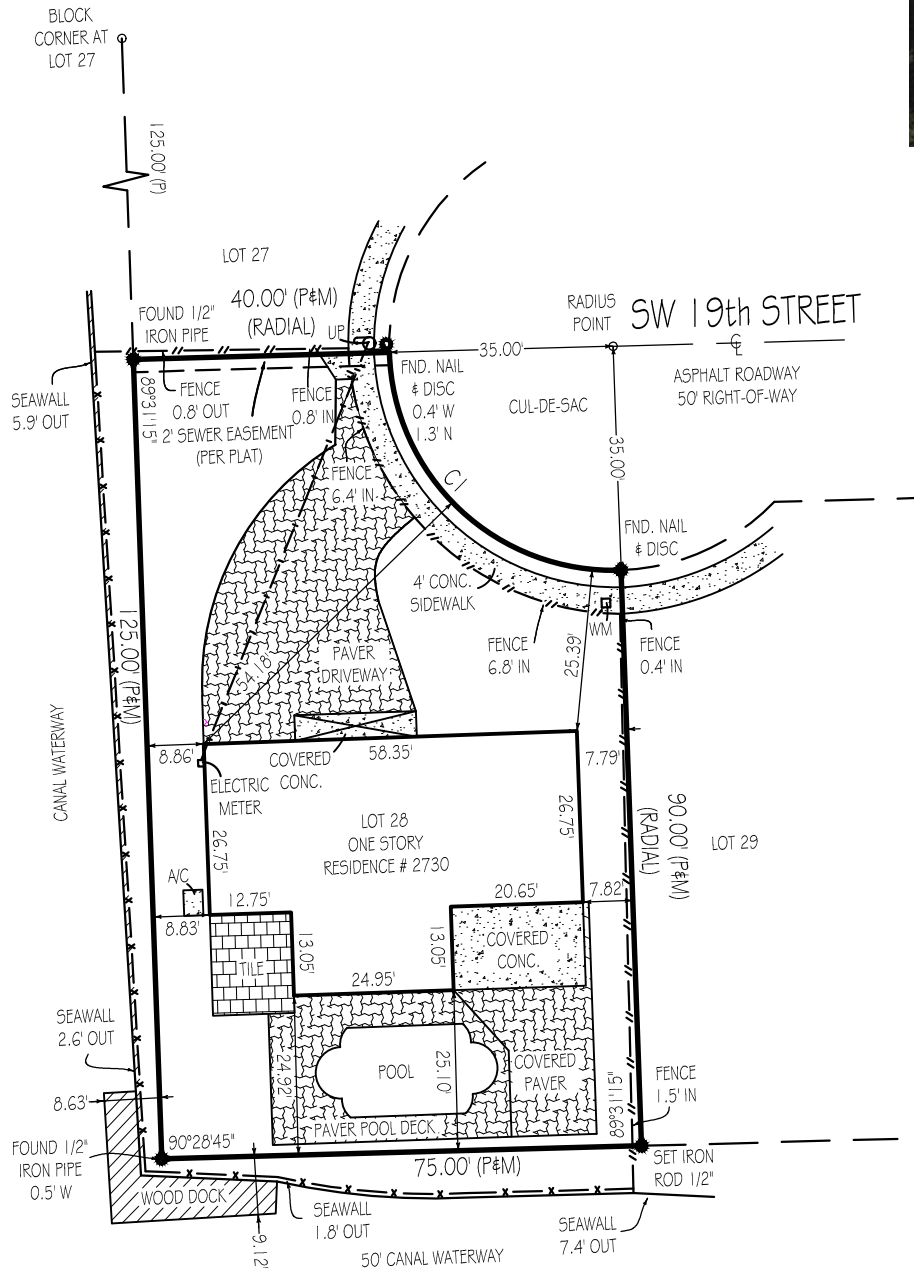


SCALE: 1"=30'

**BEARING REFERENCE:**  
 NONE. RECORD INFORMATION RELIANT UPON ANGULAR DATA ONLY.  
 ALL ANGULAR DATA SHOWN HEREON REFERENCED THERETO.



**AERIAL PHOTOGRAPH**  
 (MAY NOT SHOW LATEST IMPROVEMENTS)  
 (NOT-TO-SCALE)



CURVE TABLE			
	RADIUS	LENGTH	DELTA
C1(P)	35.00'	55.26'	90°28'40"
C1(M)	35.00'	56.52'	92°31'41"

**Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE**

- 2' SEWER EASEMENT ALONG NORTHERLY BOUNDARY LOT LINE.
- CONCRETE SIDEWALK EXTEND THROUGH NORTHERLY EASEMENT.
- COMMUNITY CONCRETE SIDEWALK CROSSES THE BOUNDARY LINE ON NORTHEASTERLY SIDE OF LOT
- WOOD DOCK CROSSES THE BOUNDARY LOT LINE ON SOUTHERLY AND WESTERLY SIDES OF LOT.
- FENCE EXTEND THROUGH THE NORTHERLY EASEMENT.

This survey has been issued by the following Landtec Surveying office:  
 481 E. Hillsboro Blvd. Ste 100-A  
 Deerfield Beach, FL. 33441  
 Office: (561) 367-3587 Fax: (561) 465-3145  
 www.LandtecSurvey.com

**PLEASE NOTE:**  
 SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.  
 APPROVAL FOR CONSTRUCTION HAS BEEN MADE BY THIS OFFICE.

Job Number: 101080-SE  
 Drawn By: C.G.  
 Date of Field Work: 01/09/2020

Rev.:  
 Rev.:  
 Rev.:

